AGENDA® PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS JUNE 29, 2021 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

#### CALL TO ORDER (I)

#### (II)**OPEN FORUM**

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

#### (III)CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of Minutes for the June 15, 2021 Planning and Zoning Commission meeting.

#### (2) P2021-029 (HENRY LEE)

Consider a request by Richard and Judy Harris Family Trust for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 5.50-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street, and take any action necessary.

#### (3) P2021-030 (DAVID GONZALES)

Consider a request by Luis M. Gonzalez of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Willcar Holdings, LLC for the approval of a <u>Replat</u> for Lot 4, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

#### (4) P2021-031 (ANGELICA GAMEZ)

Consider a request by Alejandro Flores for the approval of a *Replat* for Lot 1, Block M, Lake Rockwall Estates East Addition being a 0.33-acre parcel of land identified as Lot 1406 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

#### (5) P2021-032 (DAVID GONZALES)

Consider a request by David Srouji of D&M Construction on behalf of Abdul L. Khan of Centers for Peace and Mercy for the approval of a Final Plat for Lot 1, Block A, Centers for Peace and Mercy Addition being a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 600 Turtle Cove Boulevard, and take any action necessary.

#### (6) P2021-034 (ANGELICA GAMEZ)

Consider a request by Akhil Vats of ADAT Estate, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, ADAT Addition being a 1.57-acre tract of land identified as Tracts 30, 31, 32, & 32-1, of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1001 N. Goliad Street, and take any action necessary.

#### (7) P2021-035 (DAVID GONZALES)

Consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a Conveyance Plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [N. Goliad Street], and take any action necessary.

#### (8) SP2021-019 (DAVID GONZALES)

Discuss and consider a request by David Bond of Spiars Engineering on behalf of Andrew Malzer of Gingercrest Inc. for the approval of an <u>Amended Site Plan</u> for an existing General Retail Store with Gasoline Sales on a 8.240-acre tract of land identified as Lots 6 & 7, Block 1, Meadowcreek Business Center, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District and the SH-276 Overlay (SH-276 OV) District, addressed as 2301 S. Goliad Street, and take any action necessary.

#### (IV) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

#### (9) MIS2021-007 (HENRY LEE)

Discuss and consider a request by Michael Hunter of the Rockwall Housing Development Corporation for the approval of a <u>Special</u> <u>Exception</u> to the setback requirements for a duplex on a 0.112-acre parcel of land identified as Lot 1, Block A, RHDC Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 814 Peters Colony, and take any action necessary.

#### (V) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is July 13, 2021.

#### (10) Z2021-020 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a <u>Specific Use Permit (SUP)</u> for a House of Worship on a 7.45-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Drive, and take any action necessary.

#### (11) Z2021-021 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Stephen Seitz of Seitz Architects, Inc. on behalf of Jim Vaudagna of the Vault Self-Storage for the approval of a <u>Specific Use Permit (SUP)</u> the expansion of an existing <u>Mini-Warehouse Facility</u> on a 6.06acre parcel of land identified as Lot 1, Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway, and take any action necessary.

#### (12) Z2021-022 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Ignacio Cardenas for the approval of a <u>Specific Use Permit (SUP)</u> for *Residential Infill in an Established Subdivision* on a 0.158-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and take any action necessary.

#### (13) Z2021-023 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Don Holamon for the approval of a <u>Specific Use Permit (SUP)</u> for an *Accessory Building* on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and take any action necessary.

#### (14) Z2021-024 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of a *Zoning Change* amending Planned Development District 46 (PD-46) to allow *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, addressed as 3301 Springer Road, and take any action necessary.

#### (15) Z2021-025 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Kevin Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and take any action necessary.

#### (16) Z2021-026 (RYAN MILLER)

Hold a public hearing to discuss and consider a request by Troy Lewis of Newstream Capital Partners for the approval of an <u>Zoning</u> <u>Change</u> to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

#### (17) P2021-033 (HENRY LEE)

Discuss and consider a request by Aaron Selden for the approval of a *Final Plat* for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

#### (18) P2021-036 (DAVID GONZALES)

Discuss and consider a request by Bart Carroll for the approval of a <u>Preliminary Plat</u> for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road, and take any action necessary.

#### (19) SP2021-016 (HENRY LEE)

Discuss and consider a request by Johnathan Thrall of Nimble Restoration Services on behalf of Johnathan Dubroc of M. Crowd Restaurant Group for the approval of an <u>Amended Site Plan</u> for an existing <u>Restaurant [Mi Cocina]</u> on a 1.41-acre parcel of land identified as Lot 11, Block A, Rockwall Crossing Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 971 E. IH-30, and take any action necessary.

#### (20) SP2021-017 (DAVID GONZALES)

Discuss and consider a request by Keaton Mai of the Dimension Group behalf of Russell Phillips of Rockwall 205 Investors, LLC for the approval of a <u>Site Plan</u> for a *Retail Store with Gasoline Sales* on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [*SH-205*] and S. FM-549, and take any action necessary.

#### (21) SP2021-020 (RYAN MILLER)

Discuss and consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a <u>Site Plan</u> for a *Multi-Family Apartment Building* on a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [*N. Goliad Street*], and take any action necessary.

#### (22) SP2021-018 (DAVID GONZALES)

Discuss and consider a request by Kevin Patel of Triangle Engineering, LLC on behalf of Gene Cooper of GotRock Properties, LLC for the approval of a <u>Site Plan</u> for two (2) office buildings on a 1.128-acre tract of land identified as Lots 2 & 4, Block A, North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for General Retail (GR) District land uses, addressed as 1942 & 1944 N. Lakeshore Drive, and take any action necessary.

#### (23) Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2021-026: Preliminary Plat for the Winding Creek Subdivision (APPROVED)
- Z2021-014: Zoning Change (AG to PD) for Klutts Farm (APPROVED; 1st READING)
- Z2021-015: SUP for a Residential Infill at 511 S. Clark Street (APPROVED; 1st READING)
- Z2021-016: SUP for an Accessory Building at 361 Willowcrest (WITHDRAWN)
- Z2021-017: Zoning Change (AG to LI) on Airport Road (APPROVED; 1st READING)
- Z2021-018: Zoning Change (AG to LI) on Corporate Crossing (APPROVED; 1st READING)
- Z2021-019: Comprehensive Plan Update (APPROVED; 1st READING)

### (VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on <u>June 25, 2021</u> at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



NOTES ABOUT PUBLIC PARTICIPATION = RED

#### I. CALL TO ORDER

Chairman Chodun called the meeting to order at 6:00 PM. Commissioners present were Derek Deckard, Sedric Thomas, John Womble, Jean Conway and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Mark Moeller. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planning and Zoning Coordinator Angelica Gamez, Planner Henry Lee, City Engineer Amy Williams and Civil Engineer Sarah Johnston. Absent from the meeting was Civil Engineer Jeremy White.

#### II. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Chairman Chodun closed the open forum.

#### III. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and to not involve discretionary approvals.

- 1. Approval of Minutes for the May 25, 2021 Planning and Zoning Commission meetings.
- 2. P2021-026 (DAVID GONZALES)

Discuss and consider a request by Humberto Johnson of the Skorburg Co. on behalf of Alex Freeman and Mark G. & Jessica K. Taylor for the approval of a <u>Preliminary Plat</u> for the Winding Creek Subdivision consisting of 56 single-family residential lots on a 38.012-acre tract of land identified as Tracts 17 & 17-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

3. SP2021-014 (HENRY LEE)

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Chuck Vickers of T&C Main Street Holdings, LLC for the approval of an <u>Amended Site Plan</u> for an office building on a 0.50-acre parcel of land identified as Bock 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 108 St. Mary Street, and take any action necessary.

Commissioner Thomas made a motion to approve the consent agenda. Commissioner Deckard seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.

#### IV. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a <u>Request to Address the Planning and Zoning Commission</u> (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

#### 4. **Z2021-014 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Kevin Harrell of the Skorburg Company on behalf of Ben Klutts, Jr. of the Klutts Farm, LLC for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Planned Development District for Single-Family 8.4 (SF-8.4) District land uses on a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a summary and brief history in regards to the request. The applicant is requesting to rezone the property from an Agricultural District to Planned Development District for Single-Family 7 (SF-7) District land uses. In March 2021, the applicant came and brought a request to the Commission for a zoning change. At that time, he was proposing a 526-lot single-family residential subdivision which was a density of 2.68 dwelling units per acre. Based on this request, the applicant was requesting to change the Future Land Use map from low-density residential to medium-density residential because it did not conform to the Comprehensive Plan. The Planning and Zoning Commission recommended approval of this by a vote of 5-2, however, due to neighborhood opposition, it required a <sup>3</sup>/<sub>4</sub> majority vote and was ultimately failed at the City Council by a vote of 3-4. Based on this

denial the applicant brought back a request for a substantial change lowering the density from 2.68 to 2.5 units per acre which was in conformance with the Comprehensive Plan. Based on this, the Planning and Zoning Commission voted 4-1 to allow the applicant to resubmit the application. The applicant is requesting to change the zoning of the subject property form an Agricultural District to a Planned Development District for Single-Family 8.4 District land uses. The proposed subdivision consists of 490-lots which will be a density of 2.5 units per acre. There will be three (3) different lot types: [226] 62' x 120' lots, [249] 72' x 120' lots, and [15] 100' x 120' lots. Looking at the amenity package proposed for this subdivision, the applicant is proposing to incorporate 13.6 acres of open space, which includes a dog park, a public park, as well as an amenity center. Staff should also note that the applicant has incorporated a trail system into the neighborhood. When looking at the UDC and Engineering Standards of Design, the proposed development does meet all of those requirements. In lieu of alleyways, the applicant is proposing to utilize 80% j-swing drives and 20% flat front entry. Per this body's recommendation, at the last applicant's request, this was taken before the Parks and Recreation Board concerning the proposed regional park. The Board voted on April 6, 2021 to recommend approval to the Commission with a vote of 6-0. With this being a zoning case, staff mailed out 23 notices to property owners and occupants within 500-feet of the subject property. Staff has since received 6 notices in opposition of the request and 2 in favor of the request. Mr. Miller then advised the Commission that the applicant and Staff were present and available for questions.

Commissioner Womble asked how they could weigh the traffic.

Chairman Chodun asked the applicant to come forward.

Adam Buczek 8214 Westchester Drive, Suite 900 Dallas, TX 75225

Mr. Buczek came forward and provided a PowerPoint presentation in regards to his request.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

Katie Welch 2844 FM 549 Rockwall, TX 75087

Mrs. Welch came forward and expressed her being in favor of the request.

Greg Hollon 2778 S. FM 549 Rockwall, TX 75087

Mr. Hollon came forward and expressed his opposition to the request.

Stan Jeffus 2606 Cypress Drive Rockwall, TX 75087

Mr. Jeffus came forward and expressed his opposition to the request. He gave out a handout (Minutes from October 11, 2005 Planning and Zoning meeting) to the Commission and Staff.

Melba Jeffus 2606 Cypress Drive Rockwall, TX 75087

Mrs. Jeffus came forward and expressed her opposition to the request.

David Shoen 3006 San Marcos Drive Rockwall, TX 75032

Mr. Shoen came forward and expressed his opposition to the request. His main concern being the overcrowding of schools.

Chris Dichard 1903 FM 549 Rockwall, TX 75087

Mr. Dichard came forward and expressed his opposition to the request.

Richard Henson 2424 S FM 549 Rockwall, TX 75087

Mr. Henson came forward and presented a PowerPoint presentation to express his opposition.

Bob Wacker 309 Featherstone Drive Rockwall, TX 75087

Mr. Wacker came forward and expressed his being in favor of the request. He provided a brief PowerPoint in regards to the request and how it meets the Comprehensive Plan.

Casey Welch 2844 S. FM 549 Rockwall, TX 75087

Mr. Welch came forward and expressed his being in favor of the request.

Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard encouraged the public in attendance to attend the upcoming Bond Election for the school district. He also added that staff in the city does not have any involvement with their developing. He gave further explanation in regards to the water shedding in the properties.

Chairman Chodun asked the applicant to come forward and address comments made by the public.

Mr. Buczek came forward and provided a brief closing statement.

Commissioner Womble expressed his being in favor of the request.

Chairman Chodun expressed his being opposed to the request.

Commissioner Deckard made a motion to approve item Z2021-014. Commissioner Womble seconded the motion which passed by a vote of 5-1 with Chairman Chodun dissenting.

Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

#### 5. Z2021-015 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Jason Castro of Castro Development, LLC for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for Residential Infill in an Established Subdivision on a 0.165-acre parcel of land identified as Lot 6, Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 511 S. Clark Street, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The original application was presented in January 2021 but was withdrawn. The reason for the withdrawal was that the applicant was requested to do a topographic survey by the Engineering department. The applicant has provided a letter for the waiver as to why they're requesting the design of the project. With the exception of the waivers, the proposed duplex meets all density and dimensional requirements that are stipulated within the 2-F zoning. This is a discretionary for the Planning and Zoning Commission and the City Council pending a recommendation. Staff mailed out 71 notices to property owners and occupants within 500-feet of the subject property. The Park Place HOA was also notified as it lies within 1500-feet of the subject property. Three notices have been returned to Staff and are in opposition of the request. Mr. Gonzales advised that the Commission and Staff were present and available for questions.

Chairman Chodun asked the applicant to come forward.

Jason Castro 16424 Fall Kirk Drive Dallas, TX 75248

Mr. Castro came forward and provided a brief statement in regards to the request.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

Corky Randolph 621 E. Boydstun Street Rockwall, TX 75087

Mr. Randolph came forward and expressed his opposition to the request. He also asked clarification as to how many variances were requested.

Bob Wacker 309 Featherstone Drive Rockwall, TX 75087

Mr. Wacker came forward and expressed his being in favor of the request.

Mike Hogue 1498 Hubbard Drive Rockwall, TX 75087

Mr. Hogue came forward and had a question in regards to the flood zone. He had a concern as to where trash and parking would end up at the home.

Mr. Miller advised that Staff would ensure that what was dumped there was removed from the property.

Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Mr. Castro came forward and addressed the comments made by the public.

Commissioner Conway had a question as to why the carport cannot be converted into a garage.

Commissioner Womble added that he had suggested the variance for the carport last meeting and he thinks it's a good design.

Commissioner Thomas expressed his being in favor of the request.

Commissioner Deckard asked if there was any future plans for the large metal building across the street for the project.

Commissioner Womble made a motion to approve item Z2021-015. Commissioner Thomas seconded the motion which passed by a vote of 5-1 with Commissioner Welch dissenting.

Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

#### 6. **Z2021-016** (HENRY LEE)

Hold a public hearing to discuss and consider a request by Mike Mishler of Mishler Builders, Inc. on behalf of John Curanovic for the approval of a <u>Specific Use Permit (SUP)</u> allowing a detached garage that does not conform to the maximum square footage requirements on a 1.948-acre parcel of land identified as Lot 23 of the Willowcrest Estates Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 361 Willowcrest, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting to permit an accessory building with a brick veneer façade. At the last meeting, the applicant mentioned that the brick will be comparable to the existing single-family home. The only utility being run into the building will be electricity. Per the City's requirements, the applicant's request does conform to the setback requirements for accessory buildings but does not adhere to the maximum size permitted for buildings. The proposed building does exceed the maximum permissible size by 2,576 square feet. Staff mailed out 30 notices to property owners and applicants within 500-feet of the subject property. The HOAs within 1500-feet were also notified. At the time this report was drafted, staff had not received any notifications in regards to the request. This is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission.

Vice-Chairman Welch asked who was responsible for putting the signs up for the zoning cases.

Chairman Chodun asked the applicant to come forward.

Mike Mishler 1009 Ivy Lane Rockwall, TX 75087

Mr. Mishler came forward and provided additional details in regards to the request.

Commissioner Deckard asked for explanation on the roof pitch.

Vice-Chairman Welch stated that he did not see any other out houses in the area near the subject property.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Womble advised that the Commission has seen too many requests for oversized buildings.

Commissioner Conway advised that this would be set as a precedence.

Chairman Chodun asked how that calculation was done for the lot size and square footage on accessory buildings.

Commissioner Womble made a motion to deny item Z2021-016. Chairman Chodun seconded the motion which passed by a vote of 4-2 with Commissioners Thomas and Deckard dissenting.

Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

#### 7. Z2021-017 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Tyler Wood of Intrepid Equity Investments, LLC on behalf of Robert B. Baldwin III of RBB/GCF Properties, LP for the approval of a *Zoning Change* from an Agricultural (AG) District to a Light Industrial (LI) District for a 17.03-acre tract of land identified as Tract 4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the south side of Airport Road east of the intersection of Airport Road and John King Boulevard, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is proposing a zoning change from Agricultural District to a Light Industrial District. This is intended to create limited industrial zones and to facilitate industrial parks. The subject property does seem to be in conformance with the intent of the light industrial district. The proposed zoning change is in conformance with the future land use plan. Zoning is discretionary to the City Council pending a recommendation from the Planning and Zoning Commission. Staff mailed out 26 notices to property owners and occupants within 500-feet of the subject property. Staff received four (4) notices back; 3 in favor and 1 opposed to the request. Mr. Gonzales advised that the applicant and Staff were present and available to answer questions.

Chairman Chodun asked the applicant to come forward.

Tyler Wood 3055 Bridgecreek Drive Rockwall, TX 75032

Mr. Wood came forward and was prepared to answer questions.

Stanley Springer 2000 Airport Road Rockwall, TX 75087

Mr. Springer came forward and had questions in regards to what's going in.

Lori Garrett 1930 Airport Road Rockwall, TX 75087

Mrs. Garrett came forward and expressed her opposition to the request.

Diane Springer 2000 Airport Road Rockwall, TX 75087

Mrs. Springer came forward and expressed her concerns to the zoning change.

Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Mr. Wood came up and addressed the comments made by the public.

Commissioner Womble asked why this part of the City was zoned Agricultural (AG) District when it first came into the City.

Vice-Chairman Welch made a motion to approve item Z2021-017 with staff recommendations. Commissioner Thomas seconded the motion which passed by a vote of 6-0.

Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

#### 8. Z2021-018 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Dan Gallagher, PE of Kimley-Horn and Associates, Inc. on behalf of L. R. Tipton of the Hitt Family, LP for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Light Industrial (LI) District for a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [*FM*-549] and Capital Boulevard, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The Unified Development Code (UDC) recognized that the light industrial district is a zoning district intended to create a limited industrial zone that provides for modern type of land uses. This is intended to facilitate the development of industrial parks in the larger industries. The applicant's request to change the zoning is in conformance with the technology employment center land use designation. It also appears to be in conformance with the Future Land Use map. A zoning change is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 2 notices to property owners and occupants within 500-feet of the subject property. Staff has received two (2) notices in favor of the request. Mr. Gonzales then advised the Commission that the applicant and staff were present and available to answer questions.

Chairman Chodun asked the applicant to come forward.

2001 Ross Avenue Dallas, TX 75201

A representative from Dan Gallagher came forward and was prepared to answer questions.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

David Shoen 3006 San Marcos Drive Rockwall, TX 75087

Mr. Shoen came forward and asked if there was a possibility to add a light in the street.

Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Womble asked if there was a traffic study that could be attached to the case or would it have to be done separately.

Vice-Chairman Welch made a motion to approve item Z2021-018 with staff recommendations. Commissioner Thomas seconded the motion which passed by a vote of 6-0.

Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

9. Z2021-019 (RYAN MILLER)

Hold a public hearing to discuss and consider the annual update to the OURHometown Vision 2040 Comprehensive Plan (*i.e.* 2019 & 2020 Comprehensive Plan Update), and take any action necessary.

Planning and Zoning Director Ryan Miller gave a brief summary in regards to the request. Staff wanted to create an accountability phase which includes annual updates. A standing CPAC committee was created which allows to change the plan as the community and vision changes. Over the last years, there were several actions to achieve each year. Mr. Miller also outlined the achievements made for the year 2019/2020 and the goals for the upcoming years.

Bob Wacker 309 Featherstone Drive Rockwall, TX 75087

Mr. Wacker came forward and provided a PowerPoint presentation in regards to the request.

Mr. Miller gave additional details in regards to the updates made in the Comprehensive Plan. He explained some of the administrative changes made throughout the year.

Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

Jim Turner 1691 E. Old Quail Run Road Rockwall, TX 75087

Mr. Turner came forward and added there may be a few definitions that could be cleaned up.

Steve Curtis 2130 FM 1141 Rockwall, TX 75087

Mr. Curtis came forward and asked for the definition of suburban residential to be added to the comprehensive plan.

David Shoen 3006 San Marcos Drive Rockwall, TX 75087

Mr. Shoen came forward and asked for the clarification of gross density in the residential section.

Mr. Miller added that the comprehensive plan is a big guide. There aren't hard, fast requirements and it's a document that talks in generalities and gives a general vision.

Chairman Chodun asked if anyone else wished to speak to come forward; there being no one doing such, Chairman Chodun closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Womble made a motion to approve item Z2021-019. Commissioner Deckard seconded the motion which passed by a vote of 6-0.

#### Chairman Chodun advised that the case will go before the City Council on June 21, 2021.

#### V. DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

- 10. <u>Director's Report</u> of post City Council meeting outcomes for development cases (RYAN MILLER).
  - P2021-022: Final Plat for Lots 1 & 2, Block A, Neller Addition [APPROVED]
  - P2021-023: Replat for Lots 12 & 13, Block 1, Alliance Addition, Phase 2 [APPROVED]
  - P2021-024: Replat for Lot 1, Block A, Johnson Addition [APPROVED]
  - P2021-025: Replat for Lot 2, Block 1, Our Savior Lutheran Church Addition [APPROVED]
  - P2021-027: Preliminary Plat for Lots 1 14, Block A, Creekside Commons Addition [APPROVED]
  - P2021-028: Replat for Lot 9, Block A, Ellis Centre, Phase Two Addition [APPROVED]
  - Z2021-008: SUP for Residential Infill at 550 E. Quail Run Road [APPROVED; 2ND READING]
  - Z2021-009: SUP for Residential Infill at 704 Parks Avenue [APPROVED; 2<sup>ND</sup> READING]
  - Z2021-011: SUP for an Accessory Building at 804 S. Alamo Road [DENIED; 2ND READING]
  - Z2021-013: Text Amendment to Article 05, District Development Standards, of the UDC [APPROVED; 2<sup>ND</sup> READING]

# Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

#### VI. ADJOURNMENT

#### Chairman Chodun adjourned the meeting at 9:12 pm

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



## CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087

	PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM	
-/	385 S. GOLIAD STREET • ROCKWALL, TX 75087	

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	Richard Harris; Richard and Judy Harris Family Trust
CASE NUMBER:	P2021-029; Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition

#### <u>SUMMARY</u>

Consider a request by Richard and Judy Harris Family Trust for the approval of a <u>Replat</u> for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 8.005-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street and 720 Hartman Street, and take any action necessary.

#### PLAT INFORMATION

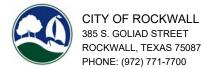
- ☑ The purpose of the applicant's request is to <u>Replat</u> a 8.005-acre parcel of land (*i.e.* Lots 1-7, Block A, Richard Harris No. 2 Addition) into eight (8) lots (*i.e.* Lots 8-15, Block A, Richard Harris No. 2 Addition) for the purpose of conveying a portion of Lot 8 to the adjacent property owner. The subject property includes 400, 402, 404, 406, 408, 410, & 412 Renfro Street and 720 Hartman Street, and is zoned Single-Family 7 (SF-7) District.
- ☑ The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. The City's historic zoning maps show that the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, the subject property was rezoned Single-Family 7 (SF-7) District. On November 14, 1982, the subject property was platted as Lots 1-7, Block A, Richard Harris No. 2 Addition.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this <u>Replat</u> -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this <u>Replat</u> by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

#### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a <u>Replat</u> for Lots 8-15, Block A, Richard Harris No. 2 Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* Engineering, Planning and Fire Department) shall be addressed prior to submittal of civil engineering plans; and
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-029 Lots 8-15, Block A, Richard Harris No. 2 Addition CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

CASE CAPTION: Consider a request by Richard and Judy Harris Family Trust for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 2.23-acre tract of land identified as Lots 1-7, Block A, Richard Harris No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	05/20/2021	Approved w/ Comments	

05/20/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 2.23-acre tract of land identified as Lots 1-7, Block A, Richard Harris

No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2021-029) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Lot 8 does not meet the lot width requirements stipulated in the Unified Development Code (UDC). The is lot will either need to be corrected or incorporated into the property to the West. Otherwise the plat will be denied, based on that the plat will not meet the City of Rockwall technical requirements.

M.6 Indicate the 20' utility and drainage easements along the west side of Lot 8. If you have questions on this contact the Engineering Department.

M.7 Ghost the original lot lines.

M.8 The right-of-way along Renfro is 60', please correct the plat to indicate this. If you have questions on this contact the Engineering Department.

M.9 Number 7 on the Owner's Certificate is not needed as it is included in the notes on sheet 1.

1.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval.

I.11 The proposed Replat will go to Planning and Zoning on May 25 at 6pm and City Council on June 7, 2021.

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lots 8-15, Block A, Richard Harris No. 2 Addition being a 2.23-acre tract of land identified as Lots 1-7, Block A, Richard Harris

No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 400, 402, 404, 406, 408, 410, & 412 Renfro Street.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2021-029) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Include all of Tract 34-1. The current tract has another portion of land to the south-west, which is not indicated on this plat. Include tract 44-01, the 1.792-acres to the south, into Lot 8 as well.

M.6 Correct the title block to:

Final Plat

Richard Harris Subdivision No. 2

"Leave the rest as is"

M.7 Correct the acreage of the total site; including the original Richard Harris No. 2 Addition, Tract 34-1, and Tract 44-01.

M.8 Ghost the original lots.

M.9 Indicate the 20' utility and drainage easements along the west side of the existing Richard Harris Subdivision No. 2.

M.10 Move #7 on sheet 2 to the general notes on sheet 1.

M.11 Include the Planning and Zoning Chairman's signature with the City signature block.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval.

I.13 The proposed Replat will go to Planning and Zoning on June 29 at 6pm and City Council on July 19, 2021.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	05/20/2021	Needs Review	

05/20/2021: M - Lot 8 does not have the proper street frontage.

M - Provide 20'x20' visibility and sidewalk easement clip at Renfro St. and Hartman St.

M - Must conduct a topographic survey of the lots.

M - Must show the floodplain limits, cross section and water surface elevations data per most current City Floodplain Study and drawn in according to the topographic survey.

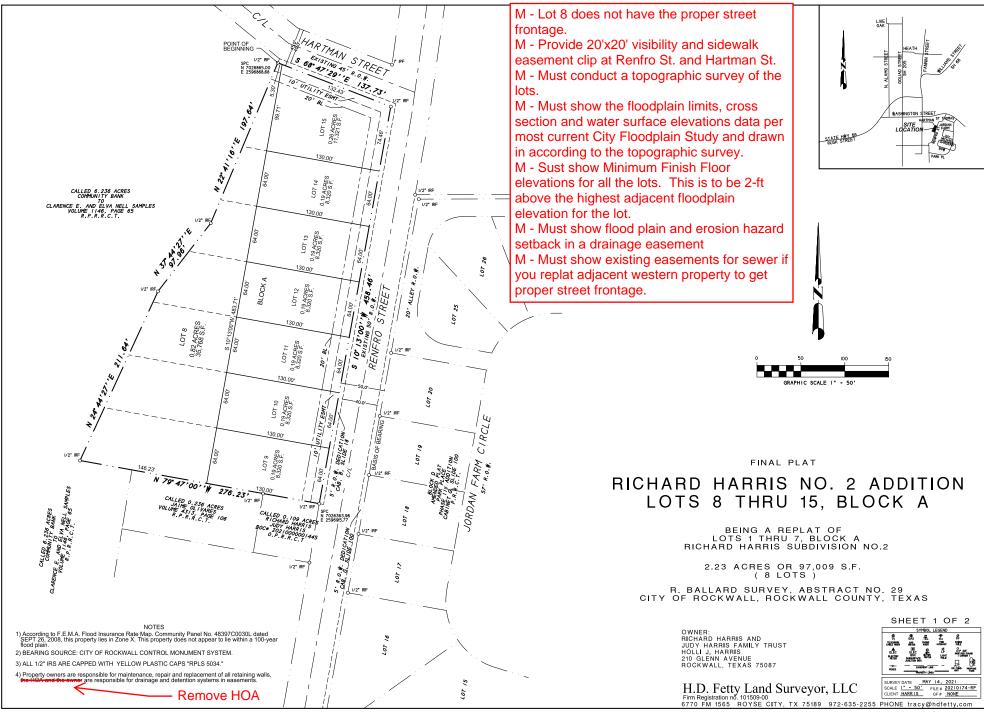
M - Sust show Minimum Finish Floor elevations for all the lots. This is to be 2-ft above the highest adjacent floodplain elevation for the lot.

M - Must show flood plain and erosion hazard setback in a drainage easement

M - Must show existing easements for sewer if you replat adjacent western property to get proper street frontage.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	05/18/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	05/17/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	05/17/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Henry Lee	05/20/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	05/17/2021	Approved	

05/17/2021: No comments



CITY CASE P2021-

#### OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS Richard and Judy Harris Family Trust and Holli J, Harris BEING THE OWNERS OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the R. BALLARD SURVEY, ABSTRACT NO. 29, City of Rockwall, Rockwall County, Texas, and being all of Lots 1-7, Block A, of Richard Harris Subdivision No. 2, an Addition to the City of Rockwall. Rockwall County, Texas, and being nore particularly describ as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of HartmanStreet, a 45' R.O.W. at the northwest corner of Lot 1, Block A;

THENCE S. 68 deg. 47 min. 29 sec. E. along said right-of-way line, a distance of 137.73 feet to a 1/2" iron rod found for corner at the intersection of said right-of-way line with the west right-of-way line of Renfro Street, a 50" R.O.W.:

THENCE S. 10 deg. 13 min. 00 sec. W. along the west right-of-way of Renfro Street, a distance of 458.46 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 7, Block A;

THENCE N. 79 deg. 47 min. 00 sec. W. along the south line of Lot 7, a distance of 276.23 feet to a 1/2" iron rod found for corner at the southwest corner of Lot 7:

THENCE N. 24 deg. 44 min. 27 sec. E. a distance of 211.64 feet to a 1/2" iron rod found for corner.

THENCE N. 37 deg. 44 min. 27 sec. E. a distance of 97.96 feet to a 1/2" iron rod found for corner; THENCE N. 22 deg. 41 min. 16 sec. E. a distance of 197.64 feet to the POINT OF BEGINNING and containing 97,009 square feet or 2.23 acres of land.

NOW. THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as RICHARD HARRIS New ADDTINELOTSS. HIRVI 5, SUCKA, as Addition to the City of Kockwail, Teass, and whose courses, drains, assements and public places thereon obhown on the public sean do considered to the expressed. I further certify that all other parties who have a mortgage or lien interest in RICHARD HARRIS No. 2 ADDITIOL LOTS 5 THRU IS, BLOCKA have been notified and signed that plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

Calculations and accounter the right to remove and keep removed all or part of any 2.2. Any public utility a fail have the right to remove and keep removed all or parts of any stranger or interfere with construction, maintenance or efficiency of the sir respective system on any of these easiement strates, and any public utility shall as all times have the right of largests or descent strates and any public utility shall as all times have the right of largests or inspecting, patrolling, maint aning, and either adding to or removing all or part of their respective system without the necessity of at any time, procuring the public strates of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No source dwelling unit, or other structures shall be constructed on any lot in this diduction by the entry lot of the source with the dwelling of the source has complete with a linequirements of the Subdivision Regulations of the City of Rock kwall regarding improvements with respect to the entries block on the strete or stretes on which property abuts, including the dwelling dwel

Und specializations or track of or hockwar, or Undi an escore deposit sufficient to pay for the cost of such improvements, as determined by the large second special sufficient to pay for the cost of such improvements, as determined by been made with the oils secretary, accompanied by an agreement signed by the developer and/or owner, authority the oily to make such improvements a prevailing private commercial rates, where the developer and do owner fail or retures to install the required improvements within the time stadion in such writes agreement, but in no case shall be Coly be obligated to make such apayments as the work progresses in making such improvements by making certified requisitions to the divescretary, supported by vortices of which one; or

Until the developer and/or owner files a corporate surely bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

Property owners are responsible for maintenace, repair and replacement of all retaining walls and drainage and detention systems in easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

RICHARD HARRIS for RICHARD AND JUDY HARRIS FAMILY TRUST

HOLLI J. HARRIS

#### STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared RICHARD HARRIS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this day of

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any represent allon, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS COUNTY OF ROCKWALL Before me, the undersigned authority, on this day personally appeared HOLLI J. HARRIS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration threfin stated. Given upon my hand and seal of office this

day of

Notary Public in and for the State of Texas My Commission Expires:

SURVEYOR'S CERTIFICATE NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III Registered Professional Land Surveyor No. 5034



I hereby certify that the above and foregoing plat of RICHARD HARRIS NO. 2 ADDITION LOTS 81 THRU 15, BLOCK A, an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_

Director of Planning

City Engineer

#### FINAL PLAT

Date

### RICHARD HARRIS NO. 2 ADDITION LOTS 8 THRU 15. BLOCK A

BEING A REPLAT OF LOTS 1 THRU 7, BLOCK A RICHARD HARRIS SUBDIVISION NO.2

2.23 ACRES OR 97.009 S.F. ( 8 LOTS )

R. BALLARD SURVEY, ABSTRACT NO. 29 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

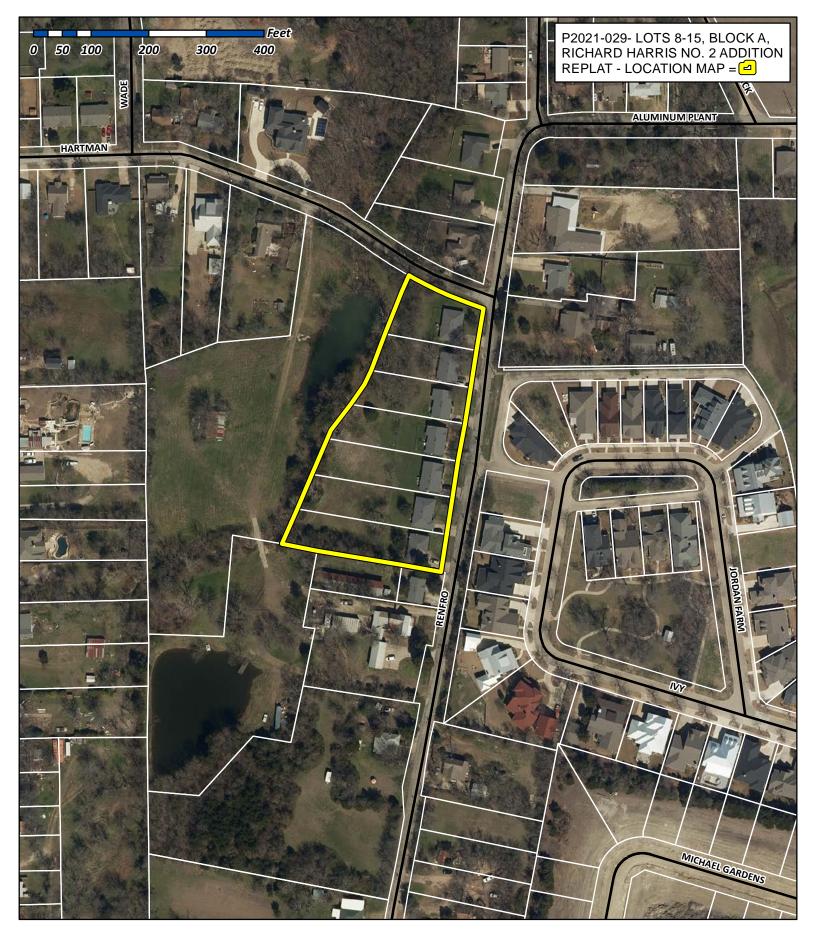
OWNER OWNER: RICHARD HARRIS AND JUDY HARRIS FAMILY TRUST HOLLI J. HARRIS 210 GLENN AVENUE ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00 6770 FM 1565 ROYSE CITY, <u>TX 75189</u> 972-635-2255 PHONE tracy@hdfetty.com



CITY CASE P2021-

	DEVELOPMENT APPLIC City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ATION	STAFF USE ONLY PLANNING & ZONING CASE NO. P202(- IOTE: THE APPLICATION IS NOT CONSIDERED ACC DITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINED BELOW. DIRECTOR OF PLANNING: DIRECTOR OF PLANNING: DITY ENGINEER:	CEPTED BY THE
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMENT	REQUEST [SELECT ONLY ONE BOX]:	
□ PRELIMINARY PLA □ FINAL PLAT (\$300.0 + □ AMENDING OR MIN □ PLAT REINSTATEM SITE PLAN APPLICAT □ SITE PLAN (\$250.0	00.00 + \$15.00 ACRE) 1 AT (\$200.00 + \$15.00 ACRE) 1 00 + \$20.00 ACRE) 1 - \$20.00 ACRE) 1 NOR PLAT (\$150.00) MENT REQUEST (\$100.00) <b>TION FEES:</b>		PPLICATION FEES:           CHANGE (\$200.00 + \$15.00 ACRE) 1           IC USE PERMIT (\$200.00 + \$15.00 ACRE) 1           ELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1           PLICATION FEES:           EMOVAL (\$75.00)           CE REQUEST (\$100.00)           RMINING THE FEE, PLEASE USE THE EXACT AC           BY THE PER ACRE AMOUNT. FOR REQUESTS ON LD UP TO ONE (1) ACRE.	REAGE WHEN ESS THAN ONE
PROPERTY INFOR	MATION [PLEASE PRINT]	the second second		
ADDRESS	400 - 412 Renfro	Street		
SUBDIVISION	B. RICHARD HARRIS		LOT 1-7 BLOCK	Δ.
GENERAL LOCATION	RENFRO STREET /			
ZONING, SITE PLA	N AND PLATTING INFORMATION IPLEA			
CURRENT ZONING		CURRENT L	SE RESIDENTIAL	
	SAME SF7	PROPOSED L	<ul> <li>and the second se</li></ul>	
	2.23 ACRES LOTS [CURRENT		LOTS [PROPOSED]	
SITE PLANS AND PL	ATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE 1 ROVAL PROCESS AND FAILURE TO ADDRESS ANY OF	THAT DUE TO THE P	ISSAGE OF HRITER THE CITY NO LONGED LAG	FLEXIBILITY WITH CALENDAR WILL
OWNER/APPLICAN	TAGENT INFORMATION [PLEASE PRINT/CI	HECK THE PRIMARY (	ONTACT/ORIGINAL SIGNATURES ARE REQUIRED	
DELOWNER R	TAGENT INFORMATION [PLEASE PRINT/CI ICHARD and JUDY HARRIS FAN	MULTAPPELCAK	IST SAME	
CONTACT PERSON 2	ICLARD HARRYS	CONTACT PERSO		
ADDRESS Z	210 GLENN AVENUE	ADDRES	S	
CITY, STATE & ZIP (2 PHONE	UCKWALL, TO 75087	CITY, STATE & ZI		
E-MAIL		PHON E-MA		
	TION [REQUIRED] INED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE	D RUCHAR		ERSIGNED, WHO
	THE OWNER FOR THE PURPOSE OF THIS APPLICATION: A	I I INFORMATION SUB	ITTED HEREIN IS TRUE AND CORRECT: AND THE AD	
NFORMATION CONTAINED W	, IO COVER THE COST OF THIS APPLICATION HA	EE THAT THE CITY OF	TY OF ROCKWALL ON THIS THE	DAY OF
GIVEN UNDER MY HAND AND	O SEAL OF OFFICE ON THIS THE LL DAY OF	May 20		ANDHOFF D # 5161246
NOTARY PUBLIC IN AND FOR	R THE STATE OF TEXAS	11/2		ober 29, 2022

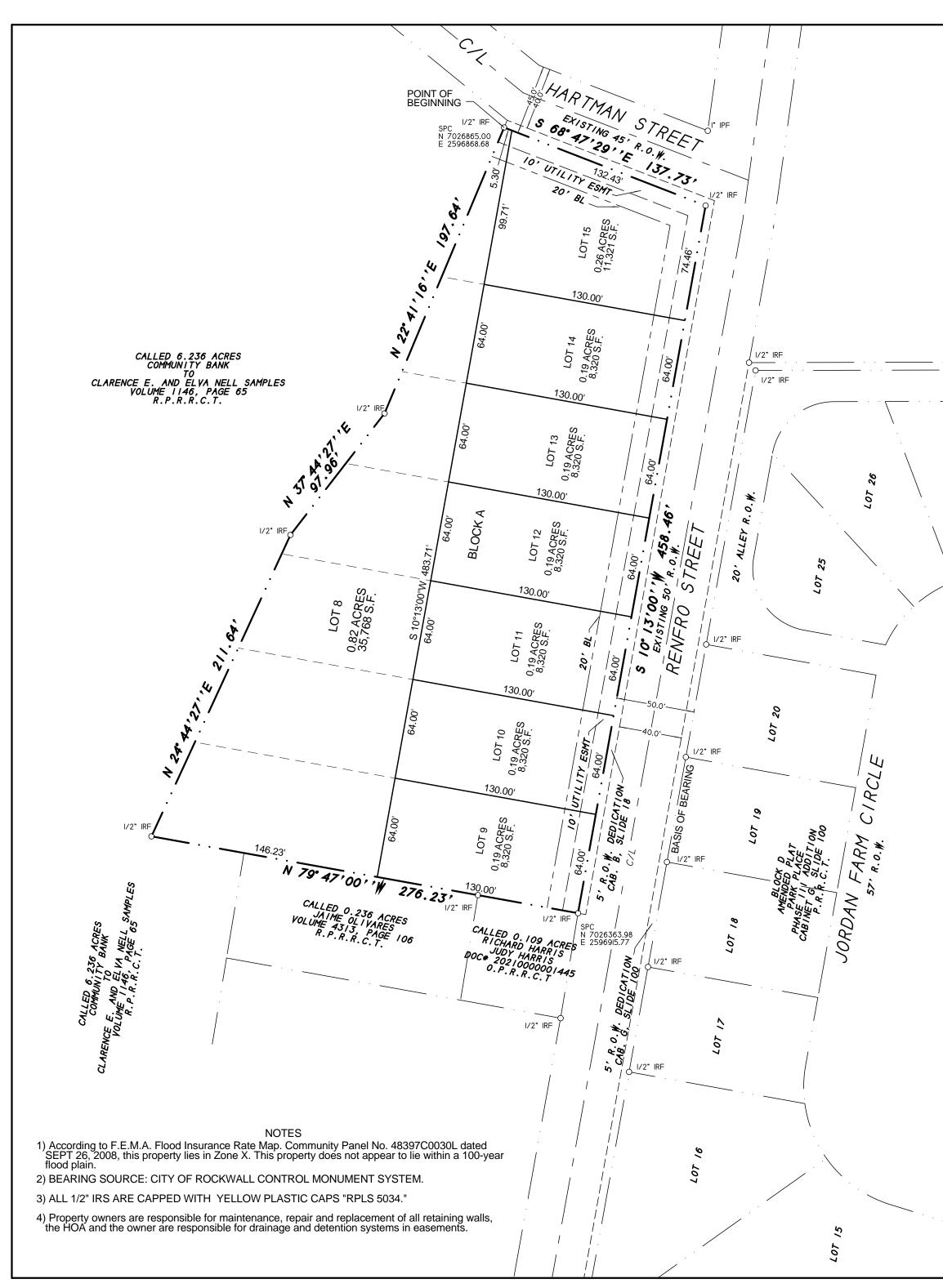


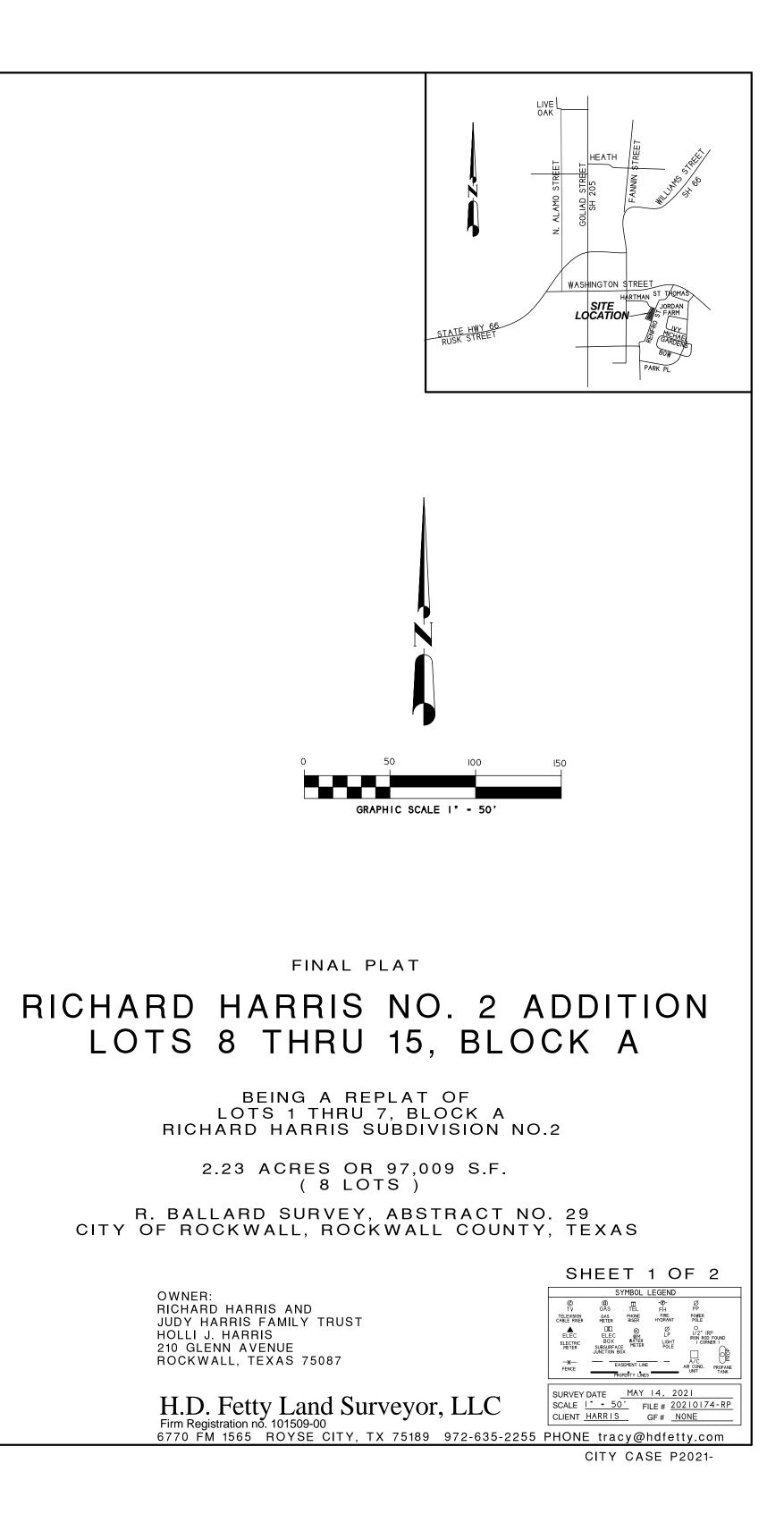


# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LOT 27

\

#### OWNER'S CERTIFICATE (Public Dedication)

## STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS Richard and Judy Harris Family Trust and Holli J. Harris BEING THE OWNERS OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the R. BALLARD SURVEY, ABSTRACT NO. 29, City of Rockwall, Rockwall County, Texas, and being all of Lots 1-7, Block A, of Richard Harris Subdivision No. 2, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Sl;lide 18 of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of HartmanStreet, a 45' R.O.W. at the northwest corner of Lot 1, Block A;

THENCE S. 68 deg. 47 min. 29 sec. E. along said right-of-way line, a distance of 137.73 feet to a 1/2" iron rod found for corner at the intersection of said right-of-way line with the west right-of-way line of Renfro Street, a 50' R.O.W.;

THENCE S. 10 deg. 13 min. 00 sec. W. along the west right-of-way of Renfro Street, a distance of 458.46 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 7, Block A;

THENCE N. 79 deg. 47 min. 00 sec. W. along the south line of Lot 7, a distance of 276.23 feet to a 1/2" iron rod found for corner at the southwest corner of Lot 7;

THENCE N. 24 deg. 44 min. 27 sec. E. a distance of 211.64 feet to a 1/2" iron rod found for corner;

THENCE N. 37 deg. 44 min. 27 sec. E. a distance of 97.96 feet to a 1/2" iron rod found for corner;

THENCE N. 22 deg. 41 min. 16 sec. E. a distance of 197.64 feet to the POINT OF BEGINNING and containing 97,009 square feet or 2.23 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as RICHARD HARRIS NO. 2 ADDITION, LOTS 8 THRU 15, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in RICHARD HARRIS NO. 2 ADDITION, LOTS 8 THRU 15, BLOCK A have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7) Property owners are responsible for maintenace, repair and replacement of all retaining walls and drainage and detention systems in easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

**RICHARD HARRIS** for RICHARD AND JUDY HARRIS FAMILY TRUST

HOLLI J. HARRIS

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared RICHARD HARRIS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until inage systems have been acc . water. sewer a approval of a plat by the City does not constitute any representa tion, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared HOLLI J. HARRIS known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_

Notary Public in and for the State of Texas

My Commission Expires:

SURVEYOR	S CERTIFICATE	
NOW, THEREFORE KNOW ALL	. MEN BY THESE PRESENTS:	
THAT I, Harold D. Fetty, III, R.P.I from an actual and accurate surv were properly placed under my p	L.S. No. 5034, do hereby certify that I prepared rey of the land, and that the corner monuments personal supervision.	d this plat s shown thereon
Harold D. Fetty, III Registered Professional Land Su	rveyor No. 5034	POFESSION TAND SURVEY
APPROVED		
I hereby certify that the above and for LOTS 8 THRU 15, BLOCK A, an add approved by the City Planning Direct the day of	regoing plat of RICHARD HARRIS NO. 2 ADDITIO dition to the City of Rockwall, Texas, was or of the City of Rockwall on	0N
This approval shall be invalid unless office of the County Clerk of Rockwal from said date of final approval.	the approved plat for such addition is recorded in the ll, County, Texas, within one hundred eighty (180)	he days
	ne requirements of the Subdivision Regulations of t	
WITNESS OUR HANDS, this	_ day of,	
Director of Planning		
3		
City Engineer	Date	
	Date	

FINAL PLAT

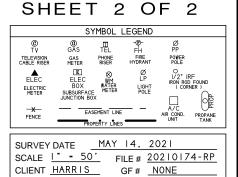
# RICHARD HARRIS NO. 2 ADDITION LOTS 8 THRU 15, BLOCK A

## BEING A REPLAT OF LOTS 1 THRU 7, BLOCK A RICHARD HARRIS SUBDIVISION NO.2

2.23 ACRES OR 97,009 S.F. (8 LOTS)

R. BALLARD SURVEY, ABSTRACT NO. 29 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

> OWNER: RICHARD HARRIS AND JUDY HARRIS FAMILY TRUST HOLLI J. HARRIS 210 GLENN AVENUE ROCKWALL, TEXAS 75087



H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE P2021-



CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	Luis M. Gonzalez; Pacheco Koch Consulting Engineers
CASE NUMBER:	P2021-030; Replat for Lot 4, Block A, Channell Subdivision

### **SUMMARY**

Consider a request by Luis M. Gonzalez of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Willcar Holdings, LLC for the approval of a <u>Replat</u> for Lot 4, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 89 (PD-89) for Light Industrial (LI) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

#### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for an 18.762-acre parcel of land [i.e. *Lot 2, Block A, Channell Subdivision Addition*] for purpose of establishing firelane & drainage easements for the western portion of the subject property to facilitate the construction of a ~55,760 SF office/warehouse facility. The *subject property* is located within the SH-205 By-Pass Overlay (SH-205 BY OV) and is addressed as 1700 John King Boulevard.
- The subject property was annexed by the City Council on September 16, 1974 by Ordinance No. 74-25 (Case No. A1974- $\checkmark$ 005). Based on the May 7, 1993 historic zoning maps, between the time of annexation and May 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. On March 17, 2014 the City Council approved a final plat (Case No. P2014-008) establishing Lot 1, Block A and Lot 1, Block B, Channell Subdivision. On July 8, 2014, the Planning and Zoning Commission approved a site plan (Case No. SP2014-011) for a 225,910 SF manufacturing and office building on the 18.762-acre subject property. As a part of the aforementioned site plan request, and on July 21, 2014, the City Council approved variances to the parking, building materials, light pole height requirements, and a special exception to allow tilt wall construction. On September 17, 2014, the City Council approved a replat (Case No. P2014-038) for the subject property. An amendment to the approved site plan (Case No. SP2014-011) was approved by the City Council on May 16, 2016. A subsequent site plan (Case No.'s SP2019-021 [withdrawn] and SP2019-045) -- which was approved on December 10, 2019 -- established screening for the outside storage areas on the north side of the existing building, realigned the western drive aisle, and laid out additional parking areas. An amended site plan (Case No. SP2020-011) was submitted and approved by the Planning and Zoning Commission on July 14, 2020. On January 4, 2021, the City Council approved a zoning change from a Light Industrial (LI) District to Planned Development District 89 (PD-89) [i.e. Case No. Z2020-053] for Light Industrial (LI) District land uses for the purpose of establishing a corporate campus. A final amended site plan (i.e. Case No. SP2021-011) was approved administratively by staff for the purpose of constructing a ~55,760 SF office/warehouse facility.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this <u>Replat</u> -- conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this <u>*Replat*</u> by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section below, this <u>*Replat*</u> is in substantial compliance with the requirements of Chapter 38, *Subdivision*, of the Municipal Code of Ordinances.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the <u>Replat</u> for Lot 4, Block A, Channell Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this subdivision plat;
- (2) Any construction resulting from the approval of this <u>Replat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-030 Lot 4, Block A, Channell Subdivision 1700 JUSTIN RD. ROCKWALL, 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/23/2021	Approved w/ Comments	

06/23/2021: P2021-030; Replat for Lot 4, Block A, Channell Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 4, Block A, Channell Subdivision being a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-030) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by Planned Development District 89 (PD-89), the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Page 3, under the dedication statement, the statement for Line No. 7 "The property owner shall be responsible...and detention easements" will need to be moved under General Notes as No. 3.

M.6 Page 3, under the standard city signature block, change the year listed as 2016 to 2021.

1.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.

M.8 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.9 Please note the scheduled meetings for this case:

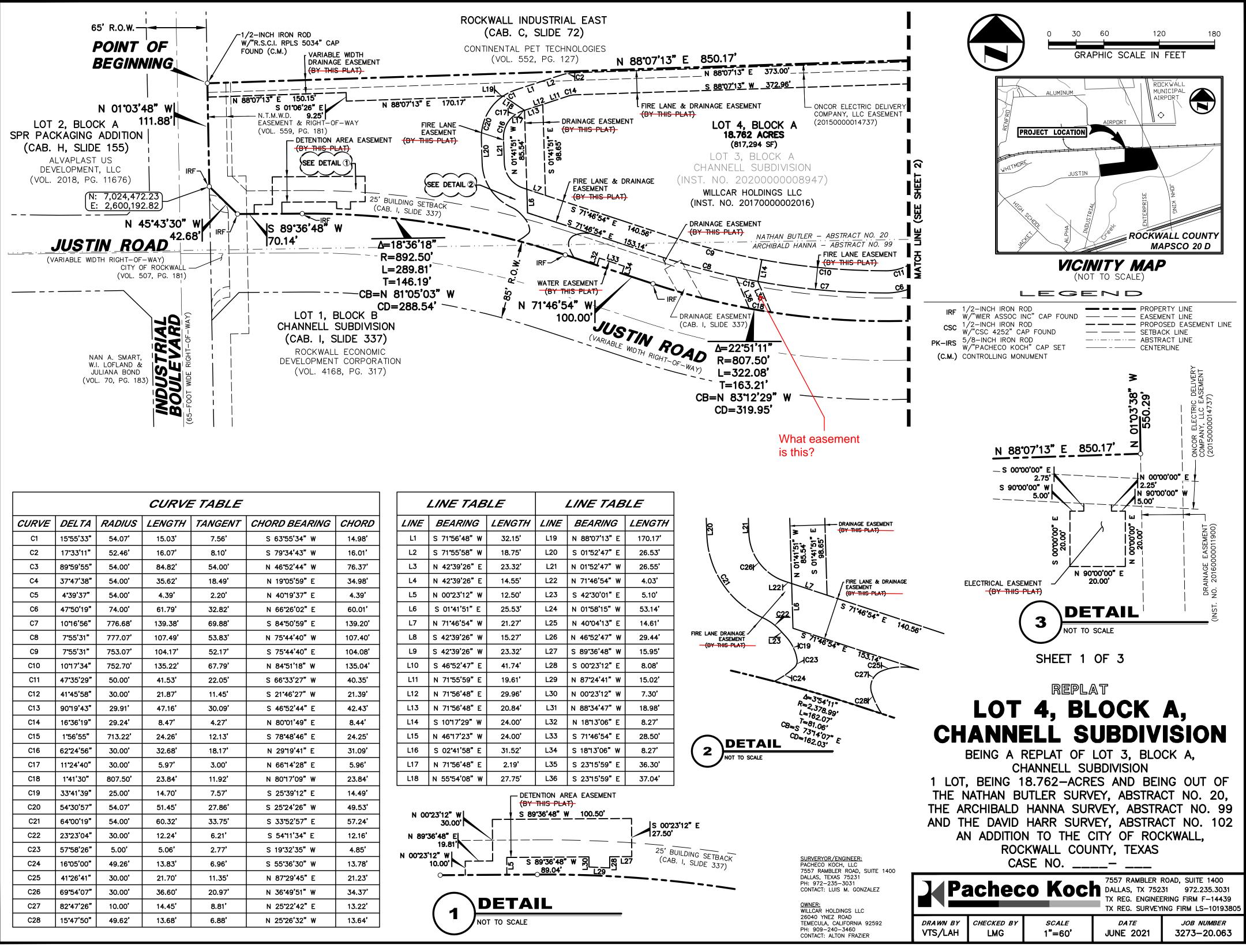
(1) Planning & Zoning work session meeting will be held on June 29, 2021.

(2) City Council regular meeting will be held on July 6, 2021 (Tuesday).

I.10 Although this agenda item is on the consent agenda, staff recommends that a representative be present for all meetings as indicated above. The meetings are scheduled to begin at 6:00 PM in the City Council Chambers.

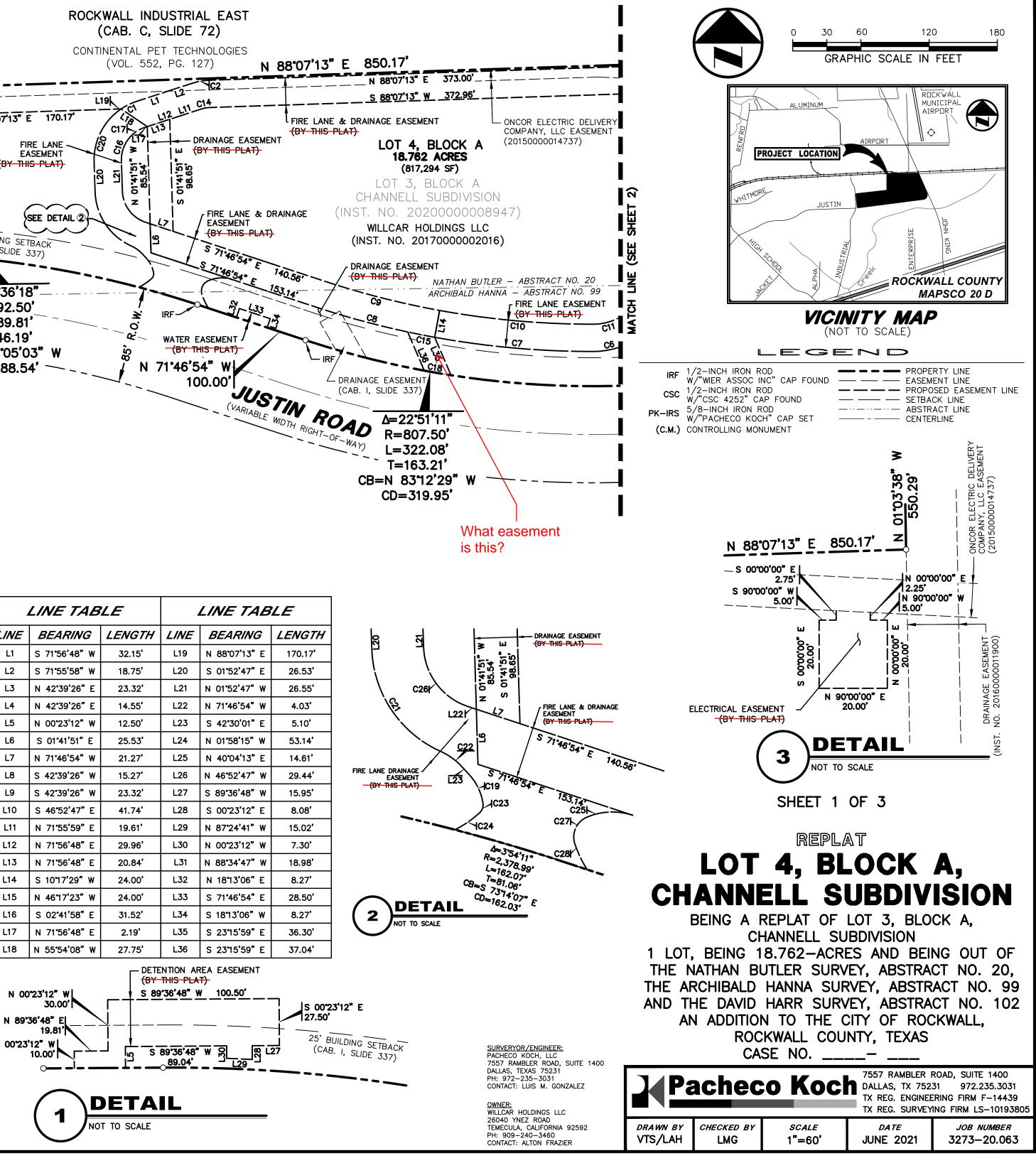
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review	
06/23/2021: Remove the "by the	nis plat" language from each easement.			
Clarify/label the easement type	that is framed by L15 L18, L35, L36.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	David Gonzales	06/23/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No Commonto				

06/21/2021: No Comments

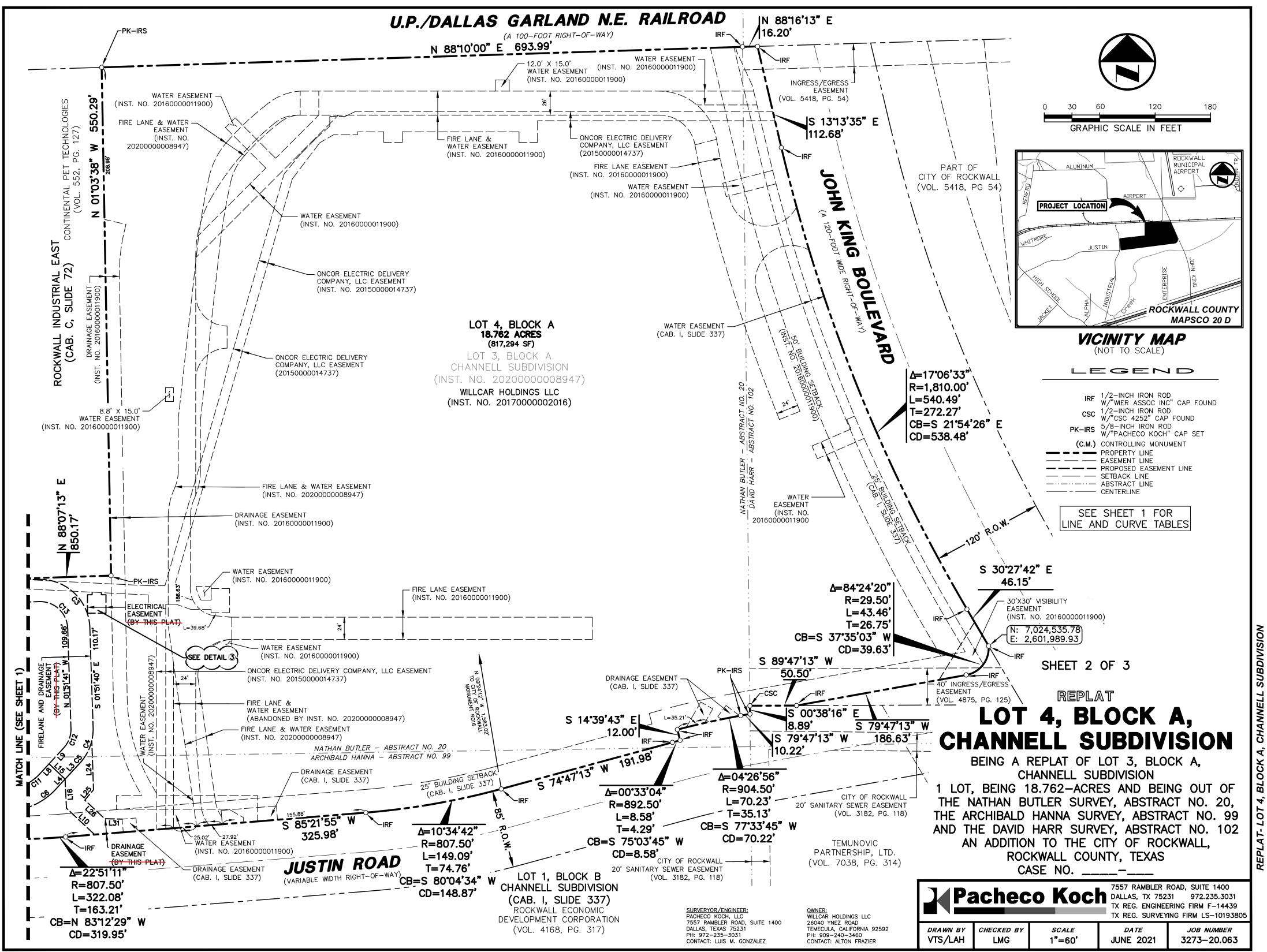


			CURVE	E TABLE		
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	15 <b>°</b> 55'33"	54.07'	15.03'	7.56'	S 63 <b>°</b> 55'34" W	14.98'
C2	17 <b>•</b> 33 <b>·</b> 11"	52.46'	16.07'	8.10'	S 79 <b>°</b> 34'43" W	16.01'
C3	89*59'55"	54.00'	84.82'	54.00'	N 46°52'44" W	76.37'
C4	37•47'38"	54.00'	35.62'	18.49'	N 19°05'59" E	34.98'
C5	4 <b>*</b> 39'37"	54.00'	4.39'	2.20'	N 40°19'37" E	4.39'
C6	47*50'19"	74.00'	61.79'	32.82'	N 66°26'02" E	60.01'
C7	10"16'56"	776.68'	139.38'	69.88'	S 84*50'59" E	139.20'
C8	7*55'31"	777.07'	107.49'	53.83'	N 75*44'40" W	107.40'
C9	7*55'31"	753.07'	104.17'	52.17'	S 75*44'40" E	104.08'
C10	10"17'34"	752.70'	135.22'	67.79'	N 84 <b>°</b> 51'18" W	135.04'
C11	47*35'29"	50.00'	41.53'	22.05'	S 66 <b>°</b> 33'27" W	40.35'
C12	41 <b>°</b> 45'58"	30.00'	21.87'	11.45'	S 21°46'27" W	21.39'
C13	9019'43"	29.91'	47.16'	30.09'	S 46*52'44" E	42.43'
C14	16 <b>•</b> 36'19"	29.24'	8.47'	4.27'	N 80°01'49" E	8.44'
C15	1 <b>°</b> 56'55"	713.22'	24.26'	12.13'	S 78*48'46" E	24.25'
C16	62 <b>°</b> 24'56"	30.00'	32.68'	18.17'	N 2919'41" E	31.09'
C17	11 <b>°</b> 24'40"	30.00'	5.97'	3.00'	N 66°14'28" E	5.96'
C18	1 <b>°</b> 41'30"	807.50 <b>'</b>	23.84'	11.92'	N 8017'09" W	23.84'
C19	33•41'39"	25.00'	14.70'	7.57'	S 25 <b>'</b> 39'12" E	14.49'
C20	54•30'57"	54.07 <b>'</b>	51.45'	27.86'	S 25°24'26" W	49.53'
C21	64*00'19"	54.00'	60.32'	33.75'	S 33*52'57" E	57.24'
C22	23*23'04"	30.00'	12.24'	6.21'	S 54°11'34" E	12.16'
C23	57*58'26"	5.00'	5.06'	2.77'	S 19 <b>*</b> 32'35" W	4.85'
C24	16 <b>°</b> 05'00"	49.26'	13.83'	6.96'	S 55°36'30" W	13.78'
C25	41*26'41"	30.00'	21.70'	11.35'	N 87°29'45" E	21.23'
C26	69 <b>*</b> 54'07"	30.00'	36.60'	20.97'	N 36°49'51" W	34.37'
C27	82*47'26"	10.00'	14.45'	8.81'	N 25°22'42" E	13.22'
C28	15 <b>°</b> 47'50"	49.62'	13.68'	6.88'	N 25°26'32" W	13.64'

	LINE TAB		LINE TAB	ZE	
LINE	BEARING	LENGTH	LINE	BEARING	L
L1	S 71 <b>°</b> 56'48" W	32.15'	L19	N 88°07'13" E	
L2	S 71 <b>°</b> 55'58" W	18.75'	L20	S 01 <b>°</b> 52'47" E	
L3	N 42 <b>°</b> 39'26" E	23.32'	L21	N 01°52'47" W	
L4	N 42 <b>°</b> 39'26" E	14.55'	L22	N 71°46'54" W	
L5	N 00°23'12" W	12.50'	L23	S 42°30'01" E	
L6	S 01°41'51" E	25.53 <b>'</b>	L24	N 01 <b>°</b> 58'15" W	
L7	N 71 <b>*</b> 46'54" W	21.27'	L25	N 40°04'13" E	
L8	S 42 <b>*</b> 39'26" W	15.27'	L26	N 46 <b>*</b> 52'47" W	
L9	S 42 <b>*</b> 39'26" W	23.32'	L27	S 89 <b>*</b> 36'48" W	
L10	S 46*52'47" E	41.74'	L28	S 00°23'12" E	
L11	N 71 <b>°</b> 55'59" E	19.61'	L29	N 87°24'41" W	
L12	N 71 <b>°</b> 56'48" E	29.96'	L30	N 00°23'12" W	
L13	N 71 <b>°</b> 56'48" E	20.84'	L31	N 88 <b>*</b> 34'47" W	
L14	S 10 <b>°</b> 17'29" W	24.00'	L32	N 18°13'06" E	
L15	N 46°17'23" W	24.00'	L33	S 71 <b>*</b> 46'54" E	
L16	S 02 <b>°</b> 41'58" E	31.52'	L34	S 18 <b>13'</b> 06" W	
L17	N 71 <b>°</b> 56'48" E	2.19'	L35	S 2315'59" E	
L18	N 55°54'08" W	27.75'	L36	S 2315'59" E	
		DETE			



REPLAT- I



 – 10:15АМ
 – Дата\Local 06/17/2021 RNANDEZ\APP IDEZ S/LF



# **DEVELOPMENT APPLICATION**

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

#### - STAFF USE ONLY PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

Lots [Proposed] 1

DIRECTOR OF PLANNING:

**CITY ENGINEER:** 

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees: [ ] Master Plat (\$100.00 + \$15.00 Acre) <sup>1</sup>	<b>Zoning Application Fees:</b> [ ] Zoning Change (\$200.00 + \$15.00 Acre) <sup>1</sup>
[ ] Preliminary Plat (\$200.00 + \$15.00 Acre) <sup>1</sup>	[ ] Specific Use Permit (\$200.00 + \$15.00 Acre) <sup>1</sup>
[] Final Plat $($300.00 + $20.00 \text{ Acre})^1$	[ ] PD Development Plans ( $$200.00 + $15.00$ Acre) <sup>1</sup>
[X] Replat (\$300.00 + \$20.00 Acre) <sup>1</sup>	Other Application Fees:
<ul><li>[ ] Amending or Minor Plat (\$150.00)</li><li>[ ] Plat Reinstatement Request (\$100.00)</li></ul>	[ ] Tree Removal (\$75.00)
Site Plan Application Fees:	Notes:
[ ] Site Plan ( $$250.00 + $20.00 \text{ Acre}$ ) <sup>1</sup>	<sup>1</sup> : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base
[ ] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)	fee" is required.

#### **PROPERTY INFORMATION** [PLEASE PRINT]

18.762

Acreage

N

Address	1700 Justin Road, Rockwall, Texas						
Subdivision	Channell Subdivision		Lot	4	Block	A	
General Location	Northwest Corner of Justin Road and John King Bo	ulevard					
ZONING, SITE PL	AN AND PLATTING INFORMATION [PLEASE	PRINT]					
Current Zoning	PD-89	Current Use	Office & Fac	tory			
Proposed Zoning	PD-89	Proposed Use	Office & Facto	ory			

[] Required for Plats: By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

#### **OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Lots [Current] 1

[ ] Owner	Willcar Holdings LLC	[X] Applicant	Pacheco Koch Consulting Engineers
Contact Person	Alton Frazier	Contact Person	Luis M. González
Address	1700 Justin Road	Address	7557 Rambler Road
			Suite 1400
City, State & Zip	Rockwall, Texas 75087	City, State & Zip	Dallas, Texas, 75231
Phone	(909)-240-3460	Phone	(972)235-3031
E-Mail	altonjfrazier@gmail.com	E-Mail	lgonzalez@pkce.com
OTARY VERIFI			

Before me, the undersigned authority, on this day personally appeared	Luis M. Gonzalez	[Owner/Applicant) Name]	the undersigned.	who stated the	\$
information on this application to be true and certified the following:					

Given under my hand and seal of office on this the _	, 20 21 .	Notary Public, State of Texas
	1	Comm. Expires 05-15-2025 Notary ID 131129358
<b>Owner's/Applicant's Signature</b>	le H- Ballons	Notary ID 131129338
Notary Public in and for the State of Texas	your hulle cook	My Commission Expires 05-15-2025
DEVELOPMENT APPLICATION . CITY OF	ROCEWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, 1	TX 75087 = [P] (972) 771-7745 = [F] (972) 771-7727

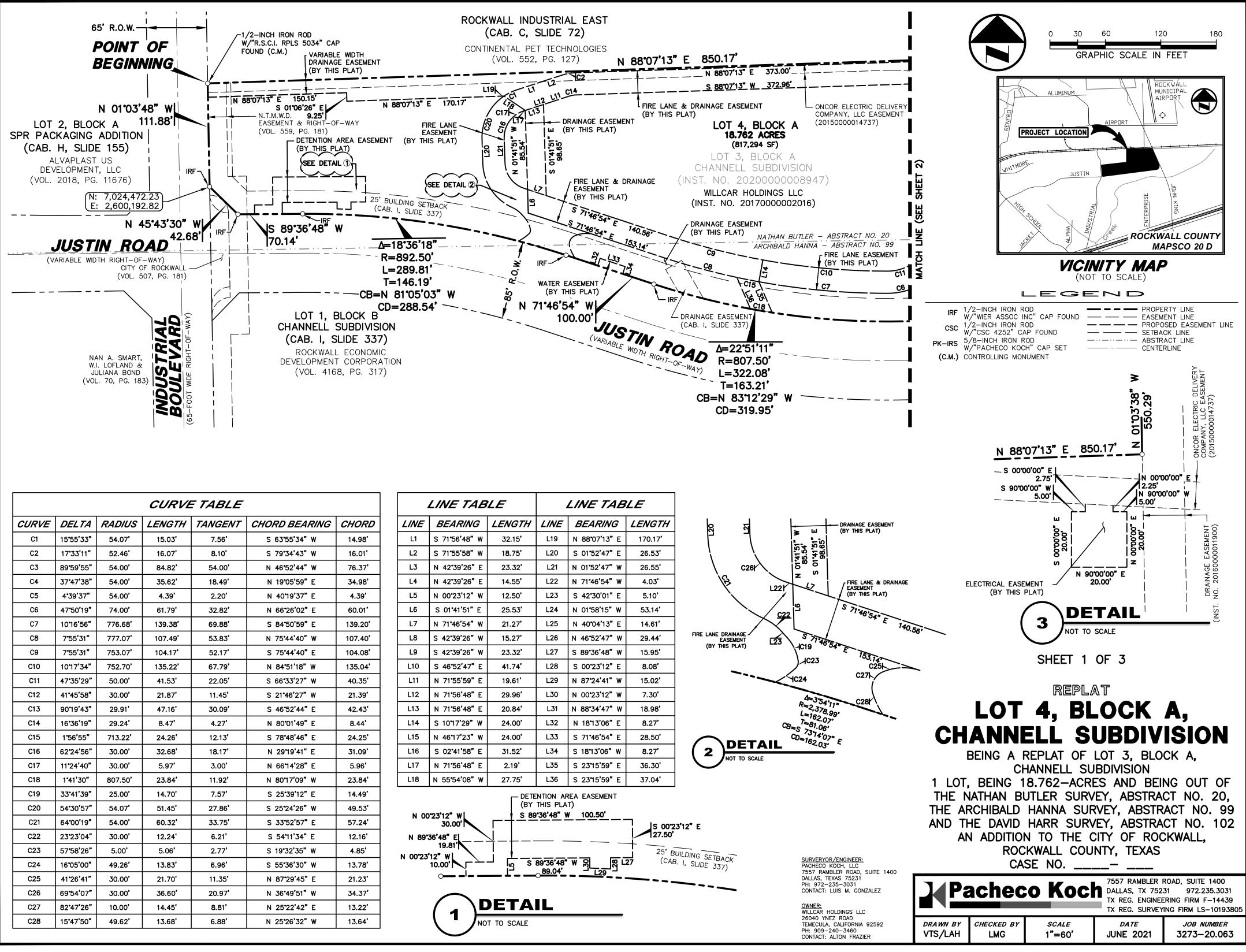




# City of Rockwall

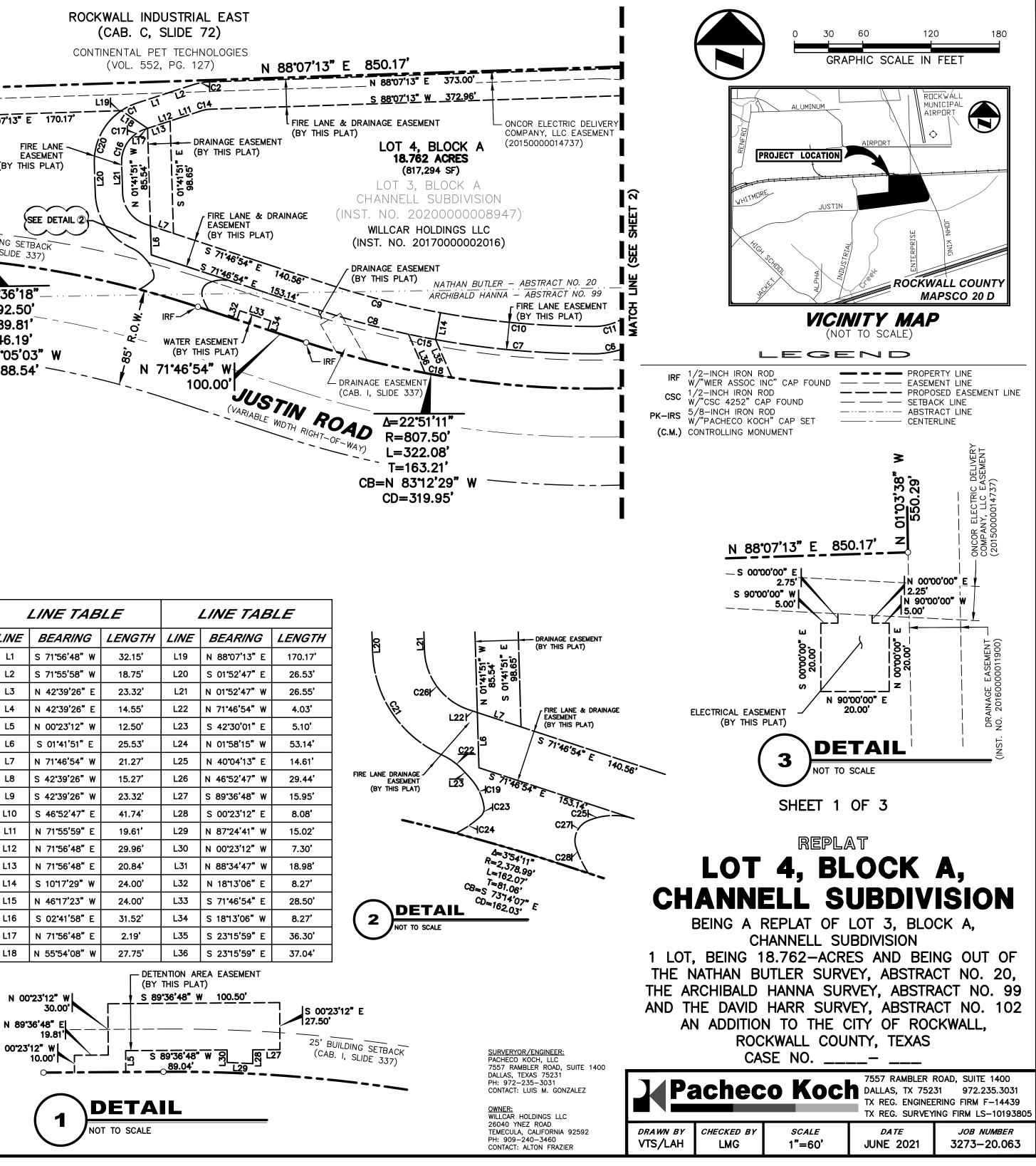
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

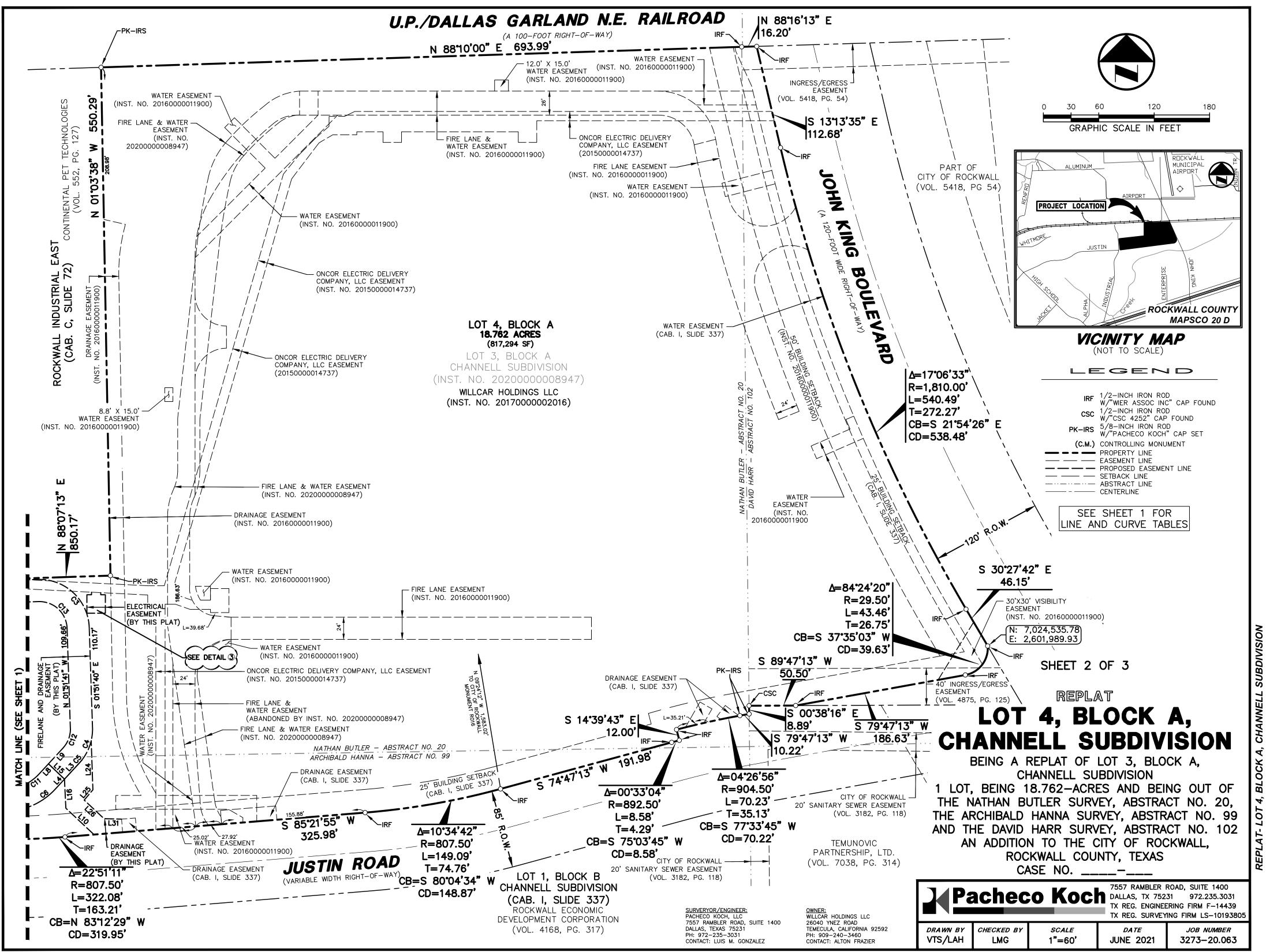




CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	15 <b>°</b> 55'33"	54.07'	15.03'	7.56'	S 63°55'34" W	14.98'
C2	17•33'11"	52.46'	16.07'	8.10'	S 79°34'43" W	16.01'
C3	89 <b>*</b> 59'55"	54.00'	84.82'	54.00'	N 46°52'44" W	76.37'
C4	37*47'38"	54.00'	35.62'	18.49'	N 19*05'59" E	34.98'
C5	4 <b>•</b> 39'37"	54.00'	4.39'	2.20'	N 40°19'37" E	4.39'
C6	47*50'19"	74.00'	61.79'	32.82'	N 66°26'02" E	60.01'
C7	10"16'56"	776.68'	139.38'	69.88'	S 84*50'59" E	139.20'
C8	7 <b>*</b> 55'31"	777.07'	107.49'	53.83'	N 75°44'40" W	107.40'
C9	7 <b>*</b> 55'31"	753.07'	104.17'	52.17'	S 75*44'40" E	104.08'
C10	10"17'34"	752.70'	135.22'	67.79'	N 84*51'18" W	135.04'
C11	47*35'29"	50.00'	41.53'	22.05'	S 66 <b>°</b> 33'27" W	40.35'
C12	41 <b>°</b> 45'58"	30.00'	21.87'	11.45'	S 21°46'27" W	21.39'
C13	90"19'43"	29.91'	47.16'	30.09'	S 46*52'44" E	42.43'
C14	16 <b>°</b> 36'19"	29.24'	8.47'	4.27'	N 80°01'49" E	8.44'
C15	1*56'55"	713.22'	24.26'	12.13'	S 78*48'46" E	24.25'
C16	62 <b>°</b> 24'56"	30.00'	32.68'	18.17'	N 29"19'41" E	31.09'
C17	11 <b>°</b> 24'40"	30.00'	5.97'	3.00'	N 66°14'28" E	5.96'
C18	1 <b>°</b> 41'30"	807.50'	23.84'	11.92'	N 80°17'09" W	23.84'
C19	33•41'39"	25.00'	14.70'	7.57'	S 25 <b>°</b> 39'12" E	14.49'
C20	54•30'57"	54.07'	51.45'	27.86'	S 25*24'26" W	49.53'
C21	64°00'19"	54.00'	60.32'	33.75'	S 33*52'57" E	57.24'
C22	23*23'04"	30.00'	12.24'	6.21'	S 54"11'34" E	12.16'
C23	57 <b>*</b> 58'26"	5.00'	5.06'	2.77'	S 19 <b>*</b> 32'35" W	4.85'
C24	16 <b>°</b> 05'00"	49.26'	13.83'	6.96'	S 55°36'30" W	13.78'
C25	41 <b>°</b> 26'41"	30.00'	21.70'	11.35'	N 87°29'45" E	21.23'
C26	69 <b>*</b> 54'07"	30.00'	36.60'	20.97'	N 36°49'51" W	34.37'
C27	82*47'26"	10.00'	14.45'	8.81'	N 25°22'42" E	13.22'
C28	15 <b>°</b> 47'50"	49.62'	13.68'	6.88'	N 25°26'32" W	13.64'

	LINE TABLE			LINE TAB	RLE
LINE	BEARING	LENGTH	LINE	BEARING	L
L1	S 71 <b>°</b> 56'48" W	32.15'	L19	N 88°07'13" E	
L2	S 71 <b>°</b> 55'58" W	18.75'	L20	S 01*52'47" E	
L3	N 42 <b>°</b> 39'26" E	23.32'	L21	N 01 <b>°</b> 52'47" W	
L4	N 42 <b>°</b> 39'26" E	14.55'	L22	N 71°46'54" W	
L5	N 00°23'12" W	12.50'	L23	S 42°30'01" E	
L6	S 01°41'51" E	25.53'	L24	N 01 <b>°</b> 58'15" W	
L7	N 71°46'54" W	21.27'	L25	N 40°04'13" E	
L8	S 42 <b>*</b> 39'26" W	15.27'	L26	N 46*52'47" W	
L9	S 42 <b>*</b> 39'26" W	23.32'	L27	S 89*36'48" W	
L10	S 46*52'47" E	41.74'	L28	S 00°23'12" E	
L11	N 71*55'59" E	19.61'	L29	N 87*24'41" W	
L12	N 71 <b>°</b> 56'48" E	29.96'	L30	N 00°23'12" W	
L13	N 71 <b>°</b> 56'48" E	20.84'	L31	N 88°34'47" W	
L14	S 10°17'29" W	24.00'	L32	N 1813'06" E	
L15	N 4617'23" W	24.00'	L33	S 71°46'54" E	
L16	S 02*41'58" E	31.52'	L34	S 1813'06" W	
L17	N 71 <b>°</b> 56'48" E	2.19'	L35	S 23"15'59" E	
L18	N 55*54'08" W	27.75'	L36	S 2315'59" E	





 – 10:15АМ
 – Дата\Local 06/17/2021 RNANDEZ\APP IDEZ S/LF

#### OWNER'S CERTIFICATE

#### STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS, Willcar Holdings LLC, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

#### LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 3, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 2020000008947 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 3 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial Fast:

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an anale point:

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner:

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes. 45 seconds West. 8.58 feet. an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve:

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 4, BLOCK A, South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who corner clip at the intersection of said north line of Justin Road with the said east line of Industrial have a mortgage or lien interest in the LOT 4, BLOCK A, CHANNELL SUBDIVISION have been notified and **Boulevard:** signed this plat.

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip: followina:

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING:

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

### SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Luis M. Gonzalez, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

## PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. RELEASED 6/17/21.

Luis M. Gonzalez Date Registered Professional Land Surveyor No. 6793 laonzalez@pkce.com

Planning and Zoning Commission

#### APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_\_, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Mayor, City of Rockwall

City Secretary

## **GENERAL NOTES**

- sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- 2. Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.

NOW. THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

Date

1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water,

City Engineer

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

7. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.

William H. Channell, President

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_ . 2021.

Notary Public in and for the State of Texas

DRAWN BY

VTS/LAH

My Commission Expires:

SHEET 3 OF 3

REPLAT LOT 4, BLOCK A, **CHANNELL SUBDIVISION** BEING A REPLAT OF LOT 3, BLOCK A, CHANNELL SUBDIVISION 1 LOT. BEING 18.762-ACRES AND BEING OUT OF THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20, THE ARCHIBALD HANNA SURVEY. ABSTRACT NO. 99 AND THE DAVID HARR SURVEY. ABSTRACT NO. 102 AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CASE NO. \_\_\_\_\_ 7557 RAMBLER ROAD, SUITE 1400 Pacheco Koch DALLAS, TX 75231 972.235.3031

TX REG. ENGINEERING FIRM F-14439

TX REG. SURVEYING FIRM LS-1019380

JOB NUMBER

3273-20.063

DATE

**JUNE 2021** 

SURVERYOR/ENGINEER: PACHECO KOCH, LLC 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TEXAS 75231 PH: 972-235-3031 CONTACT: LUIS M. GONZALEZ

OWNER: WILLCAR HOLDINGS LLC 26040 YNEZ ROAD TEMECULA. CALIFORNIA 92592 PH: 909-240-3460 CONTACT: ALTON FRAZIER

<i>checked by</i>	<i>SCALE</i>
LMG	1"=60'

Point of Beginning : North: 7025817.87' Segment #9 : Line East: 2603554.31' Course: S79°47'13"W Length: 186.63' Segment #1 : Line North: 7025705.09' East: 2605145.92' Course: N88°07'13"E Length: 850.17' North: 7025845.76' East: 2604404.02' Segment #10 : Line Course: S89°47'13"W Length: 50.50' Segment #2 : Line North: 7025704.90' East: 2605095.42' Course: N1°03'38"W Length: 550.29' North: 7026395.96' East: 2604393.84' Segment #11 : Line Course: S0°38'16"E Length: 8.89' Segment #3 : Line North: 7025696.01' East: 2605095.52' Course: N88°10'00"E Length: 693.99' North: 7026418.16' East: 2605087.47' Segment #12 : Line Course: S79°47'13"W Length: 10.22' Segment #4 : Line North: 7025694.19' East: 2605085.46' Course: N88°16'13"E Length: 16.20' North: 7026418.65' East: 2605103.67' Segment #13 : Curve Length: 70.23' Radius: 904.50' Segment #5 : Line Delta: 4°26'56" Tangent: 35.13' Chord: 70.22' Course: S77°33'45"W Course In: S10°12'47"E Course Out: N14°39'43"W Course: \$13°13'35"E Length: 112.68' North: 7026308.96' East: 2605129.45' RP North: 7024804.03' East: 2605245.84' End North: 7025679.07' East: 2605016.89' Segment #6 : Curve Segment #14 : Line Length: 540.49' Radius: 1810.00' Delta: 17°06'33" Tangent: 272.27' Course: S14°39'43"E Length: 12.00' Chord: 538.48' Course: S21°54'26"E North: 7025667.46' East: 2605019.93' Course In: N76°38'51"E Course Out: S59°32'18"W RP North: 7026726.96' East: 2606890.52' End North: 7025809.36' East: 2605330.36' Segment #15 : Curve Length: 8.58' Radius: 892.50' Segment #7 : Line Delta: 0°33'04" Tangent: 4.29' Chord: 8.58' Course: S75°03'45"W Course: \$30°27'42"E Length: 46.15' Course In: S14°39'43"E Course Out: N15°12'47"W North: 7025769.58' East: 2605353.76' RP North: 7024804.03' East: 2605245.84' End North: 7025665.25' East: 2605011.64' Segment #8 : Curve Length: 43.46' Radius: 29.50' Segment #16 : Line Delta: 84°24'20" Tangent: 26.75' Chord: 39.63' Course: S37°35'03"W Course: S74°47'13"W Length: 191.98' Course In: S85°22'53"W Course Out: S10°12'47"E North: 7025614.87' East: 2604826.38' RP North: 7025767.21' East: 2605324.35' End North: 7025738.18' East: 2605329.58'

#### Segment #17 : Curve

Segment #24 : Line

Length: 149.09' Radius: 807.50' Delta: 10°34'42" Tangent: 74.76' Chord: 148.87' Course: S80°04'34"W Course In: N15°12'47"W Course Out: S4°38'05"E RP North: 7026394.08' East: 2604614.49' End North: 7025589.22' East: 2604679.74'

Course: N1°03'48"W Length: 111.88' North: 7025817.87' East: 2603554.31'

Perimeter: 4804.11' Area: 817,294 Sq. Ft./ 18.762 Acres

Segment #18 : Line

Course: S85°21'55"W Length: 325.98' North: 7025562.88' East: 2604354.82'

#### Segment #19 : Curve

Length: 322.08' Radius: 807.50' Delta: 22°51'11" Tangent: 163.21' Chord: 319.95' Course: N83°12'29"W Course In: N4°38'05"W Course Out: S18°13'06"W RP North: 7026367.74' East: 2604289.58' End North: 7025600.71' East: 2604037.12'

Segment #20 : Line

Course: N71°46'54"W Length: 100.00' North: 7025631.98' East: 2603942.13'

Segment #21 : Curve

Length: 289.81' Radius: 892.50' Delta: 18°36'18" Tangent: 146.19' Chord: 288.54' Course: N81°05'03"W Course In: S18°13'06"W Course Out: N0°23'12"W RP North: 7024784.22' East: 2603663.10' End North: 7025676.70' East: 2603657.08'

Segment #22 : Line

Course: S89°36'48"W Length: 70.14' North: 7025676.22' East: 2603586.94'

Segment #23 : Line

Course: N45°43'30"W Length: 42.68' North: 7025706.02' East: 2603556.39'



## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	Alejandro Flores
CASE NUMBER:	P2021-031; Lot 2, Block M, Lake Rockwall Estates East Addition

#### <u>SUMMARY</u>

Consider a request by Alejandro Flores for the approval of a Replat for Lot 2, Block M, Lake Rockwall Estates East Addition being a 0.33-acre parcel of land identified as Lot 1406 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 478 Renee Drive, and take any action necessary.

#### PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 0.33-acre parcel of land identified as Lots 1405 and 1406 of the Rockwall Lake Estates No. 2 Addition for the purpose of establishing one (1) lot (*i.e.* Lot 2, Block M, Lake Rockwall Estates East Addition).
- ☑ On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [Ordinance No. 09-37] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with Ordinance No. 16-01, which made minor changes to the Consideration of a Special Request section of the ordinance.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

#### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 2*, *Block M*, *Lake Rockwall Estates East Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/24/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-031 Replat for 478 Renee Drive 478 RENEE DR. ROCKWALL, 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Angelica Gamez 972-772-6438 agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Gamez	06/24/2021	Approved w/ Comments	

06/24/2021: P2021-031; Lot 2, Block M, Lake Rockwall Estates East Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 2, Block M, Lake Rockwall Estates East Addition being a replat of 0.33-acres or 2 lots identified as Lots 1405 and 1406, Rockwall Lake Properties Development No. 2, situated in the Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 4878 Renee.

1.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.

M.3 For reference, include the case number (P2021-031) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat Lot 2, Block M Lake Rockwall Estates East Addition Being a Replat of Lots 1405 and 1406 Rockwall Lake Properties Development No. 2 0.33 Acres or 14,385 S.F. (1 Lot) Situated in the Wells Survey, Abstract No. 219 City of Rockwall, Rockwall County, Texas

M.5 Please label a 20-foot building line adjacent to Renee Street in accordance with the density and dimensional requirement for a property in a Single-Family 7 (SF-7) District.

M.6 Please label a 10-foot utility easement along the street frontage.

M.7 Please add the owner information to the adjacent properties.

M.8 Please update all lot numbers adjacent to the property.

M.9 Please update the correct lot numbers, block, and subdivision name on Sheets 1 and 2.

1.10 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the

subject property.

M.11 Please provide the Storm Drainage Improvement Statement in the General Notes section.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning & Zoning Work Session meeting will be held on June 29, 2021.

I.13 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

I.14 This City Council meeting date for this case will be July 6, 2021.

I.15 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review	
06/23/2021: M - Include a 10'	utility easement along the street frontage.			
I - No sewer available. Will nee	d to get approval for OSSF.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No Commonto				

06/21/2021: No Comments

	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE ONLY         PLANNING & ZONING CASE NO.       P 2021 - 03 (         NOTE:       THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.         DIRECTOR OF PLANNING:       CITY ENGINEER:	
PLEASE CHECK THE AP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF	DEVELOPME	NT REQU	EST [SELECT ONLY ONE BOX]:
PRELIMINARY PLA FINAL PLAT (\$300.)  REPLAT (\$300.00 AMENDING OR MI PLAT REINSTATED SITE PLAN APPLICAT SITE PLAN (\$250.00)	00.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> .00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> NOR PLAT (\$150.00) MENT REQUEST (\$100.00) <b>TION FEES:</b> 00 + \$20.00 ACRE) <sup>1</sup>	□ ZON □ SPE □ PD 0 0THER □ TRE □ VAR NOTES: 1: IN DE	Ing Chan Cific Use Developi Applica E Remov Iance Re	ATION FEES: NGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> E PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup> MENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> TION FEES: AL (\$75.00) EQUEST (\$100.00) G THE FEE, PLEASE USE THE EXACT ACREAGE WHEN HE PER ACRE AMOUNT, FOR REQUESTS ON LESS THAN ONE
AMENDED SITE PI	LAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			O ONE (1) ACRE.
PROPERTY INFOR ADDRESS SUBDIVISION GENERAL LOCATION	MATION [PLEASE PRINT] 478 NEMME DR NOCKWALL LAKE PROPERTI	ES DEVE	lopmen	1#2LOT 1405 \$ 1406 BLOCK
ZONING SITE PLA	N AND PLATTING INFORMATION [PLEASI			
CURRENT ZONING		CURREN	T USE	EMPTY LOT
PROPOSED ZONING		PROPOSE		NEW HOUSE
ACREAGE	.33 LOTS [CURRENT]		DUGE	LOTS [PROPOSED]
SITE PLANS AND P REGARD TO ITS AP	LATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH	AT DUE TO TH	E PASSAG NTS BY TH	E OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH HE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CHI	ECK THE PRIMA	RY CONTA	CT/ORIGINAL SIGNATURES ARE REQUIRED
OWNER	ALETANDRO FLORES			ALEJANDRO FLORES
CONTACT PERSON		CONTACT PER	RSON	
ADDRESS	1650 John King Bird APT # 3710	ADD	RESS	
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE	& ZIP	
PHONE	469 534-5809		IONE	
E-MAIL	atchomes 750 gmail.com	E	MAIL	
NOTARY VERIFICA BEFORE ME, THE UNDERSI STATED THE INFORMATION	- ,	Aleja	ndr	Flores [OWNER] THE UNDERSIGNED, WHO
SUBMITTED IN CONJUNCTION	TO COVER THE COST OF THIS APPLICATION, HAS 2021. BY SIGNING THIS APPLICATION, I AGRE WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS N WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSO	S BEEN PAID TO E THAT THE CIT ALSO AUTHORIZ	THE CITY O Y OF ROCK ZED AND P	WALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION
NOTARY PUBLIC IN AND FO	OWNER'S SIGNATURE CLAM- OR THE STATE OF TEXAS (Spean (	CRISti	Spea	12 MY COMMISSION CHARGES

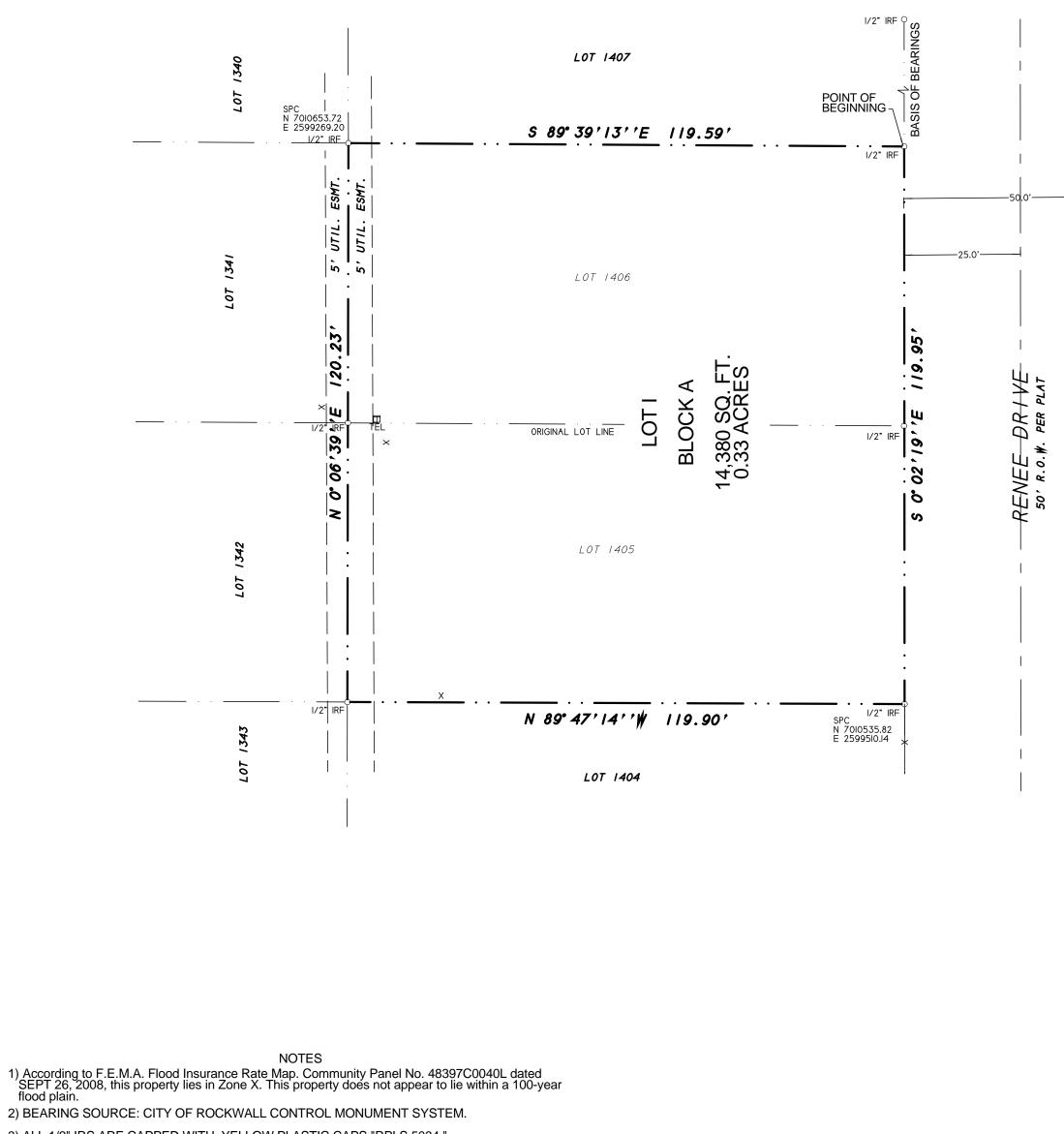




### City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com

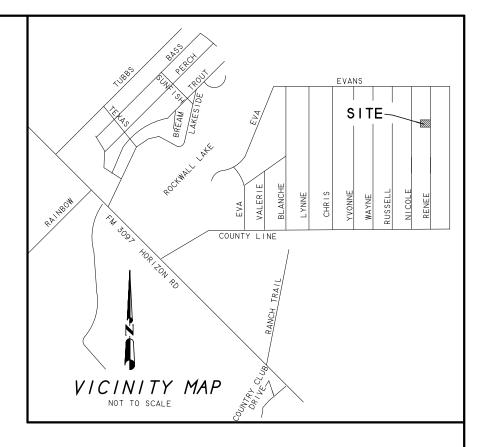
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

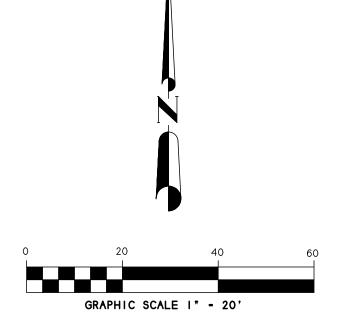




3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE AND DETENTION SYSTEMS ON SITE.

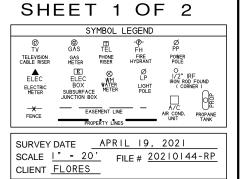




## FINAL PLAT FLORES ADDITION LOT 1, BLOCK A

BEING A REPLAT OF LOTS 1405 AND 1406 ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 0.33 ACRES OR 14,380 S.F. ( 1 LOT ) SITUATED IN THE WELLS SURVEY, A-219 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER: ALEJANDRO FLORES 1950 JOHN KING BLVD APT 3710 ROCKWALL, TEXAS 75032



H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

#### OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS ALEJANDRO FLORES, BEING THE OWNER OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the WELLS SURVEY, ABSTRACT NO. 219, City of Rockwall, Rockwall County, Texas, and being all of Lot 1405 and Lot 1406, of ROCKWALL LAKE PROPERTIES NO. 2, an Addition in Rockwall County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING a1/2" iron rod found for corner in the west right-of-way line of Renee Drive, at the northeast corner of said Lot 1406 and the southeast corner of Lot 1407;

THENCE S. 00 deg. 02 min. 19 sec. E. along said right-of-way line, a distance of 119.95 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 1405;

THENCE N. 89 deg. 47 min. 14 sec. W. along the south line of Lot 1405, a distance of 119.90 feet to a 1/2" iron rod found for corner at the southwest corner of Lot 1405 and the southeast corner of Lot 1342;

THENCE N. 00 deg. 06 min. 39 sec. E. along the east line of Lot 1342 and Lot 1341, a distance of 120.23 feet to a 1/2" iron rod found for corner at the northwest corner of Lot 1406;

THENCE S. 89 deg. 39 min. 13 sec. E. along the north line of Lot 1406, a distance of 119.59 feet to the POINT OF BEGINNING and containing 14,380 square feet or 0.33 acres of land. NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as A. FLORES ADDITION LOT 1, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in A. FLORES ADDITION LOT 1, BLOCK A, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following;

No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, improvement strips and any cither reducing all or part of their respective system. inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

**ALEJANDRO FLORES** 

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared ALEJANDRO FLORES known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of \_\_\_\_

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that approve building within such plat shall be approved authorized or permit therefore include that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

## SURVEYOR'S CERTIFICATE

NOW THEREFORE KNOW ALL MEN BY THESE DRESENTS.

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this from an actual and accurate survey of the land, and that the corner monuments showere properly placed under my personal supervision.	is plat own thereon
	TE OF TE+ TE- S. REGISTERES TO S. REGISTERES TO
Harold D. Fetty, III Registered Professional Land Surveyor No. 5034	HAROLD D. FETTY III
RECOMMENDED FOR FINAL APPROVAL	- Yacar
Planning and Zoning Commission Date	
APPROVED I hereby certify that the above and foregoing plat of A. FLORES ADDITION LOT 1, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the Cit Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of	ty of
This approval shall be invalid unless the approved plat for such addition is recorder office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (from said date of final approval.	
Said addition shall be subject to all the requirements of the Subdivision Regulation City of Rockwall.	s of the
WITNESS OUR HANDS, this day of ,	
Mayor, City of Rockwall City Secretary City of Rockwal	I
City Engineer Date	
FINAL PLAT	
A. FLORES ADDITI	ON
LOT 1, BLOCK A	A
BEING A REPLAT OF LOTS 1405 AN ROCKWALL LAKE PROPERTIES DEVELOF 0.33 ACRES OR 14,380 S.F.	
( 1 LOT ) SITUATED IN THE WELLS SURVEY, CITY OF ROCKWALL, ROCKWALL COUN	
	SHEET 2 OF 2
	OWNER         SYMBOL LEGEND           Image: Constraint of the state of the s
OWNER: ALEJANDRO FLORES 1950 JOHN KING BLVD APT 3710 ROCKWALL, TEXAS 75032	CABLE RISER METER RISER HYDRANT POLE
H.D. Fetty Land Surveyor, LLC	SURVEY DATE         APRIL 19. 2021           SCALE         1" - 20'         FILE # 20210144-           CLIENT         FLORES

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	David Srouji; D&M Construction
CASE NUMBER:	P2021-032; Final Plat for Lot 1, Block A, Centers for Peace and Mercy Addition

## SUMMARY

Consider a request by David Srouji of D&M Construction on behalf of Abdul L. Khan of Centers for Peace and Mercy for the approval of a *Final Plat* for Lot 1, Block A, Centers for Peace and Mercy Addition being a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 600 Turtle Cove Boulevard, and take any action necessary.

## PLAT INFORMATION

- The applicant is requesting the approval of a final plat for a 2.74-acre tract of land (*i.e. Lots 1, Block A, Centers for Peace and Mercy Addition*) for the purpose of developing the subject property (*i.e. Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64*) in two phases. Additionally, the final plat will establish the necessary easements (*i.e. firelane, access, utility and detention*) for development of the site.
- ☑ The subject property was annexed by the City Council on November 7, 1960 by Ordinance No. 60-04. Between the time of annexation and the historic zoning maps established designation of Commercial (C) District, the subject property has been zoned Commercial (C) District since at least January 3, 1972 (*i.e. historic zoning map*). On June 25, 2019, the Planning and Zoning Commission approved a site plan [i.e. Case No. SP2019-014] for a ~4,535 SF retail facility and house of worship on a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64 (*i.e. Lot 1, Block A, Centers for Peace and Mercy Addition*).
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for Lot 1, Block A, Centers for Peace and Mercy Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-032 Lot 1, Block A, Centers for Peace and Mercy 600 TURTLE COVE BLVD. ROCKWALL. 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/23/2021	Approved w/ Comments	

06/23/2021: P2021-032; Final Plat for Lot 1, Block A, Center for Peace and Mercy Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Centers for Peace and Mercy Addition being a 2.74-acre tract of land identified as Tract 10-01 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 600 Turtle Cove Boulevard.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

- M.3 For reference, include the case number (P2021-032) in the lower right-hand corner of all pages on future submittals.
- 1.4 This project is subject to all requirements stipulated by Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.
- M.5 Remove the label '20-ft Landscape Buffer' from page of the plat. [Subsection 04.01, of Article 11, UDC]
- M.6 Indicate all proposed corner clips (i.e. visibility triangles). [Subsection 01.08(B)(1), of Article 05, UDC]

1.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.

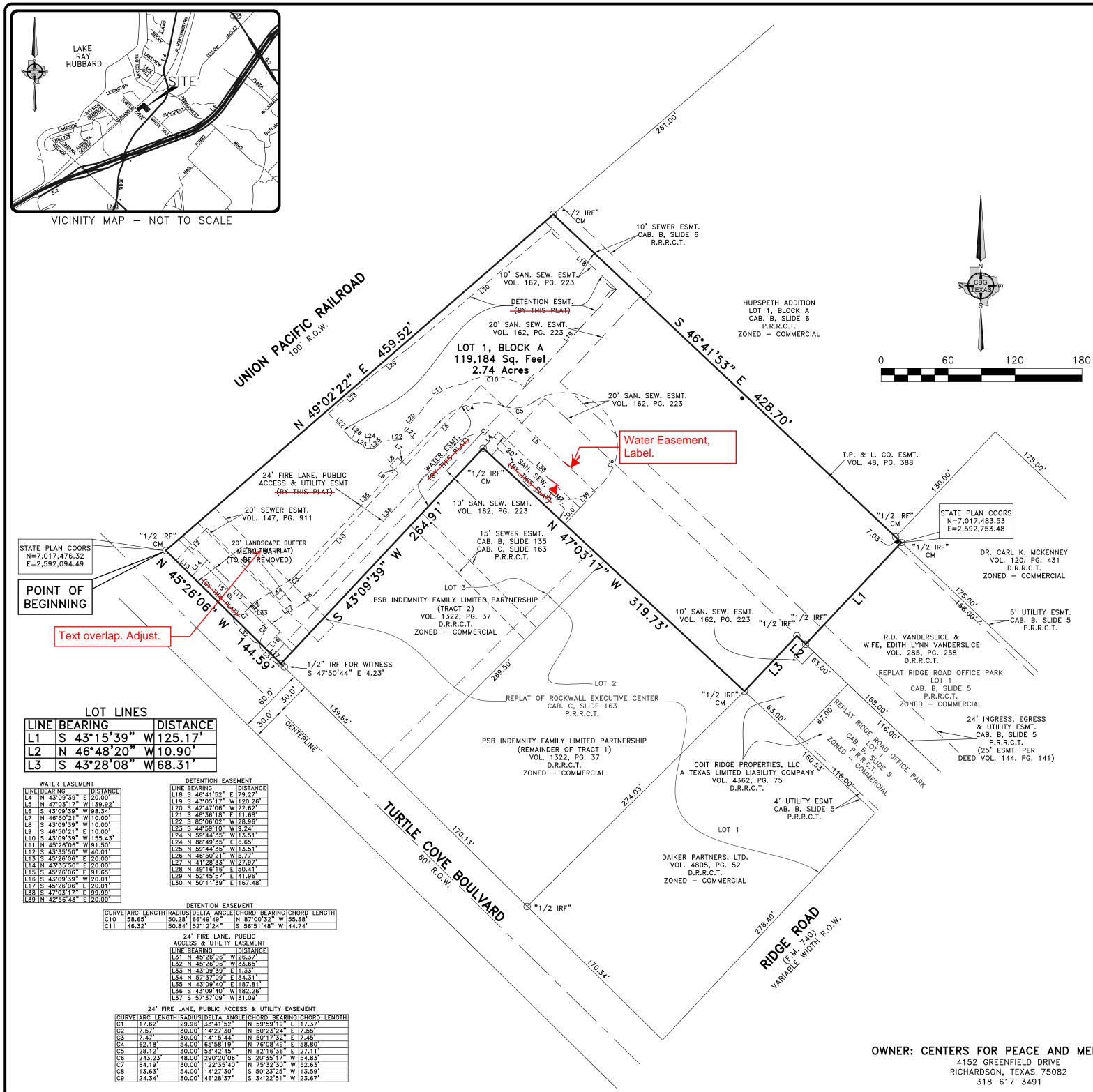
- M.8 Please provide one (1) hard copy and a PDF/electronic version for review by staff.
- I.9 Please note the scheduled meetings for this case:
- (1) Planning & Zoning work session meeting will be held on June 29, 2021.

(2) City Council regular meeting will be held on July 6, 2021 (Tuesday).

I.10 Although this agenda item is on the consent agenda, staff recommends that a representative be present for all meetings as indicated above. The meetings are scheduled to begin at 6:00 PM in the City Council Chambers.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review	
06/23/2021: M - Label the wate	er line easement framed by L38, C6, L5.			
M - remove the wording "by this	s plat" on each of the locations.			
M - Adjust the text overlap at the	ne front of the property.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	David Gonzales	06/23/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
00/01/0001 NL 0				

06/21/2021: No Comments



**GENERAL NOTES:** 

1) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, (4202) GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS.

3) THE PURPOSE OF THIS PLAT IS TO CREATE 1 LOT.

4) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.

5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0040L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.

6) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF DRAINAGE AND DETENTION SYSTEMS ON SITE.

**LEGEND:** 

IRS	IRON ROD SET WITH YELLOW PLASTIC CAP
	STAMPED "CBG SURVEYING"
1/2 IRF	1/2 INCH IRON ROD FOUND
СМ	CONTROLLING MONUMENT
N	NORTHING
E	EASTING
VOL	VOLUME
PG	PAGE
R.O.W.	RIGHT-OF-WAY
CAB.	CABINET
SQ.FT.	SQUARE FEET
D.R.R.C.T.	DEED RECORDS, ROCKWALL COUNTY, TEXAS
R.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS

(SHEET 1 OF 2)

FINAL PLAT CENTERS FOR PEACE AND MERCY LOT 1, BLOCK A 119,184 SQ.FT. / 2.74 ACRES E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



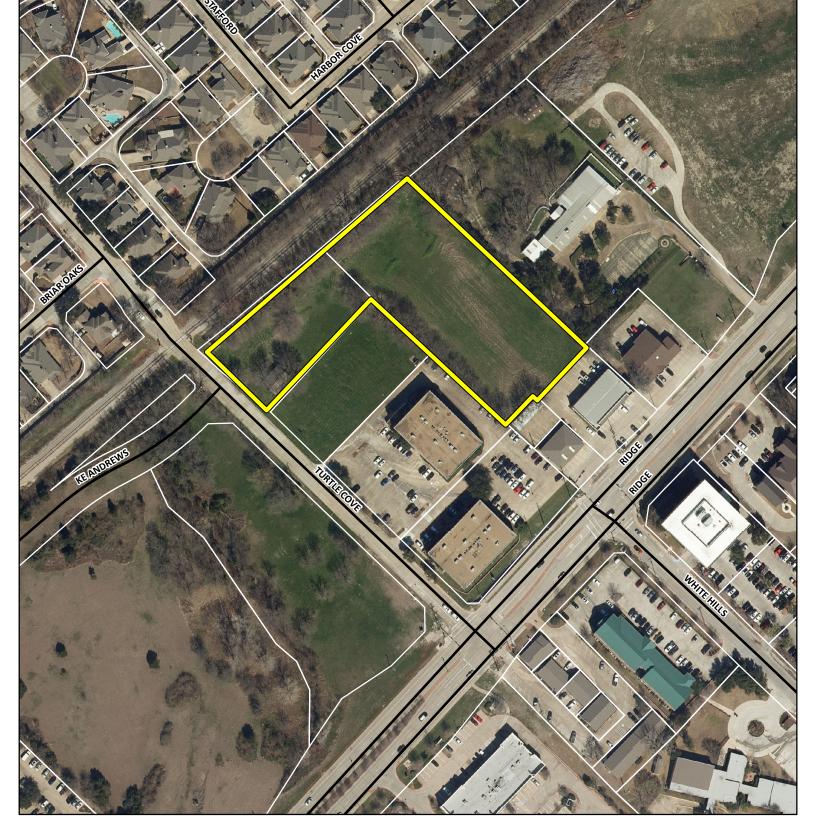
PLANNING & SURVEYING Main Office 12025 Shiloh Road, Ste. 230 Dallas, TX 75228 P 214.349.9485 www.cbgtxllc.com

OWNER: CENTERS FOR PEACE AND MERCY, INC.

SCALE: 1"=60' / DATE: 1/14/2019 / JOB NO. 1826001 / DRAWN BY: TO CASE NO. \_

	DEVELOPMENT City of Rockwall Planning and Zoning D 385 S. Goliad Street Rockwall, Texas 75087		ION PLANN NOTE: CITY U SIGNE DIREC	USE ONLY IING & ZONING CASE NO. THE APPLICATION IS NOT INTIL THE PLANNING DIREC D BELOW. TOR OF PLANNING: NGINEER:		D BY THE
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<ul> <li>□ PRELIMINARY P</li> <li>☑ FINAL PLAT (\$30.0)</li> <li>□ REPLAT (\$300.0)</li> <li>□ AMENDING OR N</li> <li>□ PLAT REINSTAT</li> <li>SITE PLAN APPLIC</li> <li>□ SITE PLAN (\$250</li> </ul>	\$100.00 + \$15.00 ACRE) <sup>1</sup> LAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 00.00 + \$20.00 ACRE) <sup>1</sup> 0 + \$20.00 ACRE) <sup>1</sup> MINOR PLAT (\$150.00) EMENT REQUEST (\$100.00) ATION FEES: 0.00 + \$20.00 ACRE) <sup>1</sup>		SPECIFIC US  PD DEVELOF OTHER APPLIC TREE REMO VARIANCE R NOTES: 1: IN DETERMINIT	ANGE (\$200.00 + \$15.00 A SE PERMIT (\$200.00 + \$1 PMENT PLANS (\$200.00 - <b>ATION FEES:</b>	5.00 ACRE) <sup>1</sup> + \$15.00 ACRE) <sup>1</sup> E THE EXACT ACREAG	
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ZONING, SITE PL	AN AND PLATTING INFORM	ATION [PLEASE P	RINT]			
CURRENT ZONING	Commercial		CURRENT USE	Vacant land		
PROPOSED ZONING	Commercial		PROPOSED USE	Retail		
ACREAGE	2.74	LOTS [CURRENT]	1	LOTS [PROPO	DSED] 1	
REGARD TO ITS A	PLATS: BY CHECKING THIS BOX YOU APPROVAL PROCESS, AND FAILURE TO ENIAL OF YOUR CASE.					
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P2021-032- LOT 1, BLOCK A, CENTERS FOR PEACE AND MERCY FINAL PLAT - LOCATION MAP = 🔁





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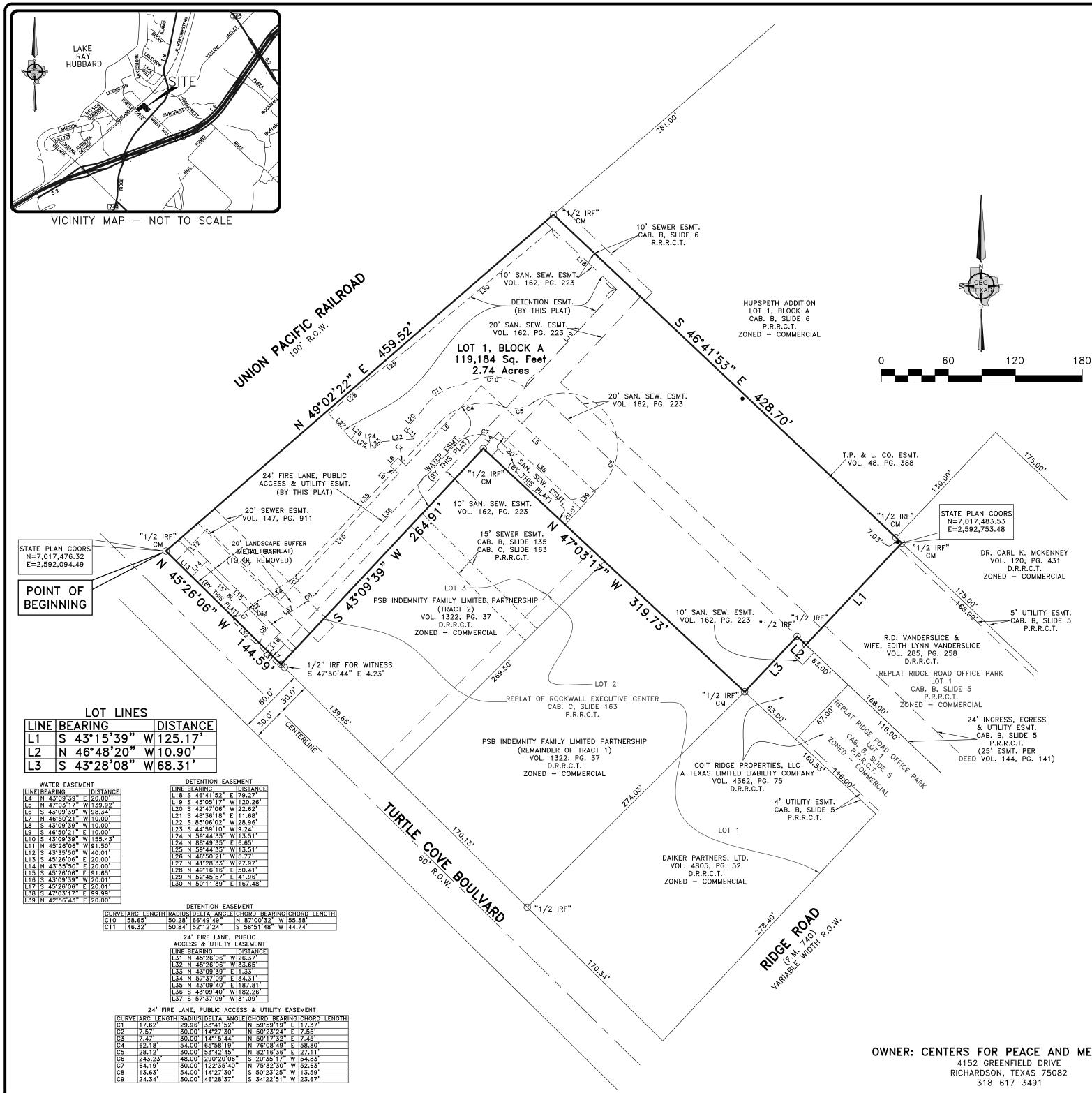
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## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**GENERAL NOTES:** 

1) THE BASIS OF BEARINGS FOR THIS SURVEY IS THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, (4202) GEODETIC BEARING ESTABLISHED BY GPS MEASUREMENTS.

3) THE PURPOSE OF THIS PLAT IS TO CREATE 1 LOT.

4) COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.

5) ACCORDING TO THE F.I.R.M. IN MAP NO. 48397C0040L, THIS PROPERTY DOES LIE IN ZONE X AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD ZONE.

6) PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIR, AND RECONSTRUCTION OF DRAINAGE AND DETENTION SYSTEMS ON SITE.

> **LEGEND:** IRS

IRS	IRON ROD SET WITH YELLOW PLASTIC CAP
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(SHEET 1 OF 2)

FINAL PLAT CENTERS FOR PEACE AND MERCY LOT 1, BLOCK A 119,184 SQ.FT. / 2.74 ACRES E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



PLANNING & SURVEYING Main Office 12025 Shiloh Road, Ste. 230 Dallas, TX 75228 P 214.349.9485 www.cbgtxllc.com

OWNER: CENTERS FOR PEACE AND MERCY, INC.

SCALE: 1"=60' / DATE: 1/14/2019 / JOB NO. 1826001 / DRAWN BY: TO CASE NO. \_

## OWNER'S DEDICATION

STATE OF TEXAS COUNTY OF ROCKWALL

Whereas, Centers for Peace and Mercy, Inc., BEING THE OWNER OF A TRACT OF LAND in the County of Rockwall, State of Texas, said tract being described as follows:

Being a tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of a tract of land conveyed to Centers for Peace and Mercy, Inc. by General Warranty Deed recorded in Instrument No. 20180000012560, Official Public Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner, said corner being along the Northeast right of way line of Turtle Cove Boulevard (60 foot right of way), said corner being along the Southeast right of way line of Union Pacific Railroad right of way (100 foot right of way);

THENCE North 49 degrees 02 minutes 22 seconds East along the Southeast line of said Union Pacific Railroad, a distance of 459.52 feet to a 1/2 inch iron rod found for corner, said corner being the West corner of Lot 1, Block A, Hupspeth Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 6, Plat Records, Rockwall County, Texas;

THENCE South 46 degrees 41 minutes 53 seconds East along the Southwest line of said Hupspeth Addition, passing at 421.67 feet, a 1/2 inch iron rod found at a South corner of said Hupspeth Addition, said corner being the West corner of a tract of land conveyed to Dr. Carl K. McKenney by deed recorded in Volume 120, Page 431, Deed Records, Rockwall County, Texas, continuing a total distance of 428.70 feet to a 1/2 inch iron rod found for corner, said corner being the North corner of a tract of land conveyed to R. D. Vanderslice and wife, Edith Lynn Vanderslice by deed recorded in Volume 285, Page 258, Deed Records, Rockwall County, Texas;

THENCE South 43 degrees 15 minutes 39 seconds West along the Northwest line of said Vanderslice tract, a distance of 125.17 feet to a 1/2 inch iron rod found for corner, said corner being along the Northeast line of a tract of land conveyed to Coit Ridge Properties, LLC, a Texas limited liability company by deed recorded in Volume 4362, Page 75, Deed Records. Rockwall County. Texas:

THENCE North 46 degrees 48 minutes 20 seconds West along the Northeast line of said Coit Ridge Properties. LLC tract. a distance of 10.90 feet to a 1/2 inch iron rod found for corner, said corner being the North corner of said Coit Ridge Properties, LLC tract;

THENCE South 43 degrees 28 minutes 08 seconds West along the Northwest line of said Coit Ridge Properties, LLC tract, a distance of 68.31 feet to a 1/2 inch iron rod found for corner, said corner being the North corner of a tract of land conveyed to Daiker Partners, LTD. by deed recorded in Volume 4805, Page 52, Deed Records, Rockwall County, Texas, said corner being the East corner of a tract of land conveyed to PSB Indemnity Family Limited Partnership (Tract 1) by deed recorded in Volume 1322, Page 37, Deed Records, Rockwall County, Texas;

THENCE North 47 degrees 03 minutes 17 seconds West along the Northeast line of said PSB Indemnity Family Limited Partnership (Tract 1), a distance of 319.73 feet to a 1/2 inch iron rod found for corner, said corner being the North corner of said PSB Indemnity Family Limited Partnership (Tract 2);

THENCE South 43 degrees 09 minutes 39 seconds West along the Northwest line of said PSB Indemnity Family Limited Partnership (Tract 2), a distance of 264.91 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "CBG SURVEYING" for corner, said corner being along the Northeast line of said Turtle Cove Boulevard, from which a 1/2 inch iron rod found bears, South 47 degrees 50 minutes 44 seconds West, 4.23 feet for witness;

THENCE North 45 degrees 26 minutes 06 seconds West along the Northeast line of said Turtle Cove Boulevard, a distance of 144.59 feet to the POINT OF BEGINNING and containing 119.184 square feet or 2.74 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

We the undersigned owner(s) of the land shown on this plat, and designated herein as the CENTERS FOR PEACE AND MERCY, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the CENTERS FOR PEACE AND MERCY have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, frees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all réquirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

7. Property owner shall be responsible for maintenance, repair, and reconstruction of drainage and detention systems on site.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, augranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

By:

Centers for Peace and Mercy, Inc. Abdul L. Khan, President

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Abdul L. Khan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_day of\_\_\_\_\_, 2021.

By:

printed name:

Notary Public in and for the State of Texas

NOTE: It shall be the policy of the City of Rockwall to withhold issuina building all streets, water, sewer and storm drainage systems have been accepted by th approval of a plat by the City does not constitute any representation, assurance that any building within such plat shall be approved, authorized or permit there nor shall such approval constitute any representation, assurance or guarantee b the adequacy and availability for water for personal use and fire protection with as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Bryan Connally, a Registered Professional Land Surveyor, licensed by the Texas, do hereby certify that I prepared this plat from an actual and accurate land, and that the corner monuments shown thereon were properly placed unde supervision.

Dated this the\_\_\_\_\_ day of \_\_\_\_\_, 2021

RELEASED FOR REVIEW 3/12/2021 PRELIMINARY, THIS DOCUMENT SHALL NOT BE ANY PURPOSES AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINA DOCUMENT. Bryan Connally

Texas Registered Professional Land Surveyor No. 5513

(SHEET 2
FINAL PLAT
CENTERS FOR PEACE AND MERCEY
LOT 1, BLOCK A
119,184 SQ.FT. / 2.74 ACRES
E.P. GAINES CHISUM SURVEY, ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
PLANNING & SURVE Main Office



ANNING & SURVEYING ain Office 12025 Shiloh Road, Ste. 230 Dallas, TX 75228 P 214.349.9485 - Houston - East Texas - Austin - San Antonio www.cbgtxllc.com

(SHEET 2 OF 2)

OWNER: CENTERS FOR PEACE AND MERCY, INC. 4152 GREENFIELD DRIVE RICHARDSON, TEXAS 75082 318-617-3491

SCALE: 1"=60' / DATE: 1/14/2019 / JOB NO. 1826001 / DRAWN BY: TO CASE NO. \_\_\_

Planning and Zoning Commission Date APPROVED I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ 2021. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

Mayor. City of Rockwall

RECOMMENDED FOR FINAL APPROVAL

City Secretary

City Engineer



## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission	
DATE:	June 29, 2021	
APPLICANT:	Akhil Vats	
CASE NUMBER:	P2021-034; Final Plat for Lots 1 & 2, Block A, Adat Addition	

## **SUMMARY**

Consider a request by Akhil Vats of ADAT Estate, LLC for the approval of a Final Plat for Lots 1 & 2, Block A, ADAT Addition being a 1.57-acre tract of land identified as Tracts 30, 31, 32, & 32-1, of the S. S. McCurry Survey, Abstract No. 146, City of Rockwall, Rockwall County, Texas, zoned Neighborhood Services (NS) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1001 N. Goliad Street, and take any action necessary.

## PLAT INFORMATION

- ☑ The applicants are requesting approval of a *Final Plat* for a 1.57-acre parcel of land (*i.e. Tracts 30, 31, 32, & 32-1*) for the purpose of establishing two (2) lots (*i.e. Lots 1 & 2, Block A, Adat Addition*).
- ☑ On August 4, 2008, the City Council approved a Specific Use Permit (SUP) to allow for a *Garden Supply/ Plant Nursery* within the Neighborhood Services (NS) District [Ordinance No. 08-40]. On October 13, 2009, the Planning and Zoning Commission approved a site plan [SP2009-008] for the conversion of a residential home into an office building on the property located at 1001 N. Goliad Street. Currently, the converted office building and a detached garage are the only structures on the subject property.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this <u>Final Plat</u> -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of a <u>Final Plat</u> for Lots 1 & 2, Block A, Adat Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) Any construction resulting from the approval of this <u>Final Plat</u> shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/24/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-034 Lots 1 & 2, Block A, Adat Addition 1001 N GOLIAD ST. ROCKWALL, 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Angelica Gamez 972-772-6438 agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Angelica Gamez	06/24/2021	Approved w/ Comments	

06/24/2021: P2021-034: Final Plat for Lots 1 & 2, Block A, Adat Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, Adat Addition being a replat of 1.57-acres or 68,317 S.F. situated in S.S. McCurry Survey, Abstract No. 99,

City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 4.0 (SFE-4.0) District, addressed as 2380 S. FM 549.

1.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.

M.3 For reference, include the case number (P2021-022) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Please label a 15-foot building line setback.

M.6 Please ghost in all property lines within the subject property.

M.7 Please label all street right-of-way widths.

M.8 Please provide bearing along Live Oak Street.

M.9 Please correct and update the second to last "Thence" on the Legal Description.

M.10 Please ensure Metes and Bounds match on Sheet 1 and Sheet 2.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 29, 2021.

1.12 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

1.13 The projected City Council Meeting date for this case will be July 6, 2021.

1.14 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review

06/23/2021: M - the visibility clips need to be labeled as "Right of Way Clips."

M - Remove lines for paving limits, and house limits.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
DEPARTMENT GIS	REVIEWER Lance Singleton	DATE OF REVIEW 06/21/2021	STATUS OF PROJECT Approved	
GIS				
GIS No Comments	Lance Singleton	06/21/2021	Approved	

06/21/2021: No Comments

	<u></u>				
	DEVELOP MENT APPLICA	TION	- STAFF USE PLANNING & LUNING	CASE NO E	2021-034
	City of Rockwall	inon			RED ACCEPTED BY THE
	Planning and Zoning Department				CITY ENGINEER HAVE
	85 S. Goliad Street		DIRECTOR OF PLANN	ING	A DESCRIPTION OF THE OWNER OWNER
	Rockwall, Texas 75087		CITY ENGINEER:	ing.	
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D PLAT REINSTATEMEN			ANCE REQUEST (\$10	0.00)	
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PROPOSED ZONING		PROPOSE	DUSE COMM	mercial a	office
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Sunc	, TO COVER THE COST OF THIS APPLICATION, HAS	E THAT THE CITY	OF ROCKWALL (I.E.	WITS ADTHOSINE PAR	DAY OF
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	DWNER'S SIGNATURE	-		My Comm	1. Exp. JUL. 30, 2024
NOTARY PUBLIC IN AND FOR T		-	MY CO	MMISSION EXPIRES	July 30,202
DEVELOPMENT AP	PPLICATION . CITY OF ROCKWALL . 385 SOUTH GOLIA	AD STREET . ROI	CKWALL, TX 75087 • [P]	(972) 771-7745 » [F	

4

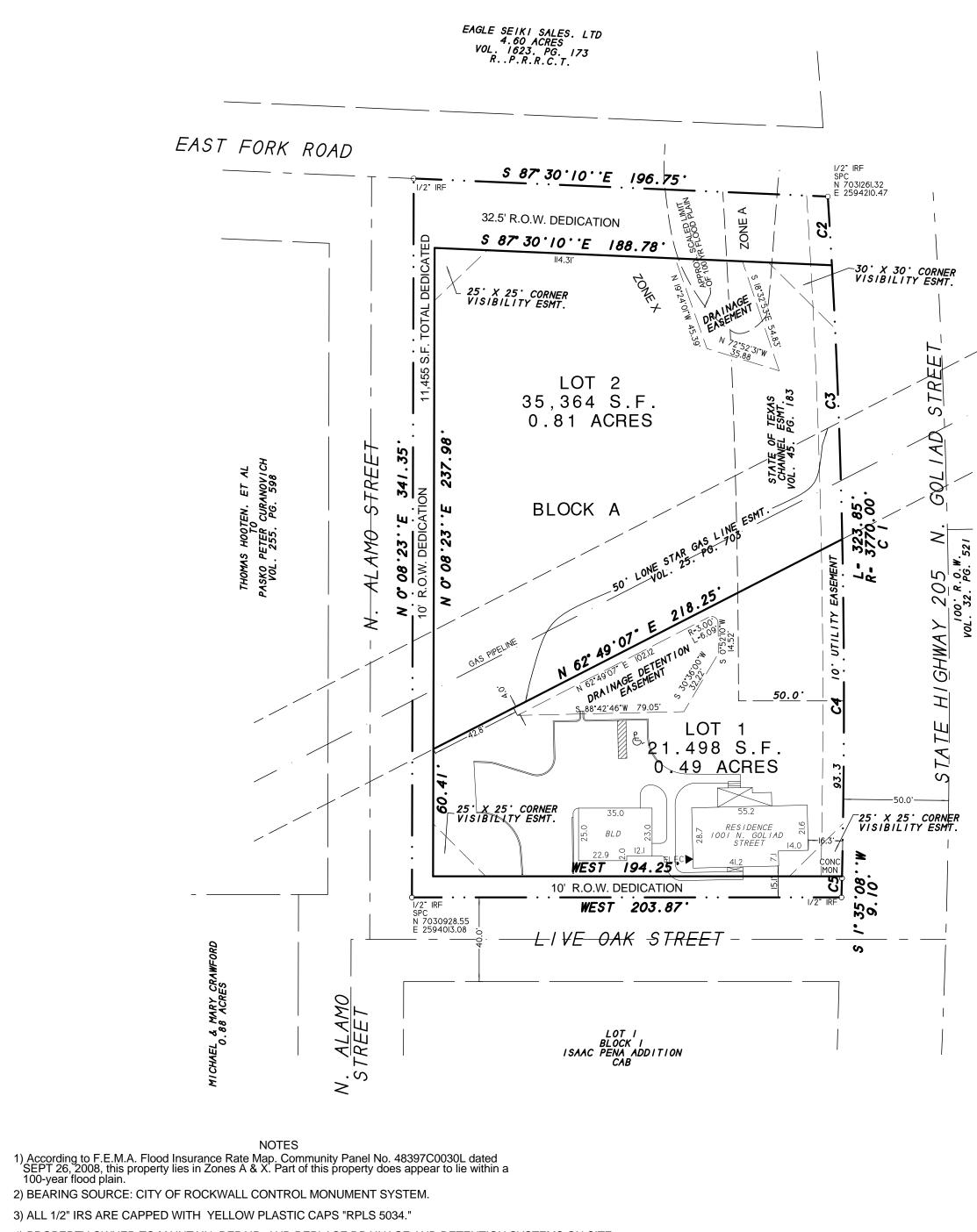




## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

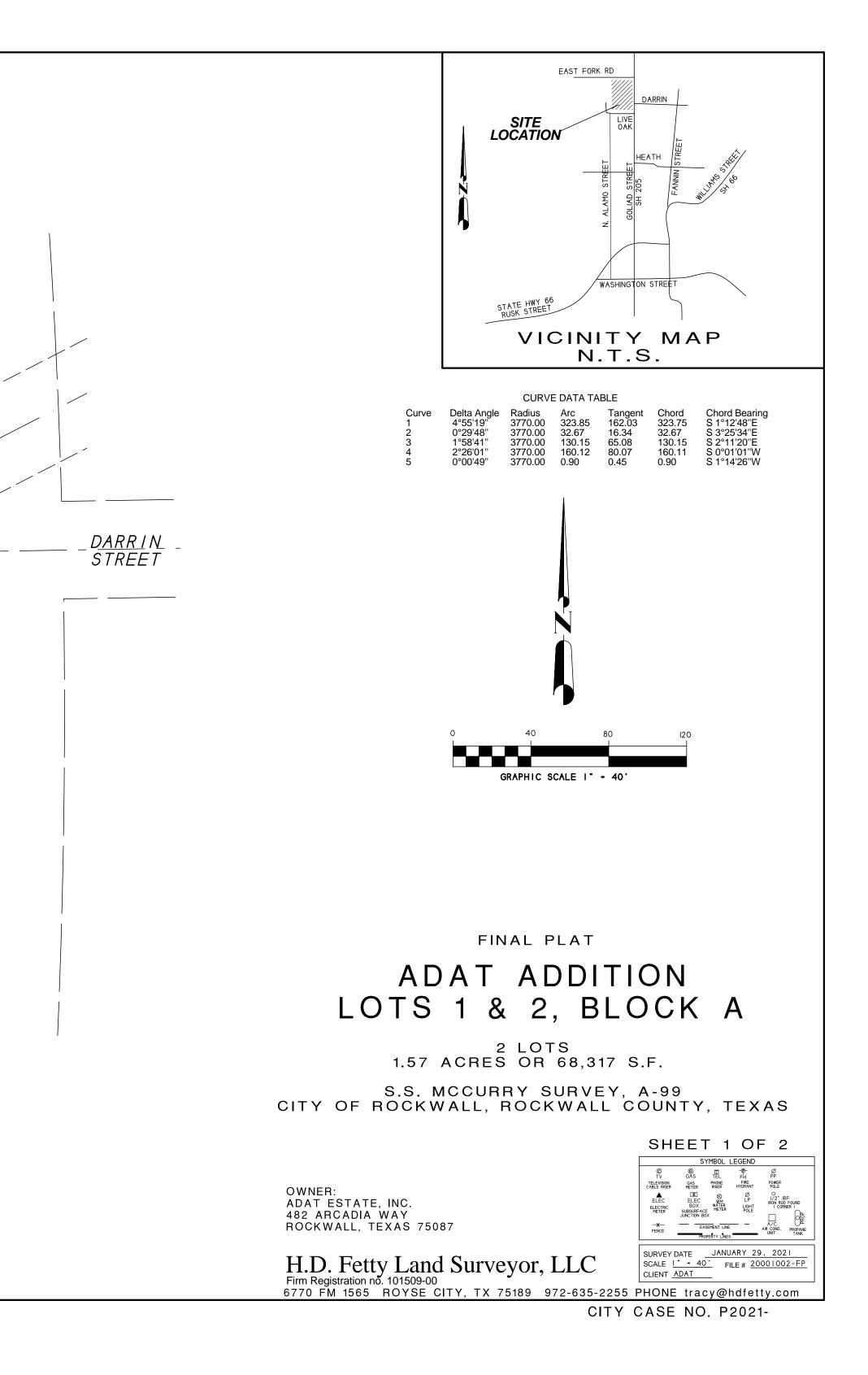
Planning & Zoning Departr 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE AND DETENTION SYSTEMS ON SITE.

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.



## OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS ADAT ESTATE, INC. BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the S.S. McCURREY SURVEY, ABSTRACT NO. 146, City of Rockwall, Rockwall County, Texas, and being all of the First tract and Second tract of land as described in a Warranty deed from J.W. Wright to O.O Scott as recorded in Volume 21, Page 190 and 191 of the Deed Records of Rockwall County, Texas, and also being described in a Warranty deed from Drago and Christian Rakich to Lion Properties, Inc, dated September 2, 2004 and being recorded in Volume 3675, Page 110 and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the intersection of the North right-of-way line of Live Oak Street and the West right-of-way line of State Highway 205 ( N. Goliad Street ), said point being at the Southeast corner of the above cited First tract;

THENCE WEST ( Controlling bearing line ) along the North line of said Live Oak Street, a distance of 203.87 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Alamo Street ( not constructed ) ;

THENCE N. 00 deg. 08 min. 23 sec. E. along said right-of-way line, a distance of 341.35 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the Northwest corner of said Second tract;

THENCE S. 87 deg. 30 min. 10 sec. E. along an old fence line, at 146.75 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for witness and continuing for a total distance of 196.75 feet to a point for corner in concrete at the base of a concrete headwall, being in the West right-of-way line of State Highway 205;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 04 deg. 55 min. 18 sec., a radius of 3770.00 feet, a chord of S. 01 deg. 11 min. 29 sec. E., 323.75 feet, a tangent of 162.02 feet, along said right-of-way line, an arc distance of 323.85 feet to a concrete monument found for corner;

THENCE S. 01 deg. 35 min. 08 sec. W. along said right-of-way line, a distance of 9.10 feet to the POINT OF BEGINNING and containing 1.57 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as ADAT ADDITION, LOTS 1 AND 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in ADAT ADDITION, LOTS 1 AND 2, BLOCK A have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aning, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

Akhil D. Vats for ADAT ESTATE, LLC

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Akhil D. Vats known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this \_\_\_\_\_\_ day of \_\_\_\_\_,

Notary Public in and for the State of Texas

My Commission Expires:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:	
THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared from an actual and accurate survey of the land, and that the corner monuments were properly placed under my personal supervision.	d this plat s shown thereon
	G REGISTERED TO
Harold D. Fetty, III Registered Professional Land Surveyor No. 5034	
	TAND SURVEY
	$\checkmark$
RECOMMENDED FOR FINAL APPROVAL	
Planning and Zoning Commission Date	
APPROVED	
I hereby certify that the above and foregoing plat of ADAT ADDITION, LOTS 1 AND 2, BLOCK A an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of	
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) da from said date of final approval.	ays
Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.	9
WITNESS OUR HANDS, this day of,	
Mayor, City of Rockwall City Secretary City of Rockwall	
City Engineer Date	
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## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	Josh Millsap; KFM Engineering & Design
CASE NUMBER:	P2021-035; Final Plat for Lot 1, Block A, TAC Rockwall Addition

## SUMMARY

Consider a request by Josh Millsap of KFM Engineering & Design on behalf of the Estate of Billy W. Peoples and Myreli, LLC for the approval of a <u>Conveyance Plat</u> for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [*N. Goliad Street*], and take any action necessary.

## PLAT INFORMATION

- ☑ The applicant is requesting the approval of a final plat for a 3.338-acre tract of land (*i.e. Lot 1, Block A, TAC Rockwall Addition*) in order to combine (13) lots (*i.e. Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P, Lots 1 & 2, Block AB, Rockwall OT Addition, and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition*) for purpose of conveying the subject property. Additionally, the final plat indicates the abandonment of rights-of-way for portions of West Street (*i.e. 25-feet of right-of-way*) and Houston Street (*i.e. 30-feet of right-of-way*). Staff should note that the site will not be developed and no permits will be issued without first having approved civil engineering plans and a replat of the property in accordance with the development procedures outlined in the Municipal Code of Ordinances and the Unified Development Code (UDC).
- ✓ On June 18, 2021, the applicant submitted a site plan (*i.e. Case No. SP2021-020*) for the subject property proposing a four (4) story, 263-unit apartment complex (*i.e. Rockwall Downtown Lofts*) that is being run concurrently with this conveyance plat.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

## CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for *Lot 1*, *Block A*, *TAC Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-035 Lot 1, Block A, TAC Rockwall Addition

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/23/2021	Approved w/ Comments	

06/23/2021: P2021-035; Conveyance Plat for Lot 1, Block A, TAC Rockwall Addition

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Conveyance Plat for Lot 1, Block A, TAC Rockwall Addition being a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-035) in the lower right-hand corner of all pages on future submittals.

1.4 This project is subject to all requirements stipulated by Downtown (DT) District of the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

1.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to submittal on mylar for filing.

M.6 Please provide one (1) hard copy and a PDF/electronic version for review by staff.

I.7 Please note the scheduled meetings for this case:

(1) Planning & Zoning work session meeting will be held on June 29, 2021.

(2) City Council regular meeting will be held on July 6, 2021 (Tuesday).

1.8 Although this agenda item is on the consent agenda, staff recommends that a representative be present for all meetings as indicated above. The meetings are scheduled to

begin at 6:00 PM in the City Council Chambers.

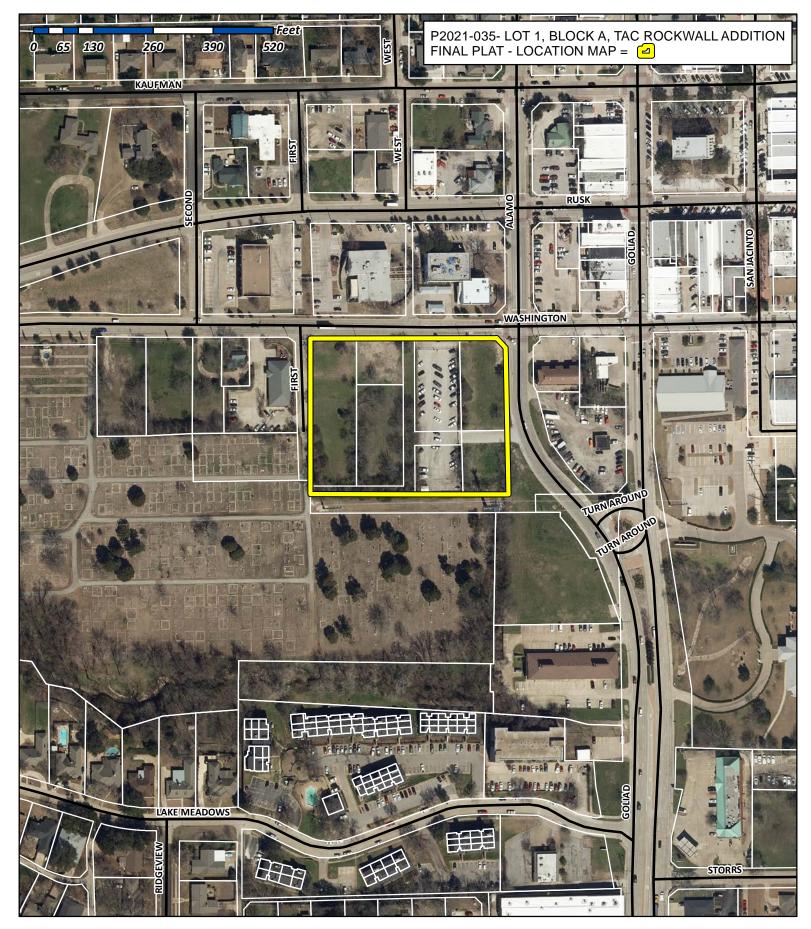
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/21/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/23/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/21/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	David Gonzales	06/23/2021	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/21/2021	Approved

06/21/2021: No Comments

PLEASE CHECK THE AN	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087			FF USE ONLY         NNING & ZONING CASE NO.         PJ GJ (- 035)         E: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE         'UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE         IED BELOW.         SCTOR OF PLANNING:         'ENGINEER:         QUEST (SELECT ONLY ONE BOX):
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CONTACT PERSON		CONTACT PE	RSON	JOSH MILLSAP
ADDRESS	302 S GOLIAD ST	ADD	RESS	3501 OLYMPUS BLVD
				STE 100
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE	& ZIP	DALLAS, TX 75019
PHONE			HONE	4698990536
E-MAIL		E	-MAIL	JMILLSAP@KFM-LLC.COM
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GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE 16 DAY OF	June	20 2	KATHRYN DIANE ENGLISH
	OWNER'S SIGNATURE	MAIL		Notary Public, State of Texas
NOTARY PUBLIC IN AND	Jo wa	n Iglis	L	COMPAGENCIN EXPIRES 06-02-2024
DEVELOPME	NT APPLICATION	IOLIAD STREET + RC	ICKWAL	L, TX 75087 • [P] <b>(972) 771-7745</b> • [F] <b>(</b> 972) 771-7727

PI FASE CHECK THE A	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087			STAFF USE ONLY         PLANNING & ZONING CASE NO.       P J (J - 0 - 3)         NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.         DIRECTOR OF PLANNING:         CITY ENGINEER:			
□ MASTER PLAT (\$100.00 + \$15.00 ACRE) 1       □ ZOU         □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1       □ SPE         □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1       □ PD         □ FINAL PLAT (\$300.00 + \$20.00 ACRE) 1       □ PD         □ REPLAT (\$300.00 + \$20.00 ACRE) 1       □ PD         □ AMENDING OR MINOR PLAT (\$150.00)       □ TRE         □ PLAT REINSTATEMENT REQUEST (\$100.00)       □ VAF         SITE PLAN APPLICATION FEES:       □ SITE PLAN (\$250.00 + \$20.00 ACRE) 1         □ SITE PLAN (\$250.00 + \$20.00 ACRE) 1       1: IN D         □ AMENDER SITE PLAN (\$250.00 + \$20.00 ACRE) 1       1: IN D			APPL ING CH CIFIC L DEVELC APPLI E REMO IANCE TERMIN YING BY	<b>ICATION FEES:</b> IANGE (\$200.00 + JSE PERMIT (\$20 DPMENT PLANS ( <b>CATION FEES:</b> OVAL (\$75.00) REQUEST (\$100. NING THE FEE, PL THE PER ACRE AN P TO ONE (1) ACRE.	+ \$15.00 ACRE) <sup>1</sup> 0.00 + \$15.00 AC \$200.00 + \$15.00 \$200.00 + \$15.00 00) LEASE USE THE 10UNT. FOR REQU	CRE) <sup>1</sup> D ACRE) <sup>1</sup> EXACT ACRE	
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SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.							
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CH	HECK THE PRIMA	RY CON	ITACT/ORIGINAL S	IGNATURES ARE	REQUIRED]	
	MYRELI LLC		CANT	KFM ENC	GINEERING	3 & DESI	IGN
CONTACT PERSON		CONTACT PER	RSON	JOSH MII	LLSAP		
ADDRESS	627 SORITA CIR	ADD	RESS	3501 OLY	MPUS BLV	/D	
				STE 100			
CITY, STATE & ZIP	HEATH, TX 75032	CITY, STATE	& ZIP	DALLAS,	TX 75019		
PHONE		Pł	IONE	469899053	6		
E-MAIL		E	-MAIL	JMILLSA	P@KFM-LI	LC.COM	
	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE		]. }	וישתרים	[OWNER]	THE UNDER	Signed, who
\$	I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A , TO COVER THE COST OF THIS APPLICATION; H, , 20 BY SIGNING THIS APPLICATION, I AGR D WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSI	AS BEEN PAID TO EE THAT THE CIT S ALSO AUTHORIZ	THE CIT Y OF RC ZED ANI	Y OF ROCKWALL ON OCKWALL (I.E. "CITY D PERMITTED TO I	THIS THE ") IS AUTHORIZED REPRODUCE ANY	AND PERMITT	DAY OF
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE ADAY OF	ono	_, 20			IRYN DIANE	
	OWNER'S SIGNATURE	1. 0	-	S-NO		y Public, Sta n. Expires 0	te of Texas
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS Kalling	iones	Je	SX MICOM	MASSION EXPIRE		
DEVELOPME	NT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOL	IAD STREET © RO	CKWAL	L, TX 75087 • [P]	(972) 771-7745 •	[F] (972) 771-	7727

	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087			STAFF USE ONLY PLANNING & ZONING CASE NO. P J 0 J 1-035 NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:			
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE C				ONLY ONE BO	X]:	
PRELIMINARY F FINAL PLAT (\$30 REPLAT (\$300.0 AMENDING OR	\$100.00 + \$15.00 ACRE) <sup>1</sup> PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 00.00 + \$20.00 ACRE) <sup>1</sup>		NING CH CIFIC U DEVELC R APPLI E REMO	<i>ICATION FEES:</i> IANGE (\$200.00 → JSE PERMIT (\$20 DPMENT PLANS ( <i>CATION FEES:</i> DVAL (\$75.00) REQUEST (\$100.	0.00 + \$15.00 Á (\$200.00 + \$15.0	CRE) 1	
	ATION FEES: 0.00 + \$20.00 ACRE) <sup>1</sup> PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	NOTES: 1: IN D MULTIPI	ETERMIN YING BY	IING THE FEE, PL THE PER ACRE AM P TO ONE (1) ACRE.	LEASE USE THE		
PROPERTY INFO	RMATION [PLEASE PRINT]						
ADDRESS	301 AND 305 WASHINGTON ST						
SUBDIVISION	LOWE AND ALLEN			LOT	4,5	BLOCK	A&B
GENERAL LOCATION	S-E INTERSECTION OF WASHIN	GTON ST.	ANE	FIRST ST.			
ZONING. SITE PL	AN AND PLATTING INFORMATION (PLEAS						
CURRENT ZONING		CURRE	NT USE	VACANT	Г		
PROPOSED ZONING	DT/ SH66 OVERLAY	PROPOSI	ED USE		FAMILY		
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REGARD TO ITS	<u>) PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE T APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF ENIAL OF YOUR CASE.						
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CH	ECK THE PRIMA	ARY CON	ITACT/ORIGINAL S	IGNATURES AR	e required]	
	MYRELI LLC	🖸 APPL	ICANT	KFM ENC	GINEERIN	G & DESI	GN
CONTACT PERSON		CONTACT PE	RSON	JOSH MIL	LLSAP		
ADDRESS	627 SORITA CIR	ADD	RESS	3501 OLY	MPUS BL	VD	
				STE 100			
CITY, STATE & ZIP	НЕАТН, ТХ 75032	CITY, STATE		DALLAS,			
PHONE			HONE	469899053			
E-MAIL		E	E-MAIL	JMILLSAI	P@KFM-L	LC.COM	
	<b>CATION [REQUIRED]</b> RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE		A-	Konda	) [OWNER	] THE UNDER	signed, who
\$	I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A , TO COVER THE COST OF THIS APPLICATION, H , 20, BY SIGNING THIS APPLICATION, I AGR D WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS TION WITH THIS APPLICATION, IF SUCH REPRODUCTION SASS	AS BEEN PAID TO EE THAT THE CIT S ALSO AUTHOR	THE CIT	Y OF ROCKWALL ON OCKWALL (I.E. "CITY D PERMITTED TO I	N THIS THE ") IS AUTHORIZE REPRODUCE AN	D AND PERMITTE Y COPYRIGHTED	DAY OF
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE TY DAY OF	une	_, 20 <u>2</u>	L. Junit		RYN DIANE E	
NOTARY PUBLIC IN AND	OWNER'S SIGNATURE	, d. O	-	AV COM	Coro	n Expires 06 ogary ID 627	-02-2024
DEVELOPM	ENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOL	IAD STREET = RO	OCKWAL	L, TX 75087 • [P] (	(972) 771-7745	• [F] (972) 771-;	7727

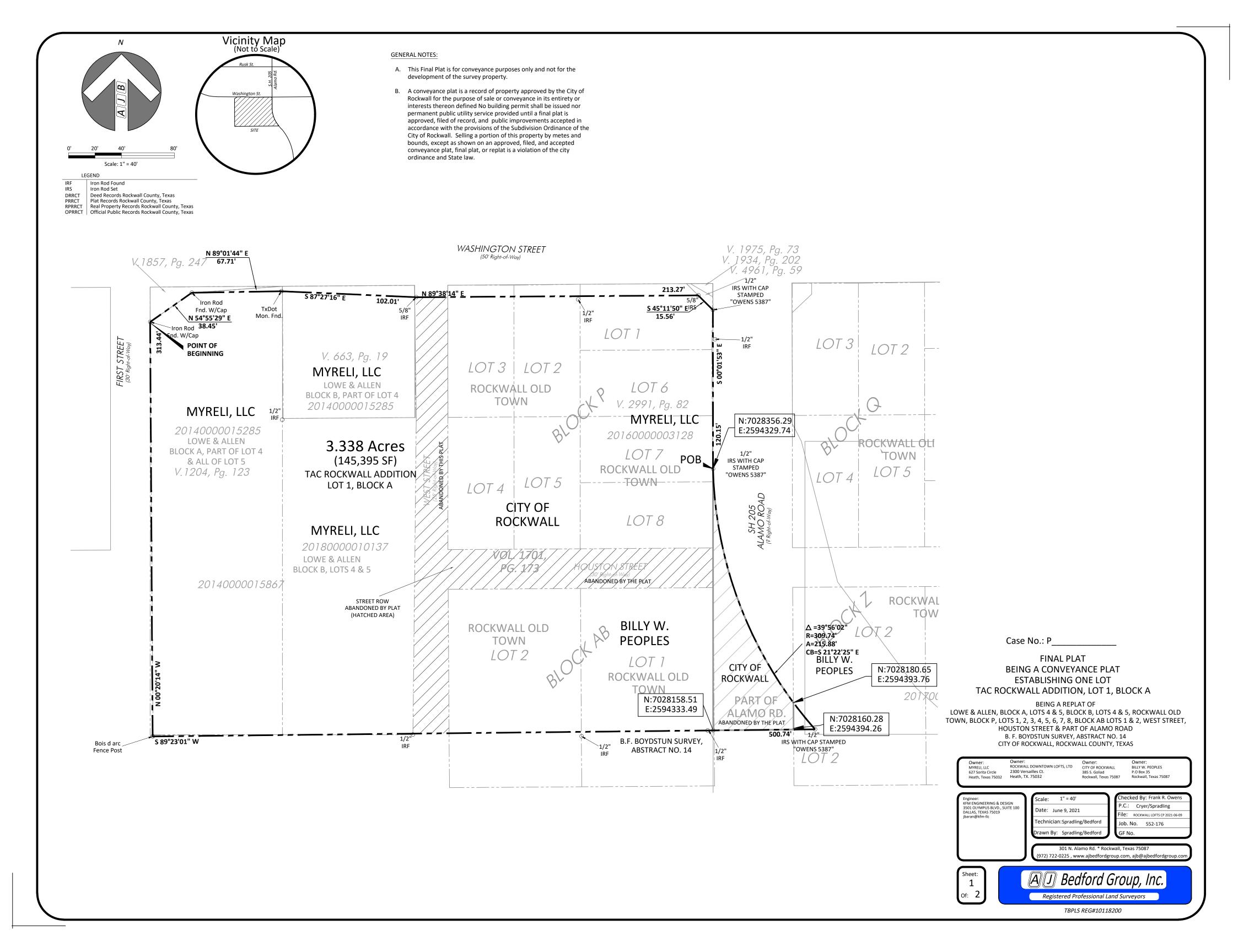




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





### OWNER'S CERTIFICATE

STATE OF TEXAS COUNTY OF ROCKWALI

BEING a 3.338 acre tract of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT #14 in the City of Rockwall, Rockwall County, Texas and being *part* of the same property described to MYRELI, LLC recorded in Clerk File # 20140000015285, Clerk File # 20140000015867, Clerk File # 20180000010137, Clerk File # 20160000003128, Official Public Records, Rockwall County, Texas, and being part of a tract of land to the City of Rockwall recorded in Volume 1701, Page. 173, Deed Records, Rockwall County, Texas and being a part of Lot 1, Block AB (no recording information), Official Public Records, Rockwall County, Texas and being part of "WEST STREET" (apparent 25' in width) to Billy W. Peoples, Houston Street (apparent 30' in width) and part of Alamo Road and being more particularly described as follows:

**BEGINNING** at an iron rod with cap found for the southerly corner of a corner cut-off line at the intersection of the east line of said FIRST STREET (apparent 30 ' in width) with the south line of WASHINGTON STREET (apparent 50' in width);

**THENCE** with the south line of said Washington Street with said corner cut-off line, NORTH 54°55'29" EAST a distance of 38.45 feet to an iron rod with cap found for corner;

THENCE with the south line of said Washington Street, NORTH 89°01'44" EAST a distance of **67.71** feet to a TxDot Monument found for corner:

THENCE continuing with the south line of said Washington

Street, SOUTH 87°27'16" EAST a distance of 102.01 feet to a 5/8 inch iron rod found for corner and being located near the west line of said WEST STREET;

THENCE continuing with the south line of said Washington Street, NORTH 89°38'14" EAST a distance of 213.27 feet to a 5/8 inch iron rod set for the northerly corner of a corner cut-off line located at the intersection of the west line of State Highway 205 (ALAMO ROAD)(variable width);

THENCE with the west line of State Highway 205 (ALAMO ROAD), SOUTH 45°11'50" EAST a distance of 15.56 feet to a 5/8 inch iron rod set for corner:

THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD), SOUTH 00°01'53" EAST a distance of 120.15 feet to a 5/8 inch iron rod set for the beginning of a curve to the left having a radius of 309.74 feet and a chord bearing of South 21°22'25" East;

THENCE continuing with the west line of said State Highway 205 (ALAMO ROAD) with said curve to the left through a central angle of **39°56'02**" for an arc length o 215.88 feet to a 5/8 inch iron rod set for the southeast corner of the herein described tract of land:

THENCE departing the west line of said State Highway 205 (ALAMO ROAD), SOUTH 89°23'01" WEST a distance of 500.74 feet to a Bois-d-arc fence post found for the southwest corner of herein described tract of land and being located in the east line of said FIRST STREET:

THENCE with the east line of said FIRST STREET, NORTH 00°20'14" WEST a distance of 313.44 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 3.338 acres or 145,395 square feet of land more or less.

### SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a

final survey document" Frank R. Owen Registered Professional Land Surveyor No. 5387 frank@ajbedfordgroup.com A.J. Bedford Group, Inc.

301 North Alamo Road Rockwall, Texas 75087

### **GENERAL NOTES:**

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have bee accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

RIGHT OF WAYS FOR WEST STREET. HOUSTON STREET AND PART OF ALAMO TO BE ABANDONED AS PART OF THIS PLAT.

The use of the word "certify or certificate" used hereon constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

Basis of Bearings: Bearings are based on deeds recorded in Vol. 1204, Pg. 123; 20140000015285; 20180000010137; 20140000015867; 20160000003128; Vol. 2991, Pg. 82; Vol. 1701, Pg. 173; 20170000005610.

FLOOD STATEMENT: According to Community Panel No. 48397C0040L, dated September 26, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: STATE OF TEXAS COUNTY OF ROCKWALL

We, ROCKWALL DOWNTOWN LOFTS, LTD., MYRELI, LLC, CITY OF ROCKWALL & BILLY W. PEOPLES, the undersigned owners of the land shown on this plat, and designated herein as the TAC ROCKWALL ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the LOWE & ALLEN, BLOCK A, LOTS 4 & 5, BLOCK B, LOTS 4 & 5, ROCKWALL OLD TOWN, BLOCK P LOTS 1, 2, 3, 4, 5, 6, 7, 8, BLOCK AB LOTS 1 & 2. WEST STREET. HOUSTON STREET. & PART OF ALAMO ROAD subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall;

7. Property owner is responsible for maintenance, repair, and replacement of all detention/drainage facilities in easements:

8. Abandonment and Conveyance: Notwithstanding anything to the contrary contained herein: (i) the purpose of this plat is to be filed in connection with the conveyance of all of the property shown hereon to Rockwall Downtown Lofts, Ltd., a Texas limited partnership, (ii) this plat constitutes and describes the abandonment of those certain right-of-ways know as West Street and Houston Street, as indicated and shown hereon, and West Street and Houston Street, as shown hereon, are hereby conveyed and abandoned by the City of Rockwall to and for the benefit of Rockwall Downtown Lofts, Ltd., a Texas limited partnership and (iii) all parties hereto agree to execute and deliver all such further documents and instruments necessary to effectuate such conveyance and abandonment of West Street and Houston Street to Rockwall Downtown Lofts, Ltd., a Texas limited partnership

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, my (our) successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made

**RECOMMENDED FOR FINAL APPROVAL** 

APPROVED

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_

Mayor, City of Rockwall

ROCKWALL DOWNTOWN LOFTS, LTD:	CITY OF ROCKWALL a Texas municipal corporation
By: Tony Austin Company, Inc., a Texas corporation	
By: Tony Austin, President	Ву:
Tony Austin, President	Name:
	 Title:
STATE OF TEXAS COUNTY OF ROCKWALL	
Before me, the undersigned authority, on this day personally appeared Tony Austin, President, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to the the subscribe the subscri	STATE OF TEXAS COUNTY OF ROCKWALL
me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this day of, 2021	Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein
Notary Public in and for the State of Texas	stated. Given upon my hand and seal of office this day of, 2021
	Notary Public in and for the State of Texas
MYRELI, LLC, a Texas limited liability company	
By: DRK Family Partners, Ltd, a Texas limited partnership Its: Sole Member	Lynda Morris, Independent Executrix of the Estate of Billy W. Peoples, Deceased
By: Dreek, LLC, a Texas limited liability company Its: General Partner By:	BILLY W. PEOPLES
Name: Ruth R. Kaufmann Its: Managing Member By:	Name: Lynda Morris Title: Independent Executrix of the Estate of Billy W. Peoples, Deceased
Name: Douglas A. Kaufmann Its: Managing Member	STATE OF TEXAS COUNTY OF ROCKWALL
STATE OF TEXAS COUNTY OF ROCKWALL	Before me, the undersigned authority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and
Before me, the undersigned authority, on this day personally appeared Ruth R. Kaufmann, Managing Member, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.	acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this day of, 2021	Given upon my hand and seal of office this day of, 2021
Notary Public in and for the State of Texas	Notary Public in and for the State of Texas
STATE OF TEXAS COUNTY OF ROCKWALL	
Before me, the undersigned authority, on this day personally appeared Douglas A. Kaufmann, Managing Member, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.	
Given upon my hand and seal of office this day of, 2021	
Notary Public in and for the State of Texas	
	Case No.: P
	FINAL PLAT BEING A CONVEYANCE PLAT ESTABLISHING ONE LOT

ESTABLISHING ONE LOT
TAC ROCKWALL ADDITION, LOT 1, BLOCK A
BEING A REPLAT OF

LOWE & ALLEN, BLOCK A, LOTS 4 & 5, BLOCK B, LOTS 4 & 5, ROCKWALL OLD TOWN, BLOCK P, LOTS 1, 2, 3, 4, 5, 6, 7, 8, BLOCK AB LOTS 1 & 2, WEST STREET, HOUSTON STREET & PART OF ALAMO ROAD B. F. BOYDSTUN SURVEY, ABSTRACT NO. 14 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS Owner: ROCKWALL DOWNTOWN LOFTS, LTD Owner: CITY OF ROCKWALL Owner: BILLY W. PEOPLES MYRELI, LLC 627 Sorita Circle 2300 Versailles Ct. Heath, TX. 75032 385 S. Goliad Rockwall, Texas 75087 P.O Box 35 Rockwall, Texas 75087 , 2021. Checked By: Frank R. Owens Scale: 1" = 40' P.C.: Cryer/Spradling KFM ENGINEERING & DESIGN 3501 OLYMPUS BLVD., SUITE 10 DALLAS, TEXAS 75019 ate: June 9, 2021 File: ROCKWALL LOFTS CP 2021-06-09 Fechnician: Spradling/Bedford baran@kfm-llc Job. No. 552-176 rawn By: Spradling/Bedford GE No. \_, 2021. 301 N. Alamo Rd. \* Rockwall, Texas 7508 (972) 722-0225 , www.ajbedfordgroup.com City Engineer AJ Bedford Group, Inc. Sheet: 2 Registered Professional Land Surveyors TBPLS REG#10118200

Planning and Zoning Commission Date

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

City Secretary



## CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	David Gonzales, Planning and Zoning Manager
DATE:	June 29, 2021
SUBJECT:	SP2021-019; Amended Site Plan for Gas Canopy in Conjunction with an Existing General Retail Store with Gasoline Sales

On May 11, 2010, the Planning and Zoning Commission approved a site plan [Case No. SP2010-006] for a retail store with gasoline sales at 2301 S. Goliad Street. This facility (i.e. RaceTrac) was constructed in 2010-2011 and has been in operation since late 2011. On January 12, 2021, the Planning and Zoning Commission approved an amended site plan [Case No. SP2020-033] allowing the construction of an additional gas canopy, separate from the existing general retail store with gasoline sales. At the time of approval, the proposed gas canopy was to accommodate four (4) vehicles and was a total of 2,620 SF, with a maximum height of ~22-feet. The amendment proposed by the applicant, David Bond of Spiars Engineering, will reduce the size of the canopy's square footage by 580 SF (i.e. total 2,040 SF) and reduce the number of fuel dispensers from five (5) to four (4). Staff should note that these fuel dispensers will only serve one (1) vehicle as opposed to the standard fuel dispenser, which serves two (2) vehicles. The height of the gas canopy will remain at ~22-feet and will be constructed in the same style and utilize the same materials as the previously approved gas canopy. It should be noted that the Architectural Review Board (ARB) reviewed the larger (i.e. 2,620 SF) gas canopy at their December 29, 2020 meeting and forwarded a recommendation of approval to the Planning and Zoning Commission. Since the proposed gas canopy has not changed, other than a reduction in size (*i.e. 2,040 SF*) and capacity, a recommendation from the Architectural Review Board (ARB) is not required for this amended site plan. The proposed gas canopy will be located directly east of the existing building on the adjacent parcel of land (i.e. Lot 7, Block 1, Meadow Creek Business Center, Phase 2); however, per the approval of the previous site plan (*Case No. SP2020-033*), the applicant will be required to replat the property into one (1) parcel of land. Should the Planning and Zoning Commission have any guestions staff will be available at the June 29, 2021 meeting.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: SP2021-019 Amended Site Plan for Racetrac 2301 S GOLIAD ST. ROCKWALL. 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/23/2021	Approved w/ Comments	

06/23/2021: SP2021-019; Amended Site Plan for RaceTrac – Meadowcreek Business Center Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for an existing General Retail Store with Gasoline Sales on a 8.240-acre tract of land identified as Lots 6 & 7, Block 1, Meadowcreek Business Center, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV)

District and the SH-276 Overlay (SH-276 OV) District, addressed as 2301 S. Goliad Street.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2021-019) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

1.4 This project is subject to all requirements stipulated by the Commercial (C) District, the SH-205 Overlay (SH-205 OV) and SH-276 Overlay (SH-276 OV) Districts, and the Development Standards of Article 05 that are applicable to the subject property.

M.5 All pages of the site plan (i.e. photometric plan, landscape plan, and treescape plan, etc.) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. Add a signature block to all plans and provide staff with one (1) large copy on bonded paper for signatures. (§03.04.A, Art. 11, UDC)

1.6 Please note that the property will require a replat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

I.7 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

I.8 Provide staff with one (1) large copy on bonded paper (for signatures) and one (1) PDF version.

#### I.9 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on June 29, 2021. [Consent Agenda]

I.10 Although this item will be on the consent agenda, staff requests that a representative be present. The meeting will be held in person in the City's Council Chambers and will begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Approved w/ Comments

06/23/2021: M - My records show that the "Ex 6" Fireline" is actually an 8" line. Please update.

The following are informational comments for the engineering design phase.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - Traffic rated guard rail or barrier will be required when roadway or parking lot is within 10 feet of a retaining wall that is over 30" in height.

I - Walls over 30' in height will need pedestrian rail if sidewalk is on high side.

Drainage Items:

I - Must verify existing detention pond for capacity. I - No vertical walls in detention. Max side slope is 4:1

M- Dumpster area (existing and proposed) to drain to oil/water separator prior to storm

M - Diesel and gas area must drain to oil/water separator prior to storm system or detention area.

I - Must extend culvert under driveway past curb return

I - All area must drain to the detention system

Water and Wastewater Items:

I - Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).

I - May need to loop an 8" water line on the site for fire coverage and additional meters.

I - Fire hydrants and Fire Lines to have min 10' separation from all other connections to waterline.

Roadway Paving Items:

I - Parking to be 20'x9'.

I - Drive isles to be 24' wide.

I - No dead-end parking allowed without a turnaround.

I - Fire lane to have 20' min radius. Fire lane to be in a platted easement.

If building is 30' or taller, the fire lane radii must be 30' minimum.

I - Any removal of a public street requires full panel replacement

#### Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	

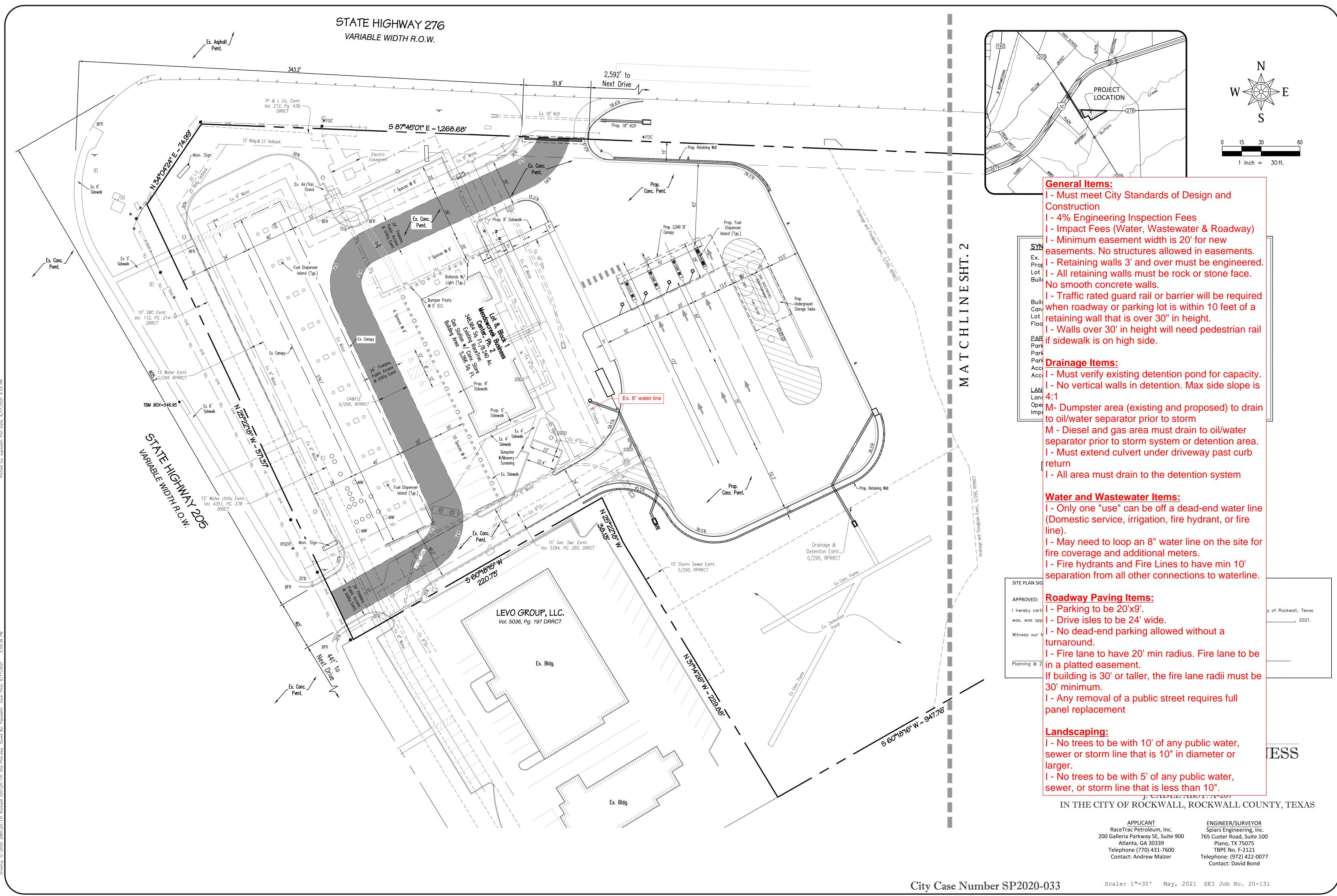
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	David Gonzales	06/23/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved w/ Comments	
06/21/2021: Tree Mitigation ap	proved			

Landscape approval contingent with the following;

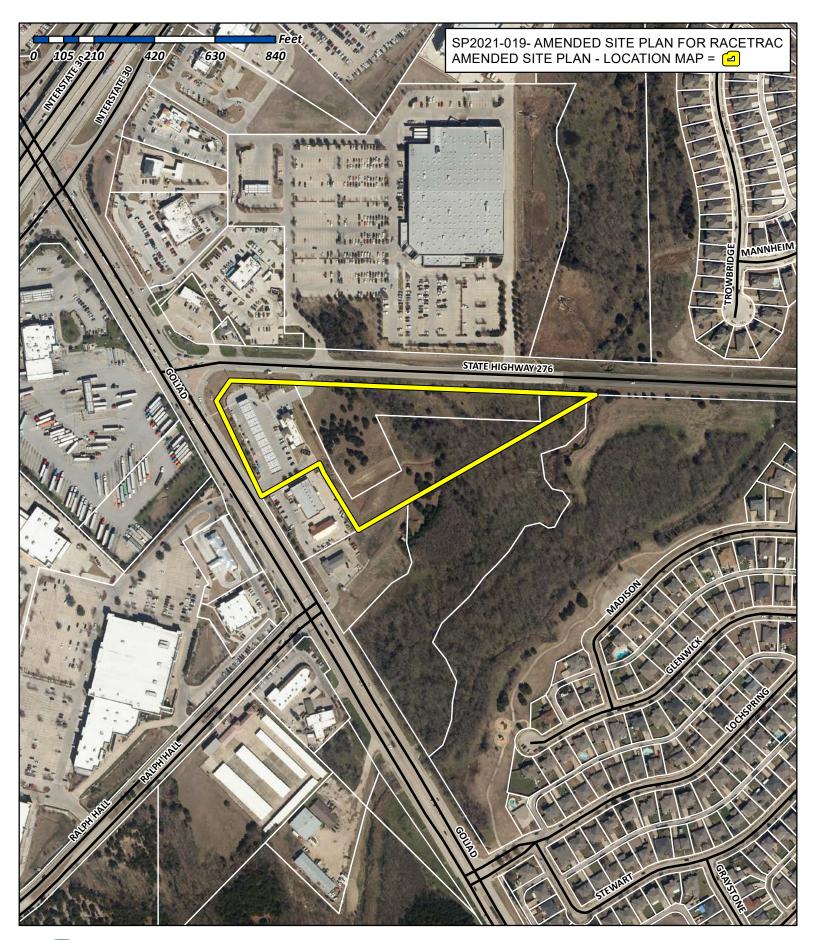
Total landscape percentage falls short 1,893 square feet according to plans

all existing plant material impacted by the February storms will need to be replaced with this project



	<b>DEVELOPMEN</b> City of Rockwall Planning and Zoning 385 S. Goliad Street Rockwall, Texas 75087		IION PLA <u>NOT</u> CIT SIGI DIRI	AFF USE ONLY INNING & ZONING CASE NO. IE: THE APPLICATION IS NOT ( Y UNTIL THE PLANNING DIREC NED BELOW. ECTOR OF PLANNING: Y ENGINEER:	CONSIDERED ACCEP	TED BY THE
PLEASE CHECK THE A	PPROPRIATE BOX BELOW TO IN	DICATE THE TYPE OF D	EVELOPMENT RE	QUEST [SELECT ONLY ON	E BOXJ:	
□ PRELIMINARY PL □ FINAL PLAT (\$300 □ REPLAT (\$300.00 □ AMENDING OR M □ PLAT REINSTATE SITE PLAN APPLICA □ SITE PLAN (\$250.	100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 0.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> INOR PLAT (\$150.00) MENT REQUEST (\$100.00) ITION FEES:	G PLAN (\$100.00)	CONING C CONING C SPECIFIC SPECIFIC OTHER APPL TREE REM VARIANCE NOTES: I': IN DETERMII MULTIPLYING B	LICATION FEES: HANGE (\$200.00 + \$15.00 A) USE PERMIT (\$200.00 + \$15 OPMENT PLANS (\$200.00 + ICATION FEES: IOVAL (\$75.00) REQUEST (\$100.00) NING THE FEE, PLEASE USE Y THE PER ACRE AMOUNT. FOF IP TO ONE (1) ACRE.	.00 ACRE) 1 \$15.00 ACRE) 1	AGE WHEN THAN ONE
PROPERTY INFOR	RMATION (PLEASE PRINT)					
ADDRESS	2301 Goliad 5	t.				
SUBDIVISION	Meadowcreek Bu	usiness Cente	- Phase 2	LOT 62	7 BLOCK	1
GENERAL LOCATION	SE Corner of S					-
ZONING, SITE PLA	AN AND PLATTING INFO	RMATION [PLEASE P	RINT]			
CURRENT ZONING	С		CURRENT USE	Convenience	Store	
PROPOSED ZONING	С		PROPOSED USE			
ACREAGE	8.24 Ac.	LOTS [CURRENT]	6 27	LOTS (PROPOS		
neor no no no n	PLATS: BY CHECKING THIS BOX YO PROVAL PROCESS, AND FAILURE 1 VIAL OF YOUR CASE.	OU ACKNOWLEDGE THAT TO ADDRESS ANY OF STA	DUE TO THE PASS FF'S COMMENTS BY	AGE OF <u>HB3167</u> THE CITY N THE DATE PROVIDED ON TH	0 LONGER HAS FLE E DEVELOPMENT CA	XIBILITY WITH LENDAR WILL
OWNER/APPLICA	NT/AGENT INFORMATIO	N IPLEASE PRINT/CHECK				
	Gingererest, Inc.					
	Andrew Maizer		NTACT PERSON	Spiars Engli David Bond	ucting	
ADDRESS	P.O. Box 2437		ADDRESS	765 Custer	Rd	
				Ste. 100		
CITY, STATE & ZIP	Smyrna, GA 300	0 <b>81</b> CI	TY, STATE & ZIP	Plano, TX 7	5075	
PHONE	770-431-7600		PHONE	972-422-0	770	
E-MAIL	amalzer@racetr	ac.com	E-MAIL	david.bond@s	piarsengine	eving.co.
NOTARY VERIFICA BEFORE ME, THE UNDERSI STATED THE INFORMATION	ATION [REQUIRED] GNED AUTHORITY, ON THIS DAY PE I ON THIS APPLICATION TO BE TRUE	RSONALLY APPEARED	Max E. Mg	0 -	NER] THE UNDERS	•
INFORMATION CONTAINED	M THE OWNER FOR THE PURPOSE OF , TO COVER THE COST OF , 2021. BY SIGNING THIS MITHIN THIS APPLICATION TO THE F WITH THIS APPLICATION, IF SUCH RE	S APPLICATION, HAS BE S APPLICATION, I AGREE TH PUBLIC. THE CITY IS ALS EPRODUCTION IS ASSOCIAT	EN PAID TO THE CITY AT THE CITY OF RO	OF ROCKWALL ON THIS THE CKWALL (I.E. "CITY") IS AUTHOR DEBUITTED TO CONDUCT OF	RIZED AND PERMITTEL	DAY OF
GIVEN UNDER MY HAND AN	D SEAL OF OFFICE ON THIS THE	DAY OF		COMMISS	ON C	
	OWNER'S SIGNATURE	MALT?	July	Nora	EXP	
NOTARY PUBLIC IN AND FO	R THE STATE OF TEXAS	t.M.	1.10	BY COMMISSION EX	PIRES 2 26	2022
DEVELOPMENT	APPLICATION . CITY OF ROCKWAL	I « 385 SOUTH GOLIAD S	TREE ROCKWAII	, 1x 7507 90 (22301202	15 10 (042) 771-77	127
				THE GEO	inn	

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## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Mr. David Gonzales City of Rockwall – Planning & Zoning 385 S. Goliad Street Rockwall, Texas 75087

01/05/2021

Dear Mr. Gonzales:

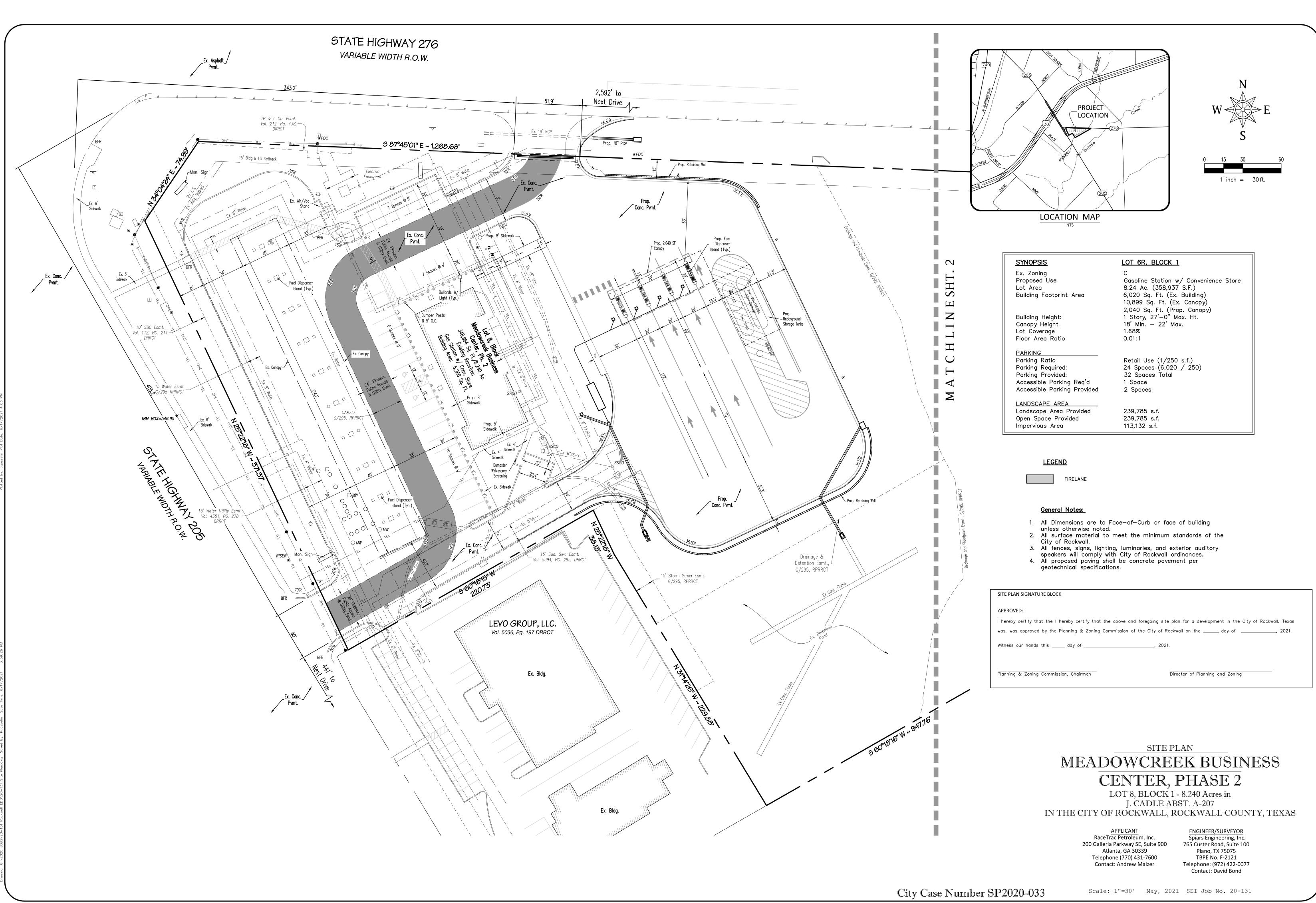
Please accept this letter of request for a waiver to the street tree requirement for the Amended Site Plan associated with the RaceTrac convenience store located at 2301 S. Goliad Street. The waiver seeks relief from the requirement for planting 2 canopy and 4 ornamental trees along the **entire** frontage of SH 276. The prescribed 15' buffer and associated plantings are being provided on the existing site and will be added within the area of work, but we do not feel that it is in the best interest of the project or the City to remove existing vegetation from the natural treescape that exists moving east from the area of work.

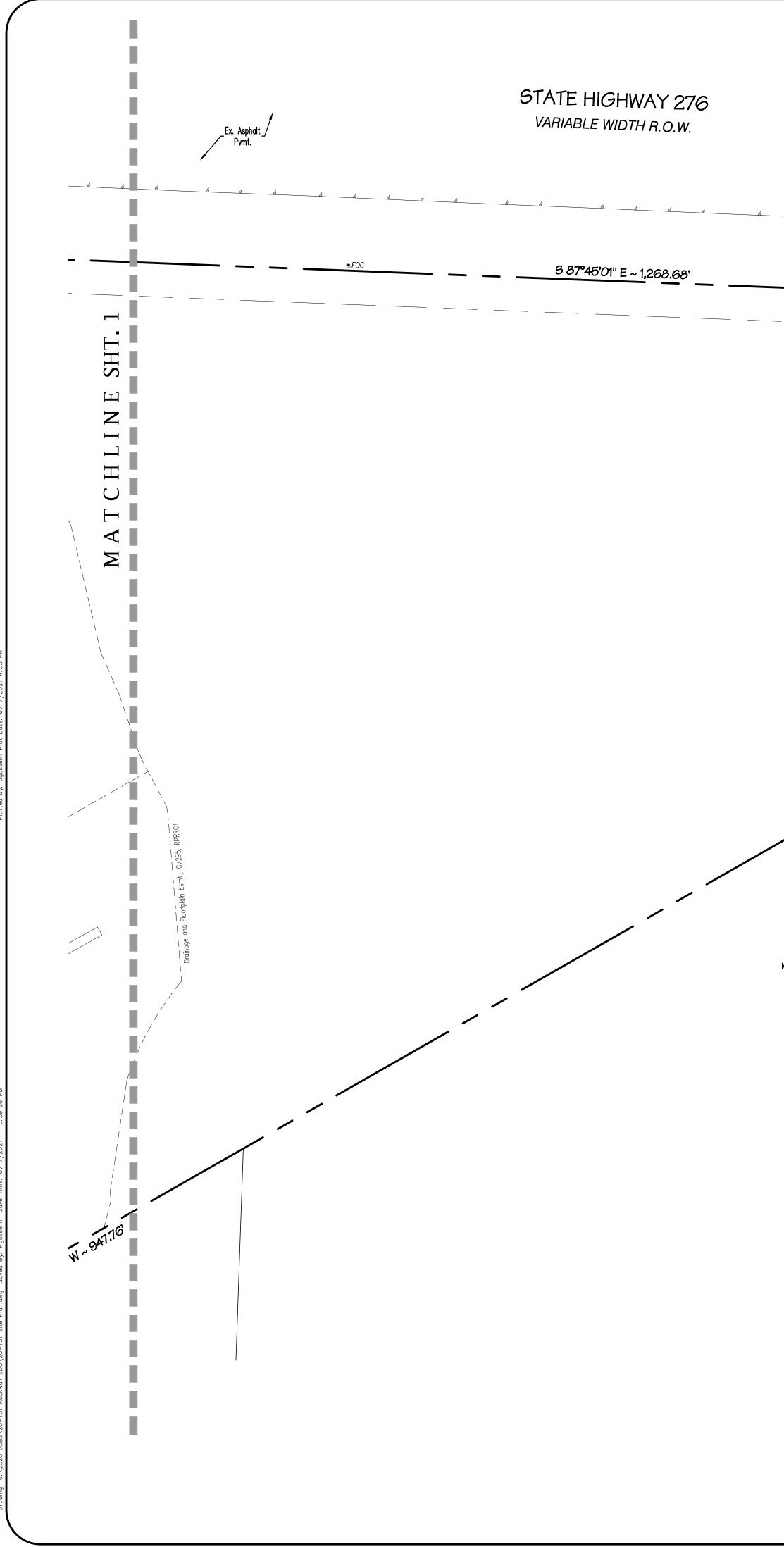
In consideration of this request, please note that the proposed site is 67% vegetated. Netting out the floodplain, we still are providing 24% of Landscape Area and maintaining all but one of the existing 135 protected trees, which total over 1,000 caliper inches remaining. Additionally, we have taken staff's comment and planted additional trees along the west side of the proposed fueling canopy to add additional screening from the roadway. We feel that these compensatory measures, along with our existing and recently updated masonry building, provide a more than adequate positive impact on the project and ask your support of this variance request.

Regards,

Andrew Mulys Andrew Malzer

Engineering Project Manager RaceTrac Petroleum, Inc.



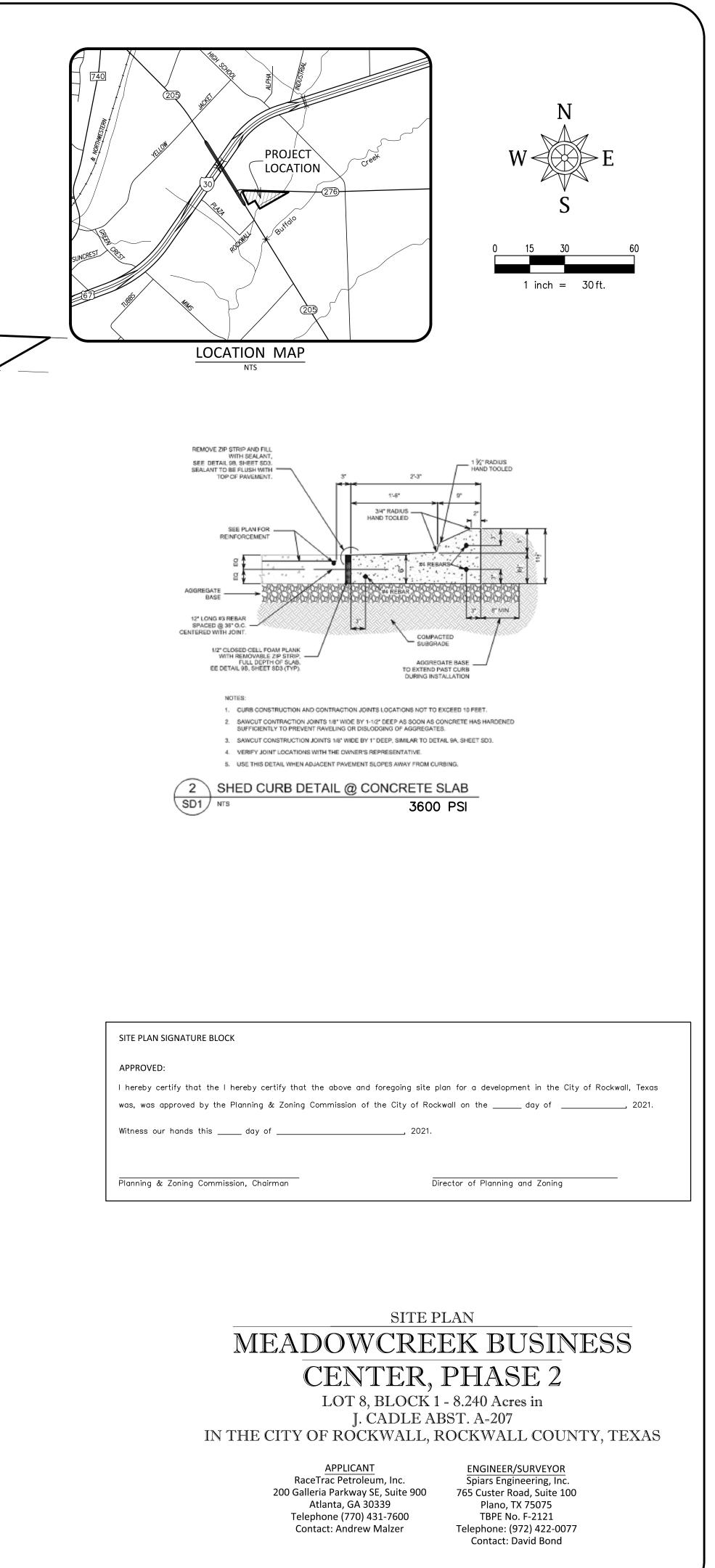


5 60°18'16''W~ 947.70

LOT 1, BLOCK 1 MEADOWCREEK BUSINESS CENTER PHASE 1 Vol. F, Pg. 329, PRRCT

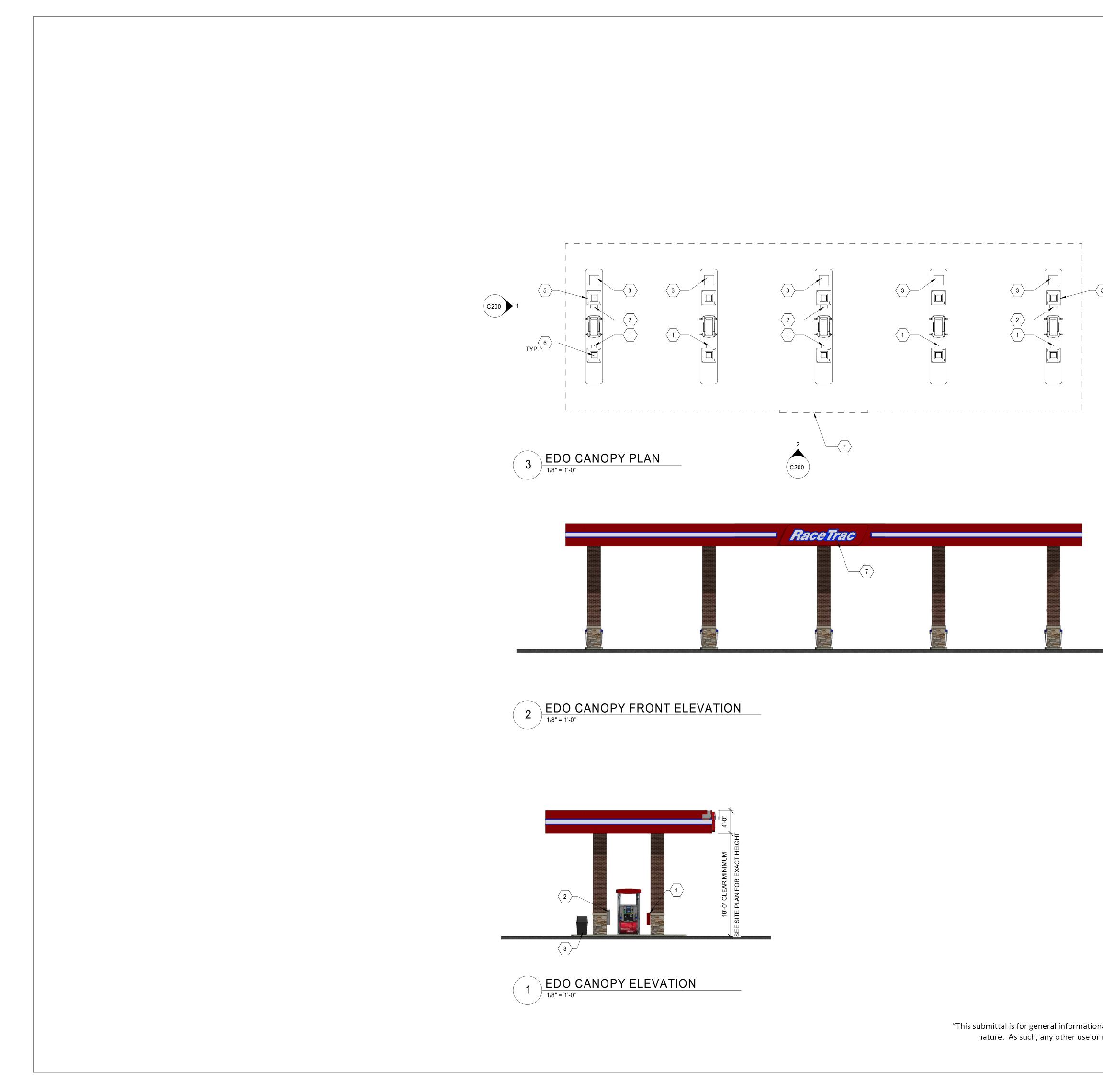
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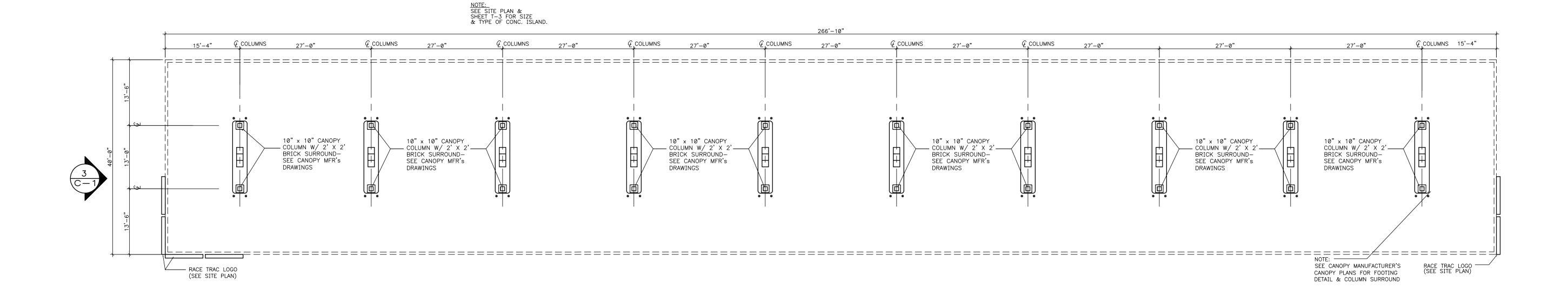
City Case Number SP2020-033

Scale: 1"=30' February, 2020 SEI Job No. 20-131

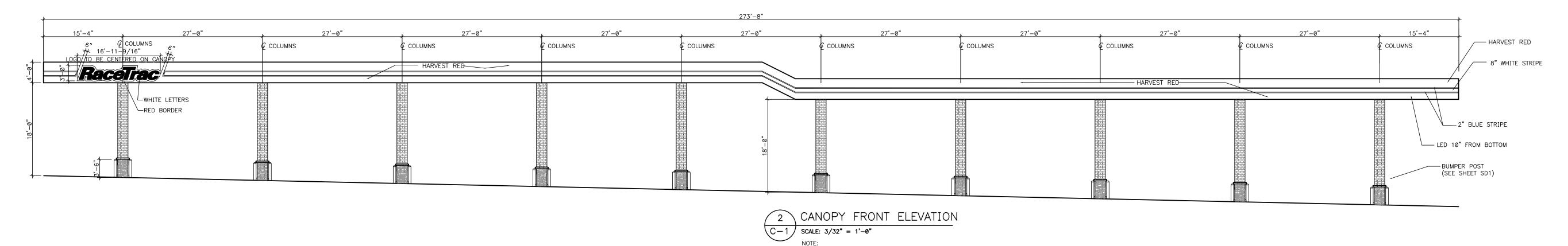


## "This submittal is for general informational purposes only and is preliminary in nature. As such, any other use or reliance is strictly prohibited."

					<text><text><section-header><section-header><section-header></section-header></section-header></section-header></text></text>
					GPD Group, Professional Corpora Texas Registration No. 19819 ISSUE/REVISION RECORD DATE DESCRIPTION 12/08/20 PRELIM. PACKAGE
1 OF EXT 2 TOV BLA 3 TRA 4 NOT 5 WC	COLUMI TINGUIS WEL DIS ACK. ASH CAN T USED. DODFORI	N CO HER. PENS J. REI	VER. PROVIDE ON SER "DCI MARKETII FER TO SITE PLAN	ED COVER, ON BACK SIDE E 80-B RATED NG" ITEM NUMBER SBWC S. DWA YARD HYDRANT	RACETRAC PETROLEUM, INC. 200 GALLERIA PARKWAY SOUTHEAST SUITE 900 ATLANTA, GEORGIA 30339 (770) 431-7600 PROJECT NAME ROCKWALL -
<u>7</u>  RA(	CETRAC	LOG	<u>O; REFER TO SIGN</u>	PLAN	EDO ADDITION Rockwall TX 75032 2301 South Goliad Street
					RACETRAC STORE NUMBER #0574 PROTOTYPE SERIES TBSL REMODEL PLAN MODIFICATION NOTICE SPB NO. DATE STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/ REVISION RECORD COLUMN ABOVE
				ERIAL SCHEDULE	LISTS ANY REVISIONS OR SPB INCORPORATED IN This set after the original release. Contact racetrac engineering and Construction for any subsequent
<b>ID</b> BRICK	MAN	UF.	MATERIAL	COMMENTS	BULLETINS NOT INCORPORATED HEREIN.
BR-1 FASCIA	MATCH		BRICK	MORTAR COLOR TO MATCH EXISTING	GORN S. SALONIA
BLUE RED	-			2" BLUE STRIPE REFER TO SPECIFICATION CHART ON SHEET C100	19919
WHITE PAINT	-			8" WHITE STRIPE	Que Caleril, XIX
EP-1	SHERW		EXTERIOR PAINT TO SW #7020 "BLACK FOX"		12/08/20
STACKE SS-1	ED STON MATCH EXISTIN		STACKED STONE	MORTAR COLOR TO MATCH EXISTING	PROJECT NUMBER 2020127.18
STONE SB-1	BAND MATCH		STONE BAND	MORTAR COLOR TO	SHEET TITLE
STAN	EXISTIN	NG CAI	NOPY FASCIA	MATCH EXISTING	- EDO FUEL CANOPY Plans and
COLOR	2	CAN	ЮРҮ	STANDARD COLOR	ELEVATIONS
CALLO		LAN	E CANOPIES	SPECIFICATION           ETT TAN FASCIA	
"TAN"		-	EE CANOPIES	ETT TAN FASCIA PUEBLO TAN FASCIA	SHEET NUMBER
			E CANOPIES	TRD RED FASCIA	
		McG	EE CANOPIES	TRD RED FASCIA -	╡【"/┨┨┨
"RED"		_	EE CANOPIES	TRD RED FASCIA - PROGRAM RED PROGRAM RED FASCIA	<b>C200</b>



、C−1/



SEE SITE PLAN FOR THE NUMBER OF LOGO'S TO BE PLACED ON THE CANOPY

GENERAL NOTE:

- 1. ALL CANOPY LIGHTING CIRCUITS SHALL BE #10 CU-AWG. SEE CANOPY MANUFACTURER'S DRAWINGS FOR CANOPY LIGHTS AND CIRCUITS.
- AREA WITHIN 18" OF DISPENSER AND UP TO 18" ABOVE DISPENSER IS CLASS I, DIVISION 2.
- EXTINGUISHERS SHALL BE PROVIDED AND SO LOCATED THAT NO PUMP DISPENSER OF FILL-PIPE OPENING SHALL BE A GREATER DISTANCE THAN 75 FT. FROM SUCH 3. EXTINGUISHER.
- NO SMOKING SIGNS POSTED IN ACCORDANCE WITH SECTION 907.10 SFPC 1997 TAS 4 STANDARDS 4.2.6 AND 4.2.7
- COLUMN TREATMENTS (IE; BRICK OR STONE) SHALL REST ON TOP OF ISLAND. UNDER NO CIRCUMSTANCES ARE THEY TO EXTEND DOWN TO COLUMN FOOTINGS. SEE CANOPY MANUFACTURERS DETAILS FOR COLUMN WRAPS.

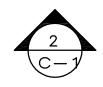
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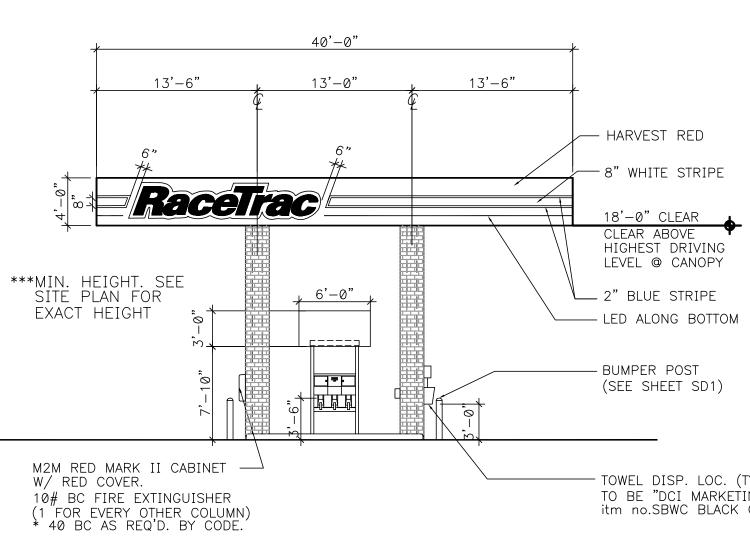


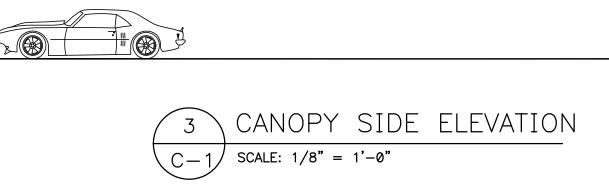
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CANOPY PLAN SCALE: 3/32" = 1'-0"

NOTE: REFER TO CANOPY MANUFACTURER'S DRAWINGS FOR ALL STRUCTURAL DETAILS AND COLUMN SURROUND TYPICAL LENGTH FOR 12 MPD CANOPY REFER TO SITE PLAN FOR EXACT LAYOUT

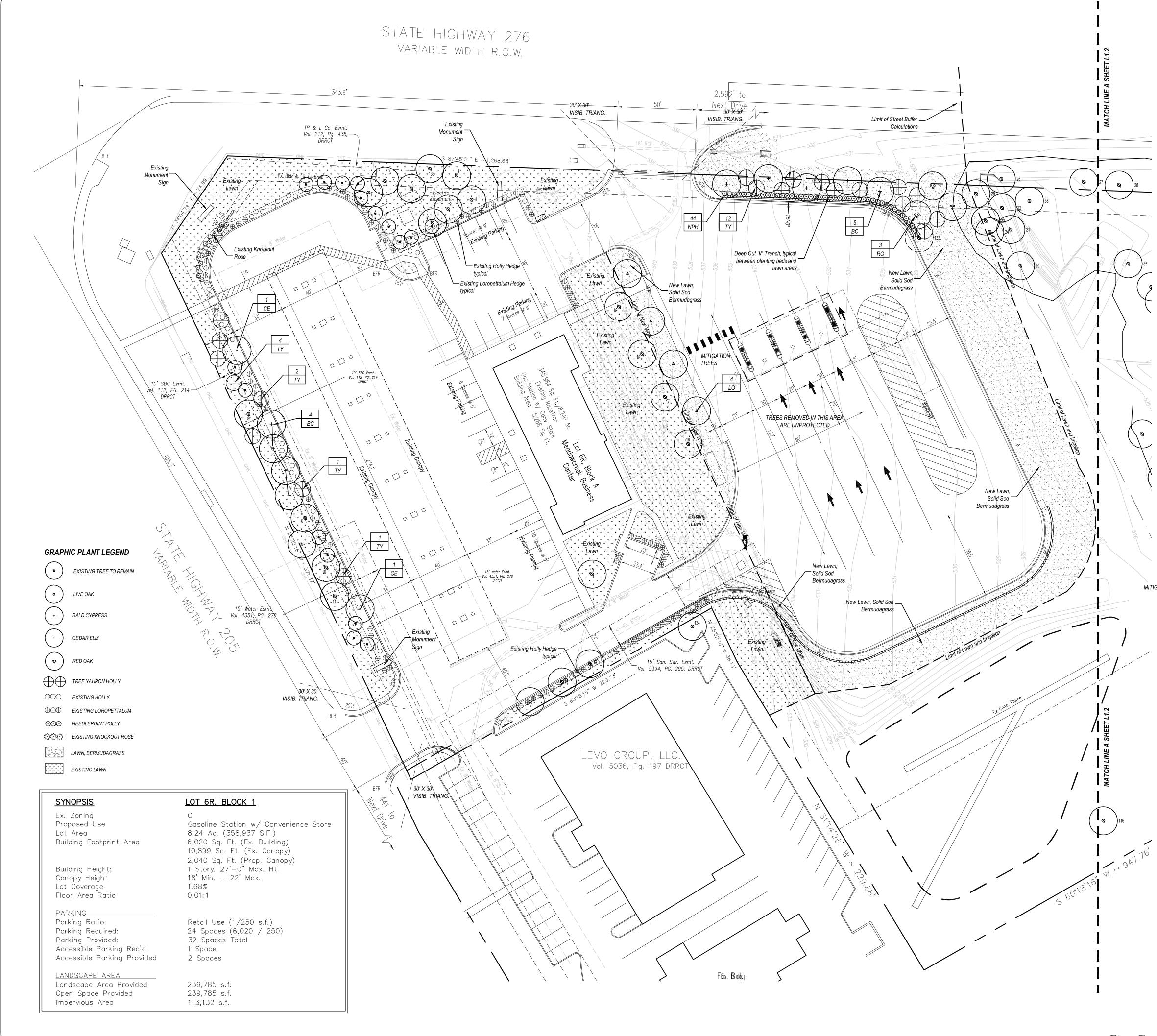








TOWEL DISP. LOC. (TYP.)
 TO BE "DCI MARKETING"
 itm no.SBWC BLACK OR EQUAL.



## LANDSCAPE NOTES

- 1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- 2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- 3. Contractor is responsible for obtaining all required landscape and irrigation permits.
- 4. Contractor to provide a minimum 2% slope away from all structures.
- 5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- 6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- 7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

## MAINTENANCE NOTES

- 1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- 2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- 3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- 4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year
- 5. All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

### GENERAL LAWN NOTES

- 1. Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide 2. uniform rounding at top and bottom of slopes and other breaks in grade Correct irregularities and areas where water may stand.
- 3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager
- Imported topsoil shall be natural, friable soil from the region, known as bottom 4. and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and 5. finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

TYPE COMMON NAME

Bald Cypress

Cedar Elm

RO Red Oak 'Shumard'

EXISTING TREE Ø TO REMAIN: REFER TO SHEETS L0.1 AND L0.2

PLANT LIST

CE

					Crest
SUMMER			NTS	2	
	DSCAPE TABUL EQUIREMENTS (site				
Req	uirements: 15% site a	rea to be la	andscaped		
	uired 41 s.f. (15%)	Provideo 51,948 s	1 s.f. (48%)		
	YARD REQUIREMEN uirements: 50% of req located in fr	uired land	scape must be		
	uired 1 s.f. (50%)	Provide 8,041 s			
	T REQUIREMENTS: uirements: (3) canopy	y trees and	(4) accent trees pe	er 100 I.f	of strreet frontage
Rec (11	205 (371.37 l.f.) quired ) canopy trees, 4" cal. ) accent trees		Provided 4) existing trees 7) new trees, 4" ca 7) existing accent t 8) new accent trees	rees	
Red (16	276 (541.66 l.f.) quired ) canopy trees, 4" cal. ) accent trees		Provided 8) existing trees 8) new trees, 4" ca 10) existing accent 12) new accent tree	t trees	
	NG LOT (32 spaces) quirements: 5% or 200 (1) tre	) s.f. of lan	dscape in the interi for parking lots exc		
	quired trees, 3" cal. s.f.	Provide (2) trees 400 s.f.			
WAT	TREES TO BE P TER, SEWER AN TREES AND SH	D STOR	M SEWER LINI	ES	All irrigation to m the requirements of the UDC.
	BACK 4' FROM			3	
SIZE	REMARKS				
4" cal.	B&B, 15' ht. min., 4'				
4" cal. 4" cal	B&B, 15' ht. min., 4'				
4" cal. 6' ht.	B&B, 15' ht. min., 4' B&B, 3-5 cane, no c				
4" cal.	B&B, 15' ht. min., 4'	-	in		

MITIGATION TREES

4	20	TY	Tree Yaupon Holly	llex vomitoria	6' ht.	B&B, 3-5 cane, no cross caning
s-	4	LO	Live Oak	Quercus virginiana	4" cal.	B&B, 15' ht. min., 4'-5' spread min.
	SHRUBS					
	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	44	NPH	Needlepoint Holly	llex cornuta 'Needlepoint'	30" ht.	container grown, full plant, 36" o.c.
	GROUND	COVERS				
	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

BOTANICAL NAME

Taxodium distichum

Ulmus crassifolia

Quercus shumardii

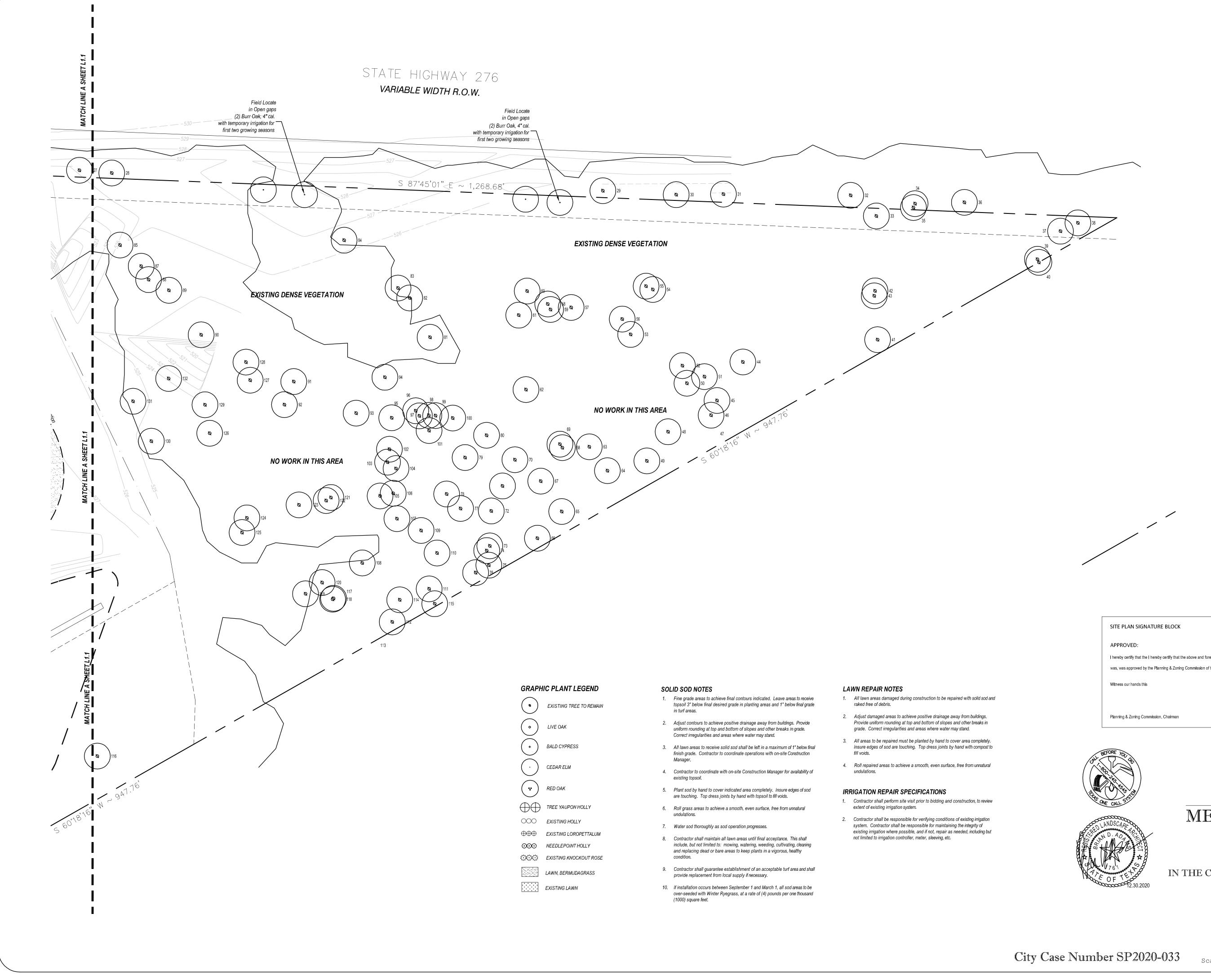
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_ , 2021 Witness our hands this Director of Planning and Zoning Planning & Zoning Commission, Chairman 01 LANDSCAPE PLAN SCALE: 1" = 30'-0" smr landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com MEADOWCREEK BUSINESS CENTER LOT 6R, BLOCK 1 - 8.240 Acres in J. CADLE ABST. A-207 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS <u>APPLICANT</u> RaceTrac Petroleum, Inc. ENGINEER/SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 3225 Cumberland Blvd., Suite 100 Plano, TX 75075 Atlanta, GA. 30339 Telephone (770) 431-7600 TBPE No. F-2121 L1.1 Contact: Andrew Malzer Telephone: (972) 422-0077

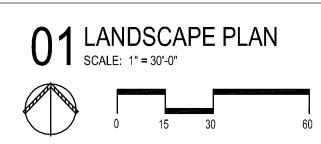
Contact: David Bond

June 18, 2021

Scale: 1"=30' December 30, 2020 SEI Job No. 20-131



I hereby certify that the I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2021.



Director of Planning and Zoning

smr landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com

## MEADOWCREEK BUSINESS

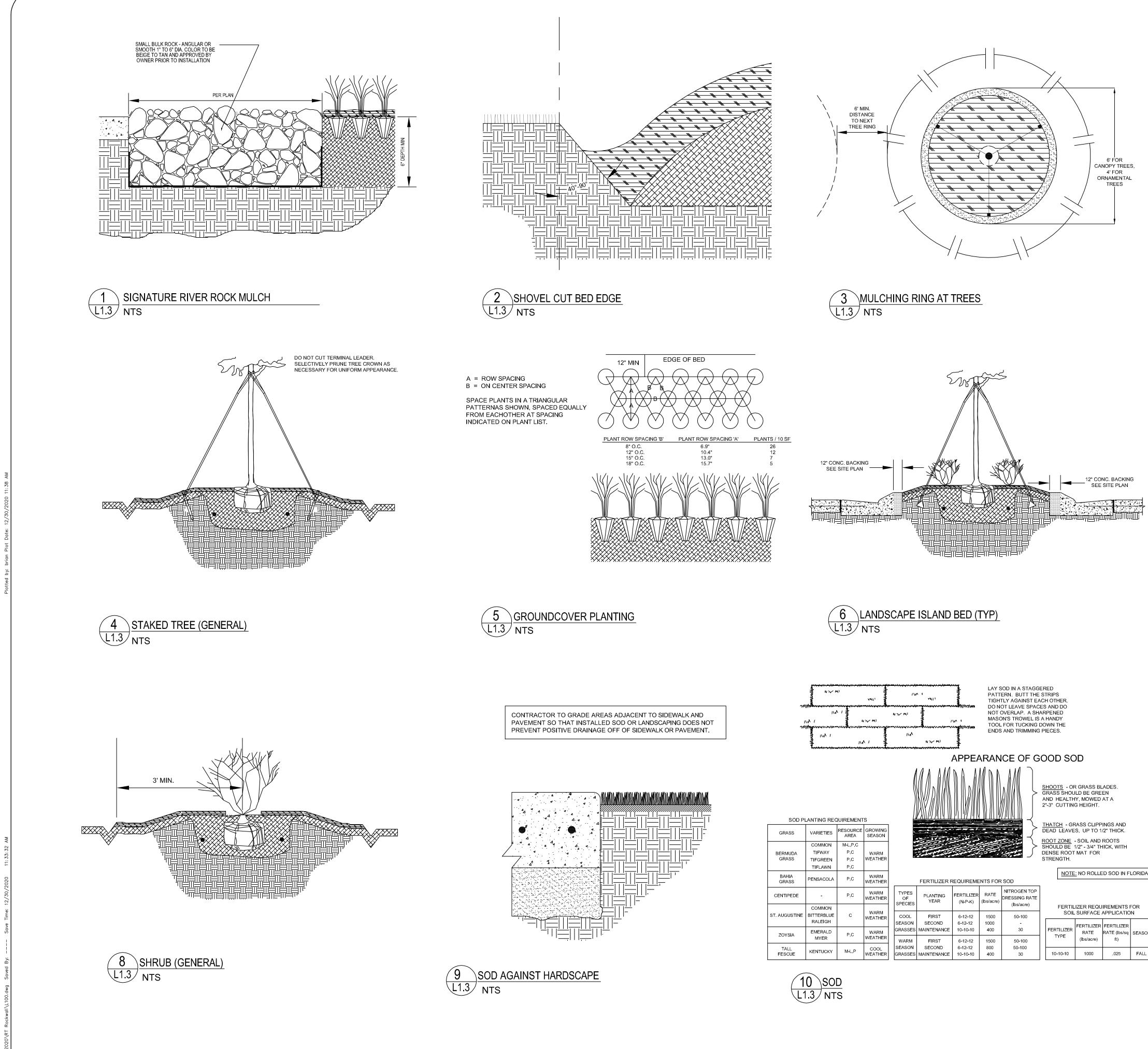
CENTER LOT 6R, BLOCK 1 - 8.240 Acres in J. CADLE ABST. A-207 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

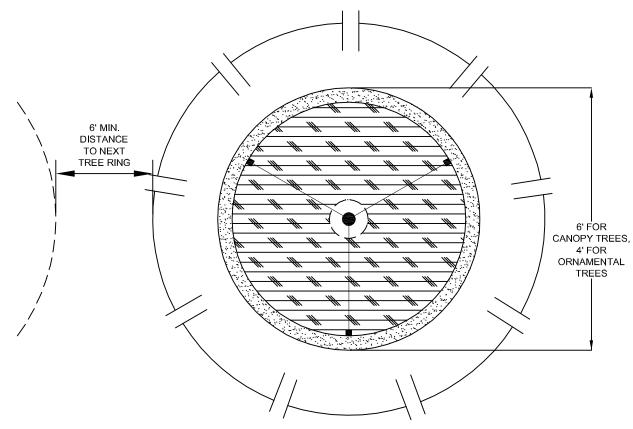
> APPLICANT RaceTrac Petroleum, Inc. 3225 Cumberland Blvd., Suite 100 Atlanta, GA. 30339 Telephone (770) 431-7600 Contact: Andrew Malzer

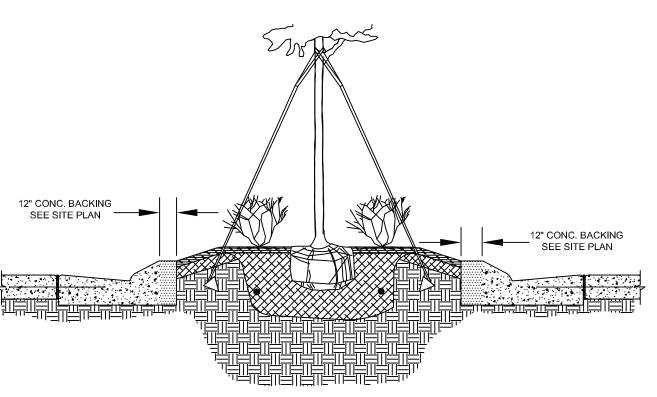
ENGINEER/SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, TX 75075 TBPE No. F-2121 Telephone: (972) 422-0077 Contact: David Bond

Scale: 1"=30' December 30, 2020 SEI Job No. 20-131

L1.2







SOD PLANTING REQUIREMENTS							
GRASS	VARIETIES	RESOURCE AREA	GROWING SEASON				
	COMMON	M-L,P,C					
BERMUDA	TIFWAY	P,C	WARM				
GRASS	TIFGREEN	P,C	WEATHER				
	TIFLAWN	P,C					
BAHIA GRASS	PENSACOLA	P,C	WARM WEATHER				
CENTIPEDE	-	P,C	WARM WEATHER				
ST. AUGUSTINE	T. AUGUSTINE COMMON BITTERBLUE RALEIGH		WARM WEATHER				
ZOYSIA	EMERALD MYER	P,C	WARM WEATHER				
TALL FESCUE	KENTUCKY	M-L,P	COOL WEATHER				

:		FERTILIZER F	REQUIREME	NTS FOR	SOD
:	TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (lbs/acre)	NITROGEN TOP DRESSING RATE (lbs/acre)
!	COOL SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 - 30
!	WARM SEASON GRASSES	FIRST SECOND MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 50-100 30
-					

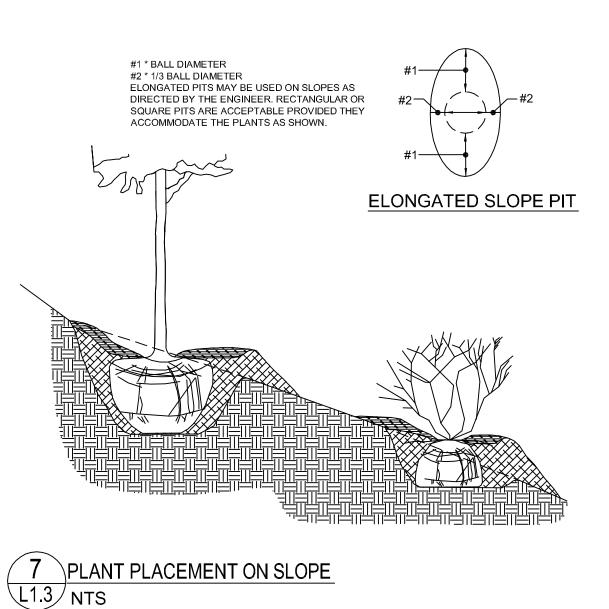
<u>THATCH</u> - GRASS CLIPPINGS AND DEAD LEAVES, UP TO 1/2" THICK.

NOTE: NO ROLLED SOD IN FLORIDA

	 IREMENTS I APPLICATIC	
FERTILIZER TYPE	FERTILIZER RATE (Ibs/sq ft)	

AGENDA ITEMS: LANDSCAPE PRE-CON

- SCHEDULE 1. a. ARE THE CONSTRUCTION PROJECT MANAGER, ENGINEERING PROJECT MANAGER, LANDSCAPE CONTRACTOR PRESENT?
- b. HAS A START DATE BEEN TARGETED AND TIME FRAMES LAID OUT? c. HAVE THE OTHER REQUIRED ON-SITE MEETINGS BEEN DISCUSSED?
- d. IS EVERYONE ON THE SAME PAGE MOVING FORWARD?
- 2. TOP SOIL
- a. WHO IS BRINGING IT TO THE SITE?
- b. WHEN SHOULD IT BE BROUGHT TO THE SITE? c. WHERE WILL IT BE STOCKPILED?
- 3. PLAN REVIEW
- a. HAS IT BEEN STRESSED THAT WE PREFER ROLLED SOD OVER SQUARE PALLETS WHERE APPLICABLE?
- b. ARE THE IRRIGATION SLEEVES IN THEIR PROPER LOCATION?
- c. WILL STRUCTURES / UTILITIES PREVENT THE IRRIGATION MAINLINE FROM BEING THREE (3) FEET OFF OF CURB?
- d. IS EVERYONE CLEAR ON HOW THE IRRIGATION TIES IN AND OUT OF THE BUILDING?
- 4. SUBMITTALS / APPROVALS
- a. IS THE LANDSCAPE CONTRACTOR CLEAR ON WHAT ALL NEEDS TO BE SELECTED (TAGGED) AND SEEN BEFORE SHOWING UP ON SITE? a.1. PICTURES OF SHRUBS, SOD, INDIVIDUAL TREES, ROCK MULCH, AND WOOD MULCH.
- 5. PRICE SIGN LOCATION
- a. HAS THE SIGN SPOTTING BEEN DONE AND IS THE CURRENT LOCATION CONFIRMED? b. IF THE LOCATION MAY CHANGE, HAS IT BEEN DISCUSSED HOW EVERYONE WILL BE NOTIFIED? c. DOES ANY LANDSCAPING AFFECT THE VISIBILITY OF THE SIGN?
- 6. MISCELLANEOUS
- a. HAVE CIRCUMSTANCES UNIQUE TO THE SITE BEEN DISCUSSED? b. DOES ANYONE AT THE MEETING HAVE ANY QUESTIONS OR CONCERNS ABOUT THEIR RESPONSIBILITIES MOVING FORWARD WITH THE PROJECT?



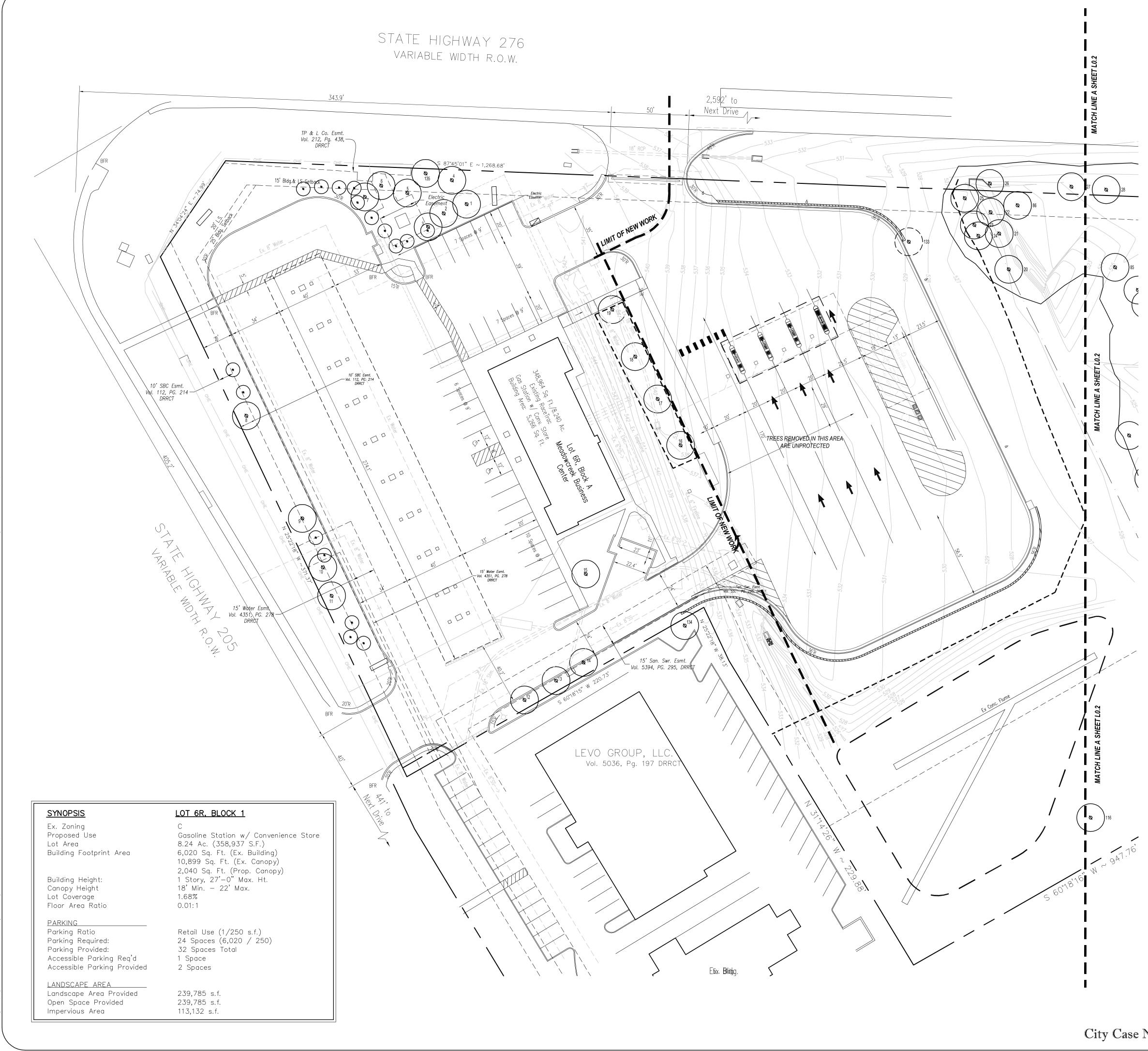
SITE PLAN SIGNATURE BLOCK	
APPROVED:	
I hereby certify that the I hereby certify that th	e above and foregoing site plan for a development in the City of Rockwall, Texas
was, was approved by the Planning & Zoning	Commission of the City of Rockwall on the day of, 2021.
Witness our hands this	
Planning & Zoning Commission, Chairman	Director of Planning and Zoning
smr	
landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083	MEADOWCREEK BUSINESS
Fax 214.871.0545 Email smr@smr-la.com	CENTER
-courter	LOT 6R, BLOCK 1 - 8.240 Acres in
ANDSCAPE	J. CADLE ABST. A-207
D. AO TO	IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TE
	APPLICANT ENGINEER/SURVEYOR
VIT 61 SA	RaceTrac Petroleum, Inc. Spiars Engineering, Inc.
W 7 TET	3225 Cumberland Blvd., Suite 100 765 Custer Road, Suite 100 Atlanta, GA. 30339 Plano, TX 75075

City Case Number SP2020-033

3225 Cumberland Blvd., Suite 100 Atlanta, GA. 30339 Telephone (770) 431-7600 Contact: Andrew Malzer

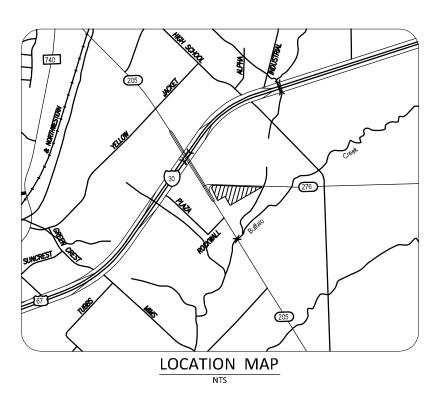
765 Custer Road, Suite 100 Plano, TX 75075 TBPE No. F-2121 Telephone: (972) 422-0077 Contact: David Bond

L1.3

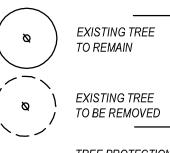


## EXISTING TREE NOTES

- 1. Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- 2. If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- 3. No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the
- 5. Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- 6. Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- 7. Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- 8. Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- 9. Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- 10. Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- 11. Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- 12. Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- 13. Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.



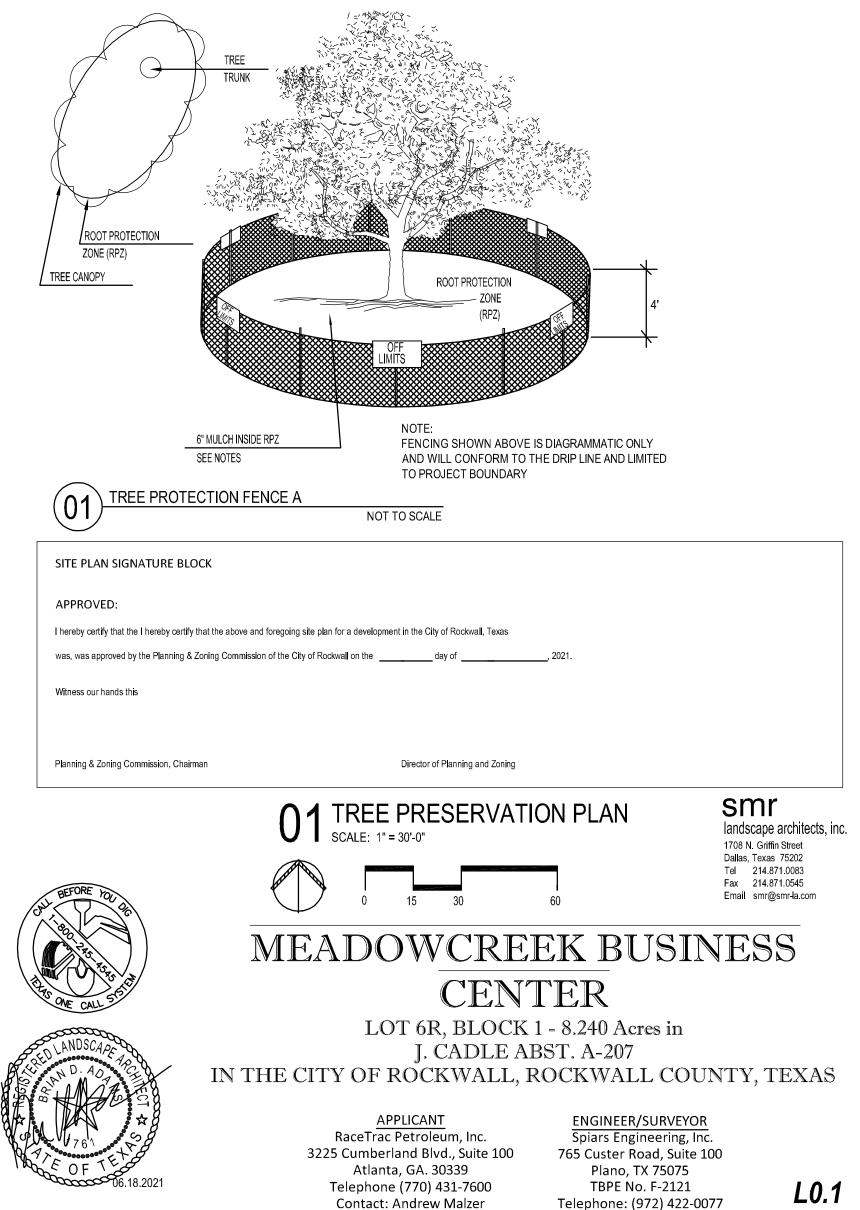
## EXISTING TREE LEGEND



REFER TO 01/L0.1

REFER TO SHEET L0.2 FOR TREE SPECIES AND CHART

TREE PROTECTION FENCING 



City Case Number SP2020-033

June 18, 2021 Scale: 1"=30' December 30, 2020 SEI Job No. 20-131

Contact: David Bond



	Racetrac Tree Survey Tabular Data Rockwall, Texas										
			RO	ckwaii, i	exas						
	Diameter at		Canopy			Dead					
Tree	Breast Height		Radius	Multiple	General	Branches		Fence in	REMOVE /		
Number	(Inches)	Species	(Feet)	Trunks	Condition	(%)	Lean	Trunk	REMAIN		
44	16.9	sugarberry	18	No	Healthy	0	61-90	No	REMAIN		
45	14.8	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
46	11.1	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
47	16.8	sugarberry	18	Yes	Healthy	0	61-90	No	REMAIN		
48	13.9	Osage-orange	12	Yes	Healthy	0	61-90	No	REMAIN		
49	24.9	Osage-orange	20	Yes	Healthy	0	61-90	No	REMAIN		
50	16.0	sugarberry	15	Yes	Healthy	0	61-90	No	REMAIN		
51	18.2	sugarberry	18	Yes	Healthy	0	61-90	No	REMAIN		
52	10.5	Hercules-club	10	Yes	Healthy	0	61-90	No	REMAIN		
53	4.6	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
54	5.6	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
55	5.3	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
56	5.2	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
57	5.0	cedar elm	5	No	Healthy	0	61-90	No	REMAIN		
58	6.5	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
59	4.0	cedar elm	5	No	Healthy	0	61-90	No	REMAIN		
60	4.7	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
61	4.0	cedar elm	5	No	Healthy	0	61-90	No	REMAIN		
62	18.5	sugarberry	18	Yes	Healthy	0	61-90	Yes	REMAIN		
63	11.7	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
64	11.6	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
65	11.3	cedar elm	12	No	Healthy	0	61-90	No	REMAIN		
66	11.3	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
67	11.9	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
68	12.3	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
69	30.2	sugarberry	25	Yes	Healthy	0	61-90	No	REMAIN		
70	11.4	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
71	15.7	green ash	18	Yes	Healthy	0	61-90	No	REMAIN		
72	12.0	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
73	11.3	sugarberry	12	No	Healthy	0	61-90	No	REMAIN		
74	12.4	green ash	15	No	Healthy	0	61-90	No	REMAIN		
75	11.2	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
76	11.8	sugarberry	18	No	Healthy	0	61-90	No	REMAIN		
77	12.2	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
78	16.4	sugarberry	20	No	Healthy	0	61-90	No	REMAIN		
79	11.9	sugarberry	15	No	Healthy	0	61-90	No	REMAIN		
80	12.5	sugarberry	18	No	Healthy	0	61-90	No	REMAIN		
81	21.0	cedar elm	20	No	Healthy	0	61-90	No	REMAIN		
82	8.9	Hercules-club	10	No	Healthy	0	61-90	No	REMAIN		
83	6.4	cedar elm	6	No	Healthy	0	61-90	No	REMAIN		
84	8.8	cedar elm	10	No	Healthy	0	61-90	No	REMAIN		
85	15.1	sugarberry	20	No	Healthy	0	61-90	No	REMAIN		
96	444	0	4.5	14	Linelihur	0	04 00	Ma	DEMAIN		

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	Dead Branches (%)	Lean	Fence in Trunk	REMOVE REMAIN
87	8.8	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
88	18.0	black willow	15	Yes	Unhealthy	40	61-90	No	REMAIN
89	8.7	green ash	10	No	Healthy	0	61-90	No	REMAIN
90	5.4	Hercules-club	6	No	Healthy	0	61-90	No	REMAIN
91	12.3	cedar elm	15	No	Healthy	0	61-90	No	REMAIN
92	11.3	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
93	11.4	sugarberry	12	No	Healthy	0	61-90	No	REMAIN
94	12.4	sugarberry	18	No	Healthy	0	61-90	No	REMAIN
95	11.8	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
96	5.5	cedar elm	6	No	Healthy	0	61-90	No	REMAIN
97	9.2	cedar elm	10	Yes	Healthy	0	61-90	No	REMAIN
98	9.5	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
99	9.0	cedar elm	10	No	Healthy	0	61-90	No	REMAIN
100	5.0	cedar elm	8	No	Healthy	0	61-90	No	REMAIN
101	5.3	cedar elm	6	No	Healthy	0	61-90	No	REMAIN
102	8.2	cedar elm	10	No	Healthy	0	61-90	No	REMAIN
103	9.2	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
104	7.8	cedar elm	8	No	Healthy	0	61-90	No	REMAIN
105	10.2	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
106	8.2	cedar elm	8	No	Healthy	0	61-90	No	REMAIN
107	14.3	sugarberry	18	No	Healthy	0	61-90	No	REMAIN
108	12.0	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
109	11.2	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
110	10.0	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
111	15.9	green ash	18	No	Healthy	0	61-90	No	REMAIN
112	12.2	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
113	11.0	eastern red cedar	15	No	Healthy	0	61-90	No	REMAIN
114	4.0	cedar elm	6	No	Healthy	0	61-90	No	REMAIN
115	12.1	green ash	15	No	Healthy	0	61-90	No	REMAIN
116	4.0	bald cypress	4	No	Healthy	0	61-90	No	REMAIN
117	5.1	persimmon	5	No	Healthy	0	61-90	No	REMAIN
118	6.1	persimmon	6	No	Healthy	0	61-90	No	REMAIN
119	4.5	cedar elm	7	No	Healthy	0	61-90	No	REMAIN
120	12.5	eastern red cedar	12	Yes	Healthy	0	61-90	No	REMAIN
121	4.2	persimmon	5	No	Healthy	0	61-90	No	REMAIN
122	12.0	eastern red cedar	12	No	Healthy	0	61-90	No	REMAIN
123	10.9	cedar elm	12	No	Healthy	0	61-90	No	REMAIN
124	6.5	cedar elm	8	No	Healthy	0	61-90	No	REMAIN
125	18.0	cedar elm	20	Yes	Healthy	0	61-90	No	REMAIN
126	9.3	cedar elm	10	No	Healthy	0	61-90	No	REMAIN
127	5.6	persimmon	8	No	Healthy	0	61-90	No	REMAIN
128	17.4	green ash	20	No	Healthy	0	61-90	No	REMAIN
129	10.0	cedar elm	12	No	Healthy	0	61-90	No	REMAIN

Tree Number	Diameter at Breast Height (Inches)	Species	Canopy Radius (Feet)	Multiple Trunks	General Condition	Dead Branches (%)	Lean	Fence in Trunk	REMOVE / REMAIN
130	13.5	cedar elm	15	No	Healthy	0	61-90	No	REMAIN
131	12.1	cedar elm	15	No	Healthy	0	61-90	No	REMAIN
132	12.6	sugarberry	15	No	Healthy	0	61-90	No	REMAIN
133	13.6	eastern red cedar	12	No	Healthy	0	61-90	No	REMOVE -
134	8.4	live oak	8	No	Healthy	0	61-90	No	REMAIN
135	6.4	cedar elm	6	No	Healthy	0	61-90	No	REMAIN



APPROVED:

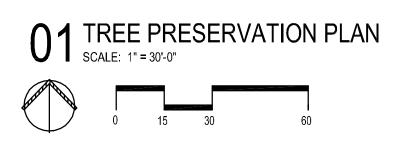
I hereby certify that the I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_\_ day of \_\_\_\_\_

Witness our hands this

Planning & Zoning Commission, Chairman

Director of Planning and Zoning







## MEADOWCREEK BUSINESS

CENTER LOT 6R, BLOCK 1 - 8.240 Acres in J. CADLE ABST. A-207 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

> <u>APPLICANT</u> RaceTrac Petroleum, Inc. 3225 Cumberland Blvd., Suite 100 Atlanta, GA. 30339

Telephone (770) 431-7600

Contact: Andrew Malzer

16" MITIGATION PROVIDED. Refer to Sheet L1.1

City Case Number SP2020-033

Scale: 1"=30' December 30, 2020 SEI Job No. 20-131

ENGINEER/SURVEYOR Spiars Engineering, Inc. 765 Custer Road, Suite 100

Plano, TX 75075 TBPE No. F-2121

Telephone: (972) 422-0077

Contact: David Bond

L0.2

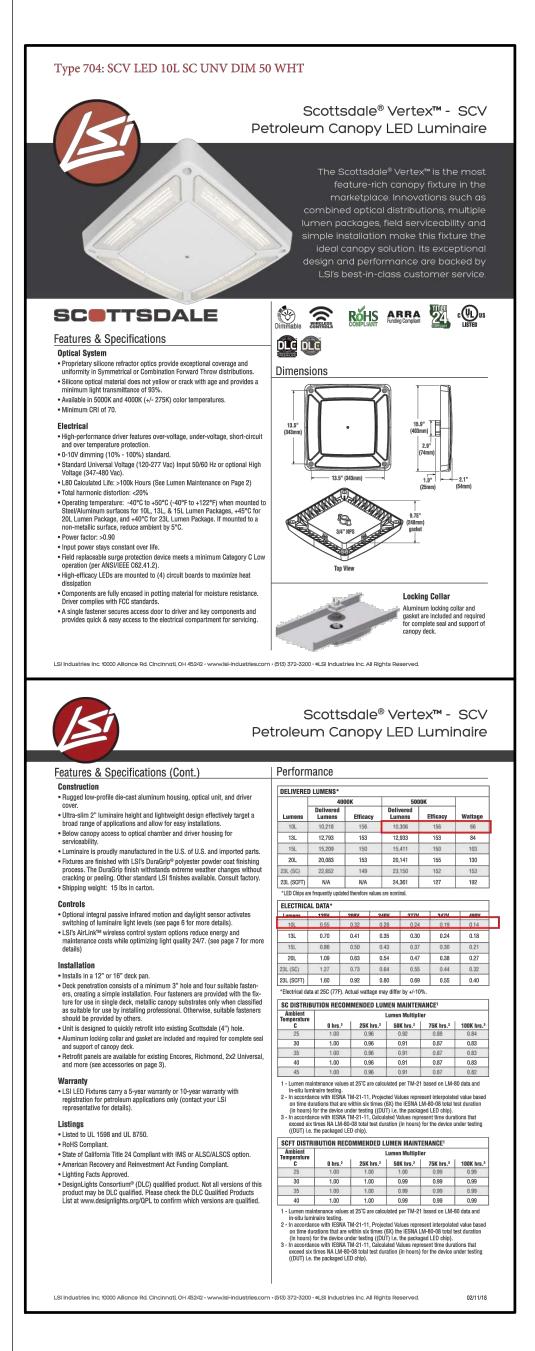
LUMINAIRE SCHEDULE	LUMINAIRE SCHEDULE (CONT.)	GENERAL NOTES	STATISTICS	<b>RECOTTEC.</b> COPYRIGHT NOTICE THESE PLANS ARE SUBJECT TO FEDERAL
Symbol     Label     Qty     Catalog Number     Description     Lamp     File     Lumens     LLF     Watts       SCV-LED-13L-     SCOTTSDALE VERTEX     LEDS.     SCULED-13L-     SCULED-13L-<	Symbol       Label       Qty       Catalog Number       Description       Lamp       File       Lumens       LLF       Watts         1       702S       8       MRM-LED-30L -SIL-FT-UNIV-DIM       MIRANDA - MRM OUTDOOR LED AREA       LEDS.       MRM-LED-30L -SIL-FT-50       Absolute       1.00       247	1. ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL CUTOFF.	Description     Symbol     Avg     Max     Min     Max/Min     Avg/Min       Beyond Property Line     +     0.0 fc     0.3 fc     0.0 fc     N / A     N / A	COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RACETRAC PETROLEUM,
705     40     SC-UNV-DIM- (EXISTING)     PETROLEUM CANOPY 50-WHT     SCV-LED-13L     Absolute     1.00     84.3       LED LUMINAIRE     -SC-50.IES	MRM-LED-30L       MIRANDA - MRM       LEDS.       MRM-LED-30L         702S       8       -SIL-FT-UNIV-DIM       OUTDOOR LED AREA       -SIL-FT-50       Absolute       1.00       247	2. MOUNT AREA LUMINAIRE TYPE '702S' AT 20'-0" AFG (INCLUDING POLE BASE)	Canopy         +         33.6 fc         49.0 fc         7.3 fc         6.7:1         4.6:1	INC. IS PROHIBITED. 2016 RACETRAC PETROLEUM INC.
705B     8     SCV-LED-13L- SC-UNV-DIM- 50-BRZ     SCOTTSDALE VERTEX PETROLEUM CANOPY     LEDS.       SCV-LED-13L     Absolute     1.00       BRK     BRONZE FINISH     -SC-50.IES	XWM-FT-LED-06L MIRANDA WALL SCONCE LEDS. S01 3 -50-UE-BRZ (XWM) LSI XWM-FT-LED Absolute 1.00 59	3. FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.	Site         +         2.1 fc         25.5 fc         0.0 fc         N/A         N/A	DESIGN PROFESSIONALS
WITH BLACK TRIM AND     LEDS. LUMEN RATING =       RECESSED WHITE     648 LMS.	(EXISTING) -06-50.IES	<ul> <li>4. COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS</li> <li>4.1. AREA LIGHTING - 5700K</li> <li>4.2. BUILDING MOUNTED - 5700K</li> </ul>	Vehicle         X         5.1 fc         25.5 fc         0.0 fc         N/A         N/A           Property Line         +         0.1 fc         1.2 fc         0.0 fc         N/A         N/A	
	<sup>^</sup> 502 (EXISTING) <sup>^</sup> 502 -50-UE-BRZ         (XWM)         (XWM) <sup>^</sup> LEDS. LEDS. LSI XWM-FT-LED Absolute -04-50.IES	4.2.       BOILDING MOONTED - 5700K         4.3.       DECORATIVE POLE - 5000K         4.4.       CANOPY - 5700K         4.5.       CANOPY DOWNLIGHTS - 4000K	EDO Canopy + 20.6 fc 26.4 fc 8.9 fc 3.0:1 2.3:1	
50710SP2-STR-Y4.2050 -FCO-MOD(KR6- -12LED)-DBSPECTRA SMALL SCALE POST TOP LUMINAIRE12 LED ARRAY 12 LED ARRAYSP2-STR-Y4-2050 -FCO-MOD (KB6 LED) -FCO-MOD (KB6 LED) -DB.IESSP2-STR-Y4-2050 -FCO-MOD (KB6 LED) -DB.IES10020			Vehicle (EDO)         X         2.5 fc         19.7 fc         0.0 fc         N/A         N/A	GPD GROUP Professional Corporation
	$\frac{1.2}{2.0} + \frac{1.3}{8.14} + \frac{1.4}{8.13} + \frac{1.3}{8.10} + \frac{1.0}{8.8} + \frac{0.5}{8.05} + \frac{0.4}{6.03} + \frac{0.3}{6.3} + \frac{0.3}{6.3} + \frac{0.2}{6.2} + \frac{0.2}{6.2} + \frac{0.2}{6.3} + \frac{0.3}{6.3} + \frac{0.3}{6.$			S20 S. MAIN STREET, STE 2531 AKRON, OH 44311 GPD Group, Professional Corporati Texas Registration No. 16477 ISSUE/REVISION RECORD DATE DESCRIPTION G4/10/20 PERMIT SET 05/26/20 REFRESH FOR CONST. 01/05/21 PHOTOMETRIC PLAN

LUMINAIRE SCHEDULE	LUMINAIRE SCHEDULE (CONT.)	GENERAL NOTES	STATISTICS	RACETTAC. COPYRIGHT NOTICE
Symbol     Label     Qty     Catalog Number     Description     Lamp     File     Lumens     LLF     Watts	Symbol     Label     Qty     Catalog Number     Description     Lamp     File     Lumens     LLF     Watts	GENERAL NOTES         1. ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC PLAN ARE FULL	Description Symbol Avg Max Min Max/Min Avg/Min	THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS: ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN
705 (EXISTING)     40 50-WHT     SCV-LED-13L- SC-UNV-DIM- 50-WHT     SCOTTSDALE VERTEX PETROLEUM CANOPY LED LUMINAIRE     LEDS.       SCV-LED-13L SCV-LED-13L -SC-50.IES     SCV-LED-13L -SC-50.IES     Absolute     1.00	MRM-LED-30L         MIRANDA - MRM         LEDS.         MRM-LED-30L         Schematical Sch	CUTOFF.	Beyond Property Line + 0.0 fc 0.3 fc 0.0 fc N / A N / A	PERMISSION OF RACETRAC PETROLEUM, INC. IS PROHIBITED. 2016 RACETRAC
		<ol> <li>MOUNT AREA LUMINAIRE TYPE '702S' AT 20'-0" AFG (INCLUDING POLE BASE)</li> <li>FILE NUMBERS PROVIDED FOR PHOTOMETRY REFERENCE ONLY. CATALOG</li> </ol>	Canopy         +         33.6 fc         49.0 fc         7.3 fc         6.7:1         4.6:1	PETROLEUM INC. DESIGN PROFESSIONALS
705B     8     SC-UNV-DIM- 50-BRZ     PETROLEUM CANOPY     SCV-LED-13L     Absolute     1.00     84.3       DARK BRONZE FINISH     -SC-50.IES	XWM-FT-LED-06L       MIRANDA WALL SCONCE       LEDS.         501       3       -50-UE-BRZ       (XWM)         LSI XWM-FT-LED Absolute       1.00       59         -06-50.IES       -06-50.IES	NUMBERS SHALL BE UTILIZED FOR ORDERING FIXTURES.	Site         +         2.1 fc         25.5 fc         0.0 fc         N/A         N/A           Vehicle         X         5.1 fc         25.5 fc         0.0 fc         N/A         N/A	
V 101EM 12 A2/B1-05 (EXISTING) WITH BLACK TRIM AND LEDS. LUMEN RATING = RECESSED WHITE 648 LMS. LR6.IES 647 1.00 11.5 PLASTIC LENS		<ul> <li>4. COLOR TEMPERATURE OF FIXTURES SHALL BE PROVIDED AS FOLLOWS</li> <li>4.1. AREA LIGHTING - 5700K</li> <li>4.2. BUILDING MOUNTED - 5700K</li> </ul>	VenicieX3.1 fc23.5 fc0.0 fcN/AN/AProperty Line+0.1 fc1.2 fc0.0 fcN/AN/A	
SPECTRA SMALL SCALE	Miranda Wall Sconce       LEDS.         Stress       -50-UE-BRZ       (XWM)         List XWM-FT-LED Absolute       1.00       40         -04-50.IES       -04-50.IES	<ul> <li>4.3. DECORATIVE POLE - 5000K</li> <li>4.4. CANOPY - 5700K</li> </ul>	EDO Canopy + 20.6 fc 26.4 fc 8.9 fc 3.0:1 2.3:1	
50710SP2-STR-Y4.2050POST TOP LUMINAIRE12 LED ARRAYSP2-STR-Y4-205015171.0020(EXISTING)-FCO-MOD(KR6- -12LED)-DB-FCO-MOD(KR6- FROSTED GLASS-FCO-MOD (KB6 LED) -DB.IES		4.5. CANOPY DOWNLIGHTS - 4000K	Vehicle (EDO)         X         2.5 fc         19.7 fc         0.0 fc         N/A         N/A	GPD GROU Professional Corporat
			$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	GPD GROUP, Professional Corpore 520 S. MAIN STREET, STE 25 AKRON, OH 443 GPD Group, Professional Corp Texas Registration No. 16477 ISSUE/REVISION RECORD DATE DESCRIPTION 04/10/20 PERMIT SET 05/26/20 REFRESH FOR COM 01/05/21 PHOTOMETRIC PLAN DISCREPTION GROUP CONTINUE RECETRAC PETROLEUM, INC. 200 GALERIA PARKWAY SOUTHEAST SUIT 900 ATLANTA, GEORGIA 30339 (770) 431-7600 PROJECT NAME ROCKWALL TX 75032 2301 S GOLIAD ST RACETRAC STORE NUMBER #05885 PROTOTYPE SERIES 5.5.K /2 TBSL REMODEL PLAN MODIFICATION NOTIT SPB NO. DATE STEVEN SIGN FOR ANY SUBSERV MODIFY SERIES SET AT ORIGINAL RELE THS SIGN FOR ANY SUBSERV MODIFICATION NOTIT SPB NO. DATE STEVEN PROJECT NUMBER 2020/27.18 STEVEN PROJECT NUMBER 2020/27.18 SHEET NUMBER SDE 202

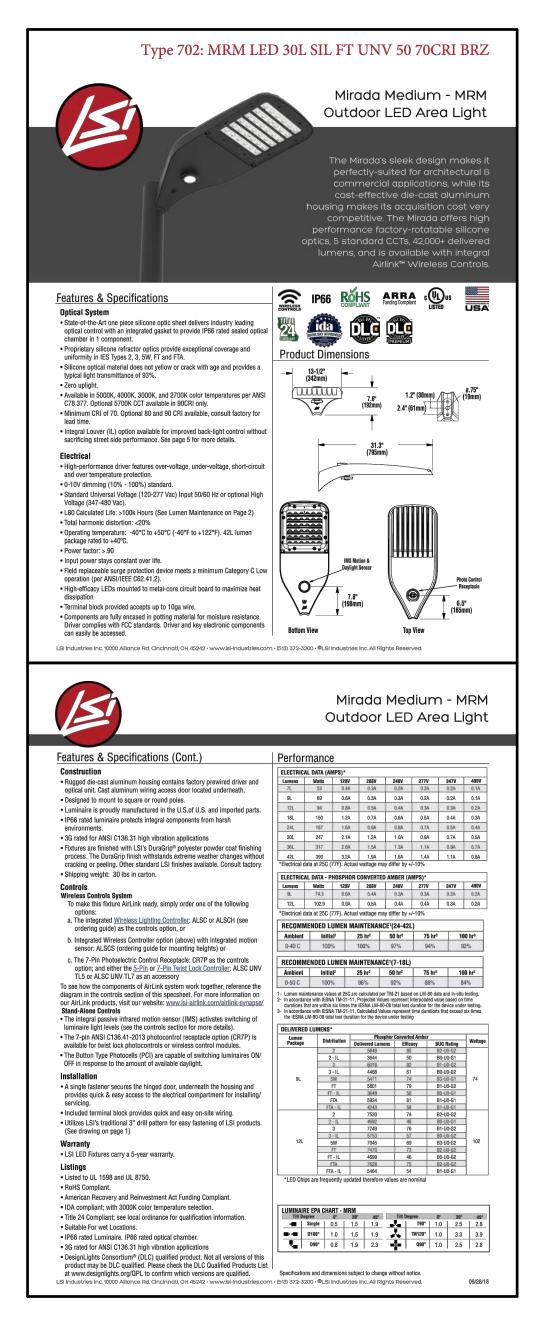
## SITE Photometry PLAN (CONT.)



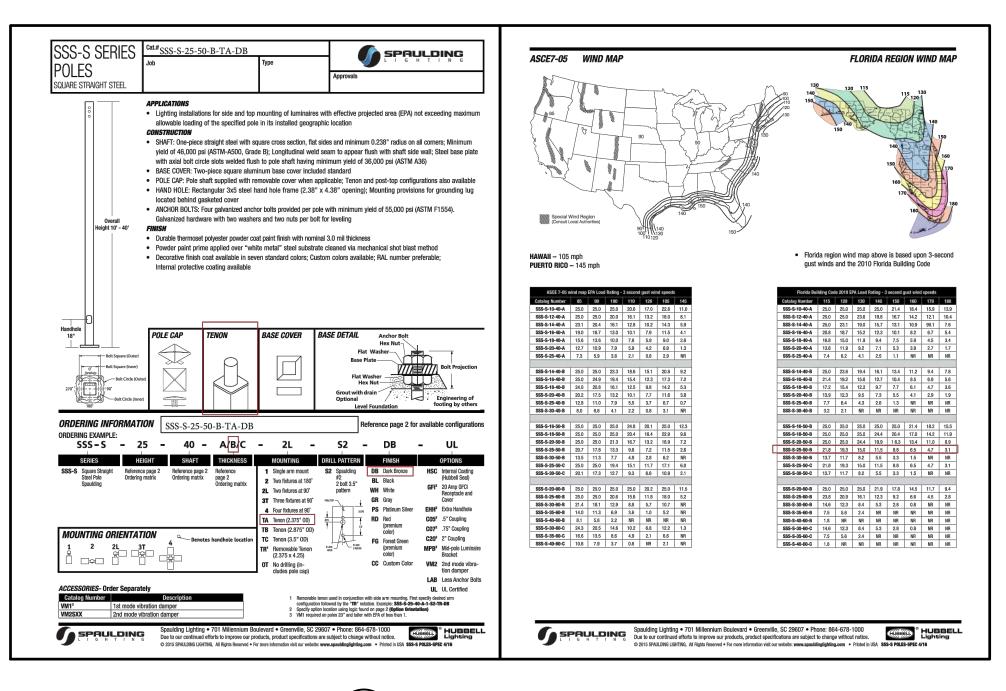
## ROCKWALL







4 FIXTURE TYPE '702' SP-3 SCALE: N.T.S.





CITY CASE NUMBER: SP2020-033

SHEET NUMBER SP-3

SITE **PHOTOMETRY CUT SHEETS** 

SHEET TITLE

**PROJECT NUMBER** 2020|27.|8



PROFESSIONAL SEAL FOR

SPB NO. DATE STANDARD PLAN BULLETINS (SPB) MODIFY THE PROTOTYPE SERIES SET NOTED ABOVE. THE LISTED SPB REPRESENTS THE LATEST MODIFICATION INCORPORATED TO THIS PROTOTYPE SERIES SET AT ORIGINAL RELEASE. THE ISSUE/REVISION RECORD COLUMN ABOVE LISTS ANY REVISIONS OR SPB INCORPORATED IN THIS SET AFTER THE ORIGINAL RELEASE. CONTACT RACETRAC ENGINEERING AND CONSTRUCTION FOR ANY SUBSEQUENT BULLETINS NOT INCORPORATED HEREIN.

**TBSL REMODEL** PLAN MODIFICATION NOTICE

**#0585 PROTOTYPE SERIES 5.5K 2.0** 

**RACETRAC STORE NUMBER** 

**TX 75032** 2301 S GOLIAD ST

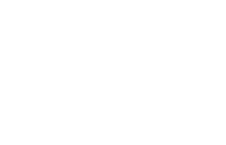
ROCKWALL

ROCKWALI

**PROJECT NAME** 

**200 GALLERIA PARKWAY SOUTHEAST** SUITE 900 ATLANTA, GEORGIA 30339 (770) 431-7600

**RACETRAC PETROLEUM, INC.** 



**ISSUE/REVISION RECORD** 

05/26/20 REFRESH FOR CONST

01/05/21 PHOTOMETRIC PLAN

DATE DESCRIPTION

04/10/20 PERMIT SET



RaceTrac.

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PETROLEUM INC.



## CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

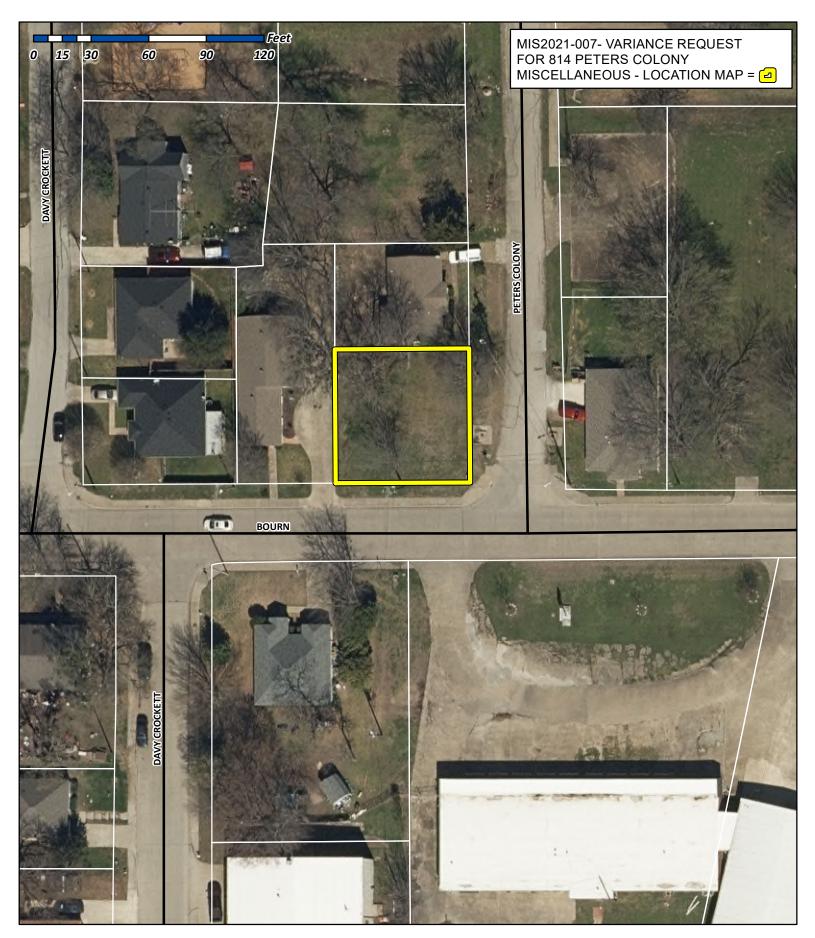
PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, Planner
DATE:	June 29, 2021
SUBJECT:	MIS2021-007; Special Exception at 814 Peters Colony

On June 17, 2021, Michael Hunter of the North East Texas Community Development Corporation (NETCDC) contacted staff to discuss an issue with their project at 814 Peters Colony. Specifically, the NETCDC is in the process of constructing a duplex on the property, and Mr. Hunter called to let staff know that there was an inadvertent error in the form board survey. Specifically, their contractor set the foundation formboard on the build line as opposed to recessing it 18-inches to account for the overhang of the second story of the structure. Currently, this structure has been framed, and it would be cost prohibitive for the NETCDC to bring the structure into compliance. Since the property is situated within the Southside Residential Neighborhood Overlay (SRO) District, the Unified Development Code (UDC) grants the City Council the ability to "...consider special requests in the furtherance of neighborhood preservation and enhancement with the established neighborhood preservation overlay district ... [and] (s)uch requests may include, but not necessarily be limited to neighborhood signage plans, the use of alternate building materials reductions in the building setbacks, or other requests submitted for consideration to the planning and zoning department." Staff should note, that the City Council did approve a previous request [Case No. MIS2017-015], which reduced this setback from 20-feet to 15-feet. This means that if approved the City Council would be granting a 13' 6" building setback adjacent to Peters Colony. Staff should also point out, that the property directly north of the subject property (i.e. 812 Peters Colony) - which fronts onto Peters Colony -- is currently situated approximately six (6) to seven (7) feet from the front property line. Based on this the applicant's request does not appear to be inconsistent with the existing neighborhood; however, special requests such as this one, are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicants request, staff will be available at the meeting on June 29, 2021.

	DEVELOPINENT APPLIC City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE C         PLANNING & ZUNING CASE NO.         NOTE:         THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE         CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE         SIGNED BELOW.         DIRECTOR OF PLANNING:         CITY ENGINEER:		
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:		
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.00)         SITE PLAN APPLICATION FEES:         SITE PLAN (\$250.00 + \$20.00 ACRE) 1         AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		□ ZONI □ SPEC □ PD D OTHER □ TREE □ VARI NOTES: <sup>1</sup> : IN DE MULTIPLY	ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST (\$100.00) NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.		
	ORMATION [PLEASE PRINT]				
ADDRESS	814 PETERS COLONY,	Rocki	ALL TEXAS 75087		
SUBDIVISION	SANGER BROMHERS ADDIT	7241	LOT #4 BLOCK H		
GENERAL LOCATION			EN STREET AND PETERS GLONY		
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CURRENT ZONING		CURRENT	USE		
PROPOSED ZONING		PROPOSED			
ACREAGE					
ACREAGE	LOTS [CURRENT		LOTS [PROPOSED]		
REGARD TO ITS A	<u>PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE T APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF ENIAL OF YOUR CASE.	HAT DUE TO THE STAFF'S COMMEN	PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH TS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL		
OWNER/APPLICA	ANT/AGENT INFORMATION [PLEASE PRINT/CH	ECK THE PRIMAR	Y CONTACT/ORIGINAL SIGNATURES ARE REQUIRED		
	Rockwall Housing DEV. GRP.	APPLIC			
CONTACT PERSON	MicHAEL HUNTER	CONTACT PERS			
ADDRESS	787 HAIL DRIVE	ADDR			
			FUTCE LITE		
CITY, STATE & ZIP	RodwALL, TX 75032	CITY, STATE &	ZIP BRALING TO TOTAL		
PHONE	(214)728-0023	PHO	ZIP ROCKWALL TX 75032 DNE (214) 728-0023		
	michael enetade.org	E-M	HAIL Michael@netcdc.org		
NOTARY VERIFIC		D_Micho	rel Hunter [OWNER] THE UNDERSIGNED, WHO		
INFORMATION CONTAINED	20 BY SIGNING THIS APPLICATION I AGRE	S BEEN PAID TO TH E THAT THE CITY ( ALSO AUTHORIZE	OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE		
GIVEN UNDER MY HAND A	AND SEAL OF OFFICE ON THIS THE 17 DAY OF	ine	2021 TANYA BUEHLER		
	OWNER'S SIGNATURE		Notary Public STATE OF TEXAS		
NOTARY PUBLIC IN AND F	FOR THE STATE OF TEXAS Day Bu	ule	MY COMUSIAN EXPHAESomm. Exp. MAR. 10, 2025		

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departm 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



North East Texas Community Development Corporation 787 Hail Dr. Rockwall, TX 75032 Phone (972) 722-7316 Cell (214)728-0023 michael@netcdc.org

June 17, 2021

Ryan Miller Planning Director City of Rockwall 385 South Goliad Rockwall, Texas 75087

Re: Request for appointments with the Planning and Zoning Commission and the City Council to consider a variance request for a property located at 814 Peters Colony

Ryan:

Per our conversation today, I am requesting an appointment with the Planning and Zoning Commission and a subsequent meeting with the City Council to consider the following variance request regarding a duplex currently being constructed at 814 Peters Colony, which is located at the corner of East Bourn Street and Peters Colony.

1. A variance to the 15-foot front yard.set back to allow for an 18-inch overhang of the second floor of the building to intrude into that front yard set back.

As we are in construction and did not discover this inadvertent error until the framing on the first and second floors were nearing completion, urgency in scheduling the appointments is requested.

If you have any questions or desire further comment, please call me at (214) 728-0023.

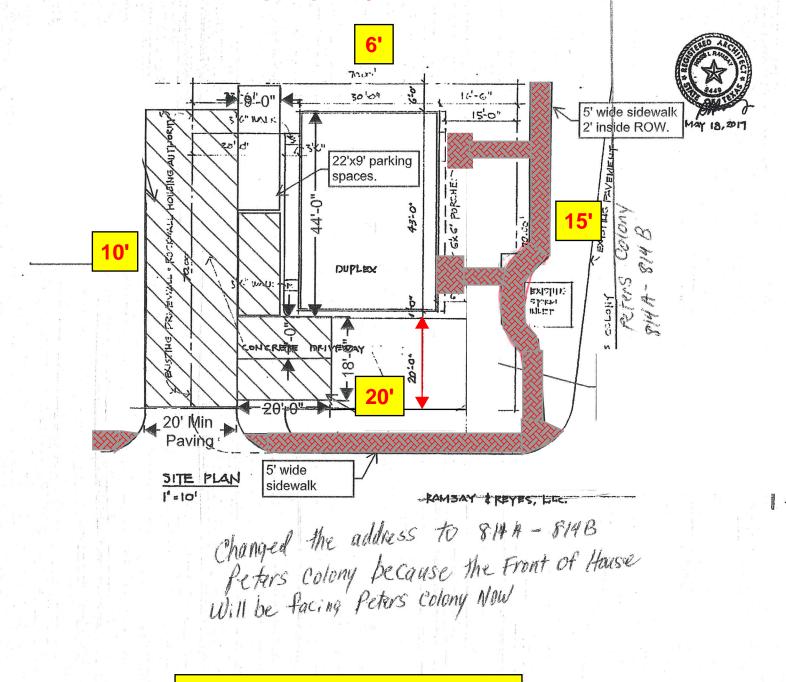
Thank you for your assistance in this matter.

Michael Hunter Executive Director

## METER CANS ARE NOT ALLOWED WITHIN THE FLATWORK

Maximum slope of driveway is 10% at the approach 14% after that.

# All building setbacks are Measured from the property line

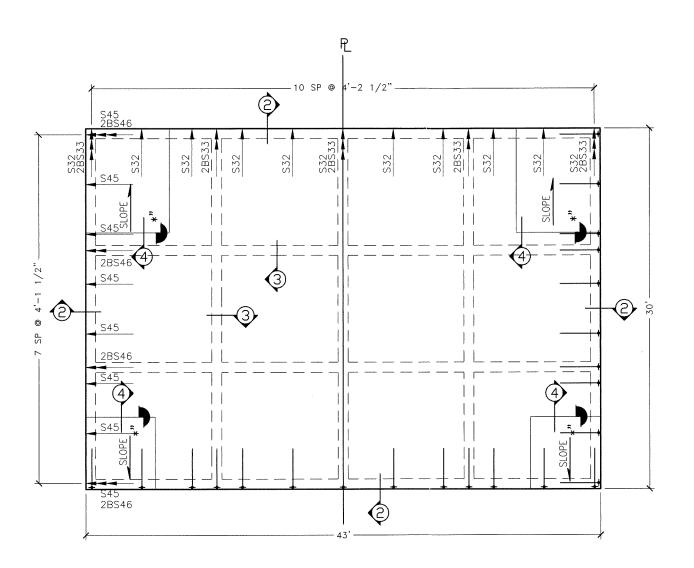


## 814 A & 814 B PETERS COLONY

## **BUILDERS COPY**

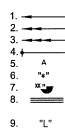
Keep On Job Site At All Times For Inspection Use

NOTE: DESIGN VALID ONLY ON SOIL CHEMICAL INJECTED TO A DEPTH OF AT LEAST 10 FT. (OR GREATER IF SPECIFIED BY GEOTECHNICAL REPORT) TO REDUCE PVR TO  $\leq 1.0$ ". TREE TRUNKS AND ROOTS UNDER THE FLOOR SLAB SHOULD BE REMOVED TO A ROOT SIZE OF LESS THAN 0.5 INCHES. FILL AND COMPACT ANY OVER-EXCAVATED AREAS IN LIFTS WITH PROPER COMPACTION IN COMPLIANCE WITH PROJECT GEOTECHNICAL REPORT.



## **BUILDERS COPY**

Keep On Job Site At All Times **For Inspection Use** 





**PETERS COLONY** 

814 B I

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814



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ERIC L. DAVIS, P.E. 86895 ON 2/26/2020

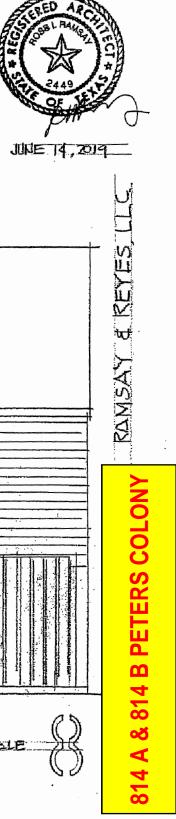
### NOTE:

- 1. SLAB THICKNESS T = 4"
- 2. BEAM DEPTH H = 28"
- W = 10" 3. BEAM WIDTH
- 4. SXX DENOTES SLAB STRAND 5. BSXX DENOTES BEAM STRAND

PLAN LEGEND DENOTES ONE STRAND TO BE STRESSED. DENOTES TWO STRANDS TO BE STRESSED. DENOTES THREE STRANDS TO BE STRESSED. DENOTES FACTORY SEATED END. DENOTES CONCRETE CHAIR. DENOTES DIMENSION TO BE VERIFIED. DENOTES DIFFERENCE IN FINISH FLOOR ELEVATIONS. DENOTES 3-#4 BARS X 6'-8" TYPICAL INTERIOR CORNER 2'-0". BARS SHALL BE 4'-0" X (LENGTH = TO CORNER DEPTH) WHERE NOTED ON PLAN.

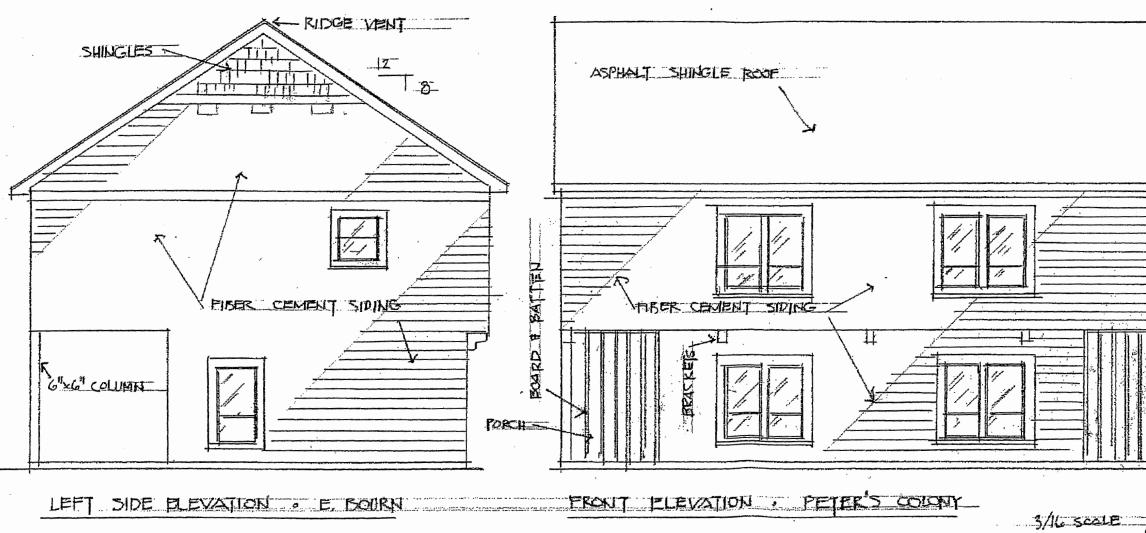


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## **BUILDERS COPY**

Keep On Job Site At All Times For Inspection Use

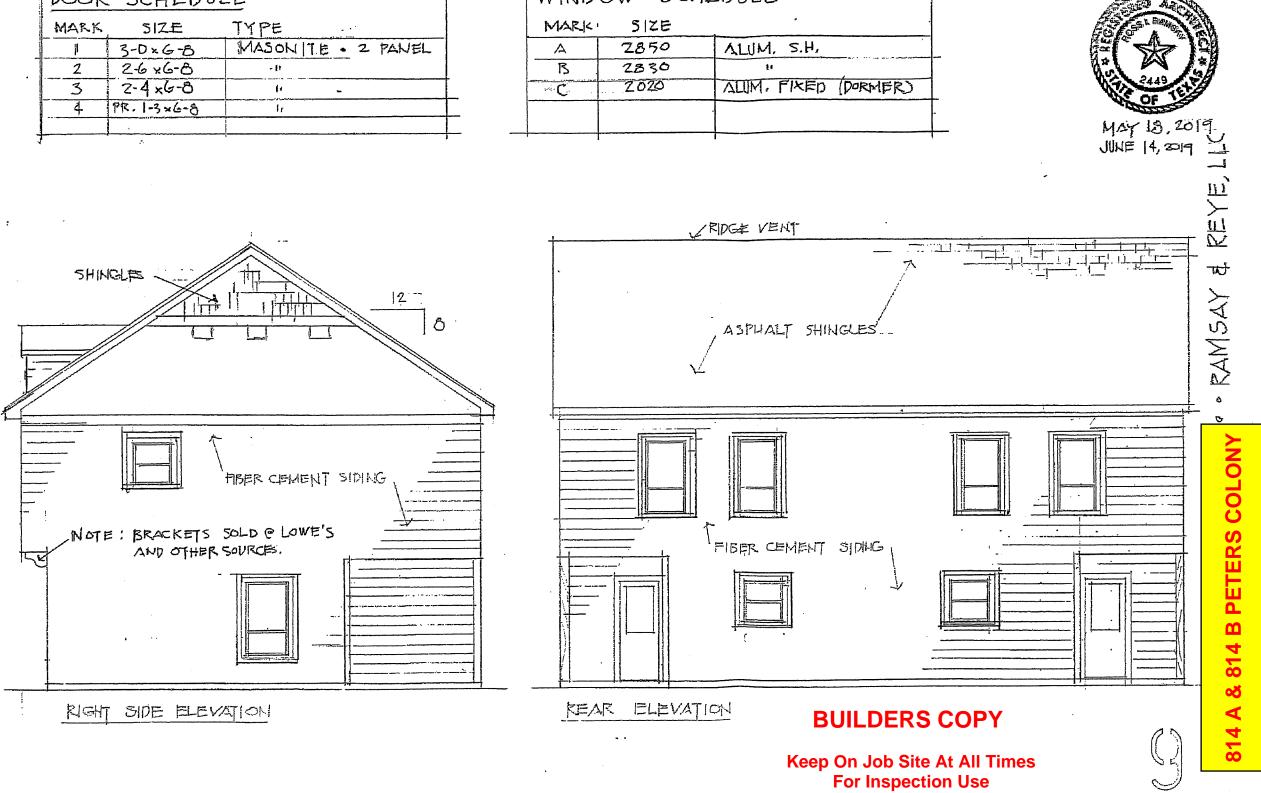


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DOOR	SCHEDU	LE
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2	2-6 ×6-8	- It
3	2-4×6-8	i+ _
4	PR. 1-3×6-8	lr.
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WIND	OW SCH	EDULE
MARK	SIZE	
A	2850	ALUM, S.H.
ß.	2830	11
C	2020	ALUM, FIXED (DORMER)



## **BUILDERS COPY**

Keep On Job Site At All Times For Inspection Use

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: Z2021-020 SUP for St. Benedict's Anglican Church 1500 SUNSET HILL DR. ROCKWALL, 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Ryan Miller 972-772-6441 rmiller@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	David Gonzales	06/23/2021	Needs Review	

06/23/2021: Z2021-020; Specific Use Permit (SUP) for 1500 Sunset Hill Drive Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This is a request for the approval of a Specific Use Permit for a House of Worship on a 7.43-acre tract of land identified as Tract 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill Driver.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

1.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the Development Standards of Article 04 & Article 05 that are applicable to the subject property.

(A) Proposed operation conditions of the SUP Ordinance:

The following conditions pertain to the construction of a duplex on the Subject Property and conformance to these operational conditions are required:

(1) The Church/House of Worship facility shall generally conform to the Concept Plan depicted in Exhibit 'B' of this ordinance.

(2) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.

(3) Headlight screening shall be incorporated adjacent to the parking areas indicated in the Concept Plan depicted in Exhibit 'B' of this ordinance.

(4) Three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) shall be incorporated adjacent to the northern property line of the subject property generally as depicted on the Concept Plan in Exhibit 'B' of this ordinance.

I.4 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on June 29, 2021.
- 2) Planning & Zoning Public Hearing meeting will be held on July 13, 2021.
- 3) City Council Public Hearing will be held on July 19, 2021. (1st Reading of Ordinance)
- 4) City Council meeting will be held on August 2, 2021. (2nd Reading of Ordinance)

1.5 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City requires that a representative(s) be present for these meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Approved w/ Comments

06/23/2021: M - Must show the existing sewer connection to the house.

M - Detention is required. Will need to detain from a 0.5 c-factor to a 0.9.

M - Parking to be 20'x9' facing the building or nose-to-nose.

M - Drive isles to be 24' wide.

M - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

M - Fire lane to be in a platted easement.

The following items are informational for the engineering design phase. General Items:

M - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

- I Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- I Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

### Drainage Items:

M - Detention is required. Will need to detain from a 0.5 c-factor to a 0.9.

I - Dumpster areas to drain to oil/water separator and then to the storm lines.

Water and Wastewater Items:

I - Must loop 8" water line on site.

I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

I - Minimum public sewer is 8".

Roadway Paving Items:

M - Parking to be 20'x9' facing the building or nose-to-nose.

I - No dead-end parking allowed without an City approved turnaround.

M - Drive isles to be 24' wide.

M - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

M - Fire lane to be in a platted easement.

### Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

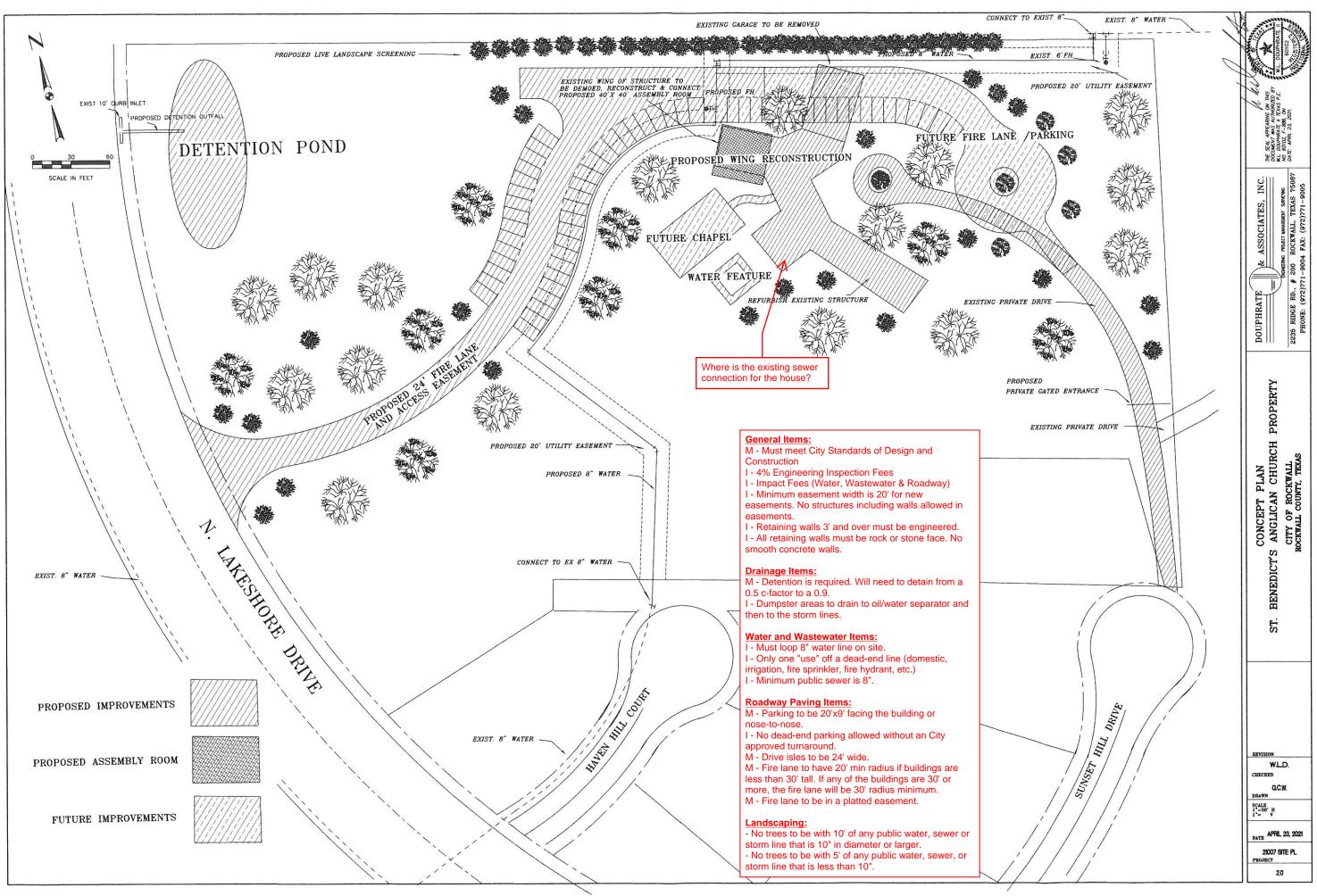
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/21/2021	Approved

No Comments

DEPARTMENT	PARTMENT REVIEWER		STATUS OF PROJECT	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
GIS	Lance Singleton	06/21/2021	Approved		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
POLICE	David Gonzales	06/25/2021	N/A		
No Comments					
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT		
PARKS	Travis Sales	06/21/2021	Approved		
FARRO			Αμριονέα	_	

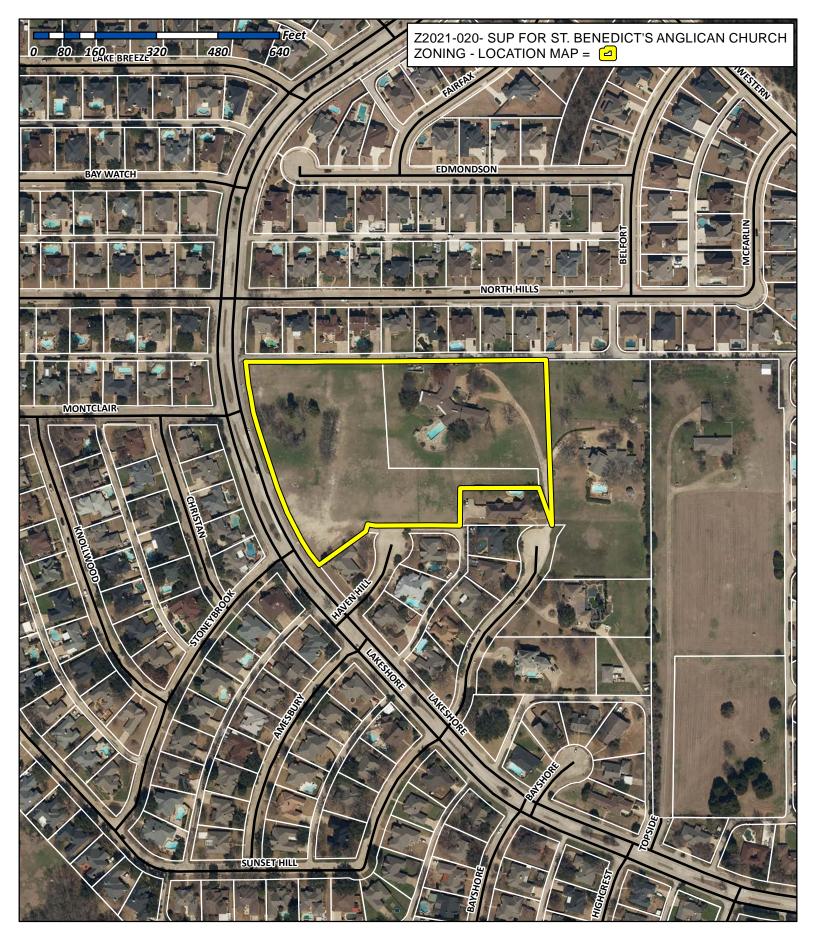
06/21/2021: No Comments



2021-000

	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Direct			AFF USE ONLY ANNING & ZONING CASE NO. ZZOZI - 020 DTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE TY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE GNED BELOW. RECTOR OF PLANNING: TY ENGINEER:		
PLEASE CHECK THE API	PROPRIATE BOX BELOW TO IND	CATE THE TYPE OF	DEVELOPMENT REC	QUEST [SELECT ONLY ONE	BOX]:	
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.00)         SITE PLAN APPLICATION FEES:         SITE PLAN (\$250.00 + \$20.00 ACRE) 1         AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)		ZONING APPLICATION FEES: ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1 Secific USE PERMIT (\$200.00 + \$15.00 ACRE) 1 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 OTHER APPLICATION FEES: TREE REMOVAL (\$75.00) VARIANCE REQUEST (\$100.00) NOTES: 1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.				
PROPERTY INFOR	MATION [PLEASE PRINT]					
ADDRESS	1500 Junse	+ Hill				
SUBDIVISION	Northstor			LOT	BLOCK	
GENERAL LOCATION	1500 Sunse					
ZONING SITE PLA	N AND PLATTING INFOR		PRINTI			
CURRENT ZONING	R-10		CURRENT USE	Residents	-1	
PROPOSED ZONING	SUP		PROPOSED USE			
ACREAGE	7.43	LOTS [CURRENT]		LOTS [PROPOS	SED]	
SITE PLANS AND I REGARD TO ITS AF RESULT IN THE DEI	PLATS: BY CHECKING THIS BOX YO PROVAL PROCESS, AND FAILURE T VIAL OF YOUR CASE.	U ACKNOWLEDGE THA O ADDRESS ANY OF ST	TAFF'S COMMENTS BY	THE DATE PROVIDED ON TH	E DEVELOPMENT CALENDAR WILL	
OWNER/APPLICA	NT/AGENT INFORMATIO					
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ADDRESS	eirs & Kalph	Hall	ADDRESS	2235 Rio	lge Rd	
CITY, STATE & ZIP	2710 Whispering	Jahs -RW, V	CITY, STATE & ZIP	Rockwal	1 77 75087	
PHONE	U4-354-9149		PHONE	978 771 9	7004	
E-MAIL			E-MAIL	widouphra	oupmrate.com	
NOTARY VERIFIC BEFORE ME, THE UNDERS STATED THE INFORMATIO	<b>ATION [REQUIRED]</b> SIGNED AUTHORITY, ON THIS DAY PE IN ON THIS APPLICATION TO BE TRUE	RSONALLY APPEARED	Brett t	tall jou	WNER] THE UNDERSIGNED, WHO	
S INFORMATION CONTAINED SUBMITTED IN CONJUNCTION GIVEN UNDER MY HAND A	20 BY SIGNING THI WITHIN THIS APPLICATION TO THE ON WITH THIS APPLICATION, IF SUCH R IND SEAL OF OFFICE ON THIS THE OWNER'S SIGNATURE	THIS APPLICATION, HAS S APPLICATION, I AGREE PUBLIC. THE CITY IS EPRODUCTION IS ASSOC	SEEN PAID TO THE CIT THAT THE CITY OF R ALSO AUTHORIZED AN CIATED OB IN RESPONS	Y OF ROCKWALL ON THIS THE OCKWALL (I.E. "CITY") IS AUTHO ID PERMITTED TO REPRODUC SE TO A REQUEST FOR PURCHO	DAY OF DAY OF DAY COPYRIGHTED TO PROVIDE E ANY COPYRIGHTED INFORMATION DELANEY WATERS	
NUTARY PUBLIC IN AND F	FOR THE STATE OF TEXAS	ing wa			11000	

DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOLIAD STREET . ROCKWALL, TX 75087 . [P] (972) 771-7745 . [F] (972) 771-7727





## City of Rockwall

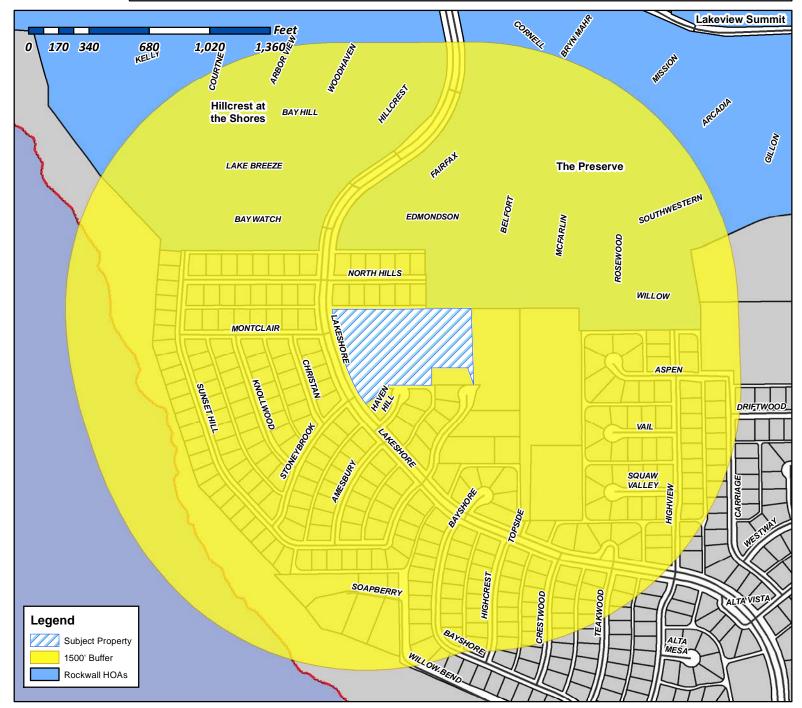
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

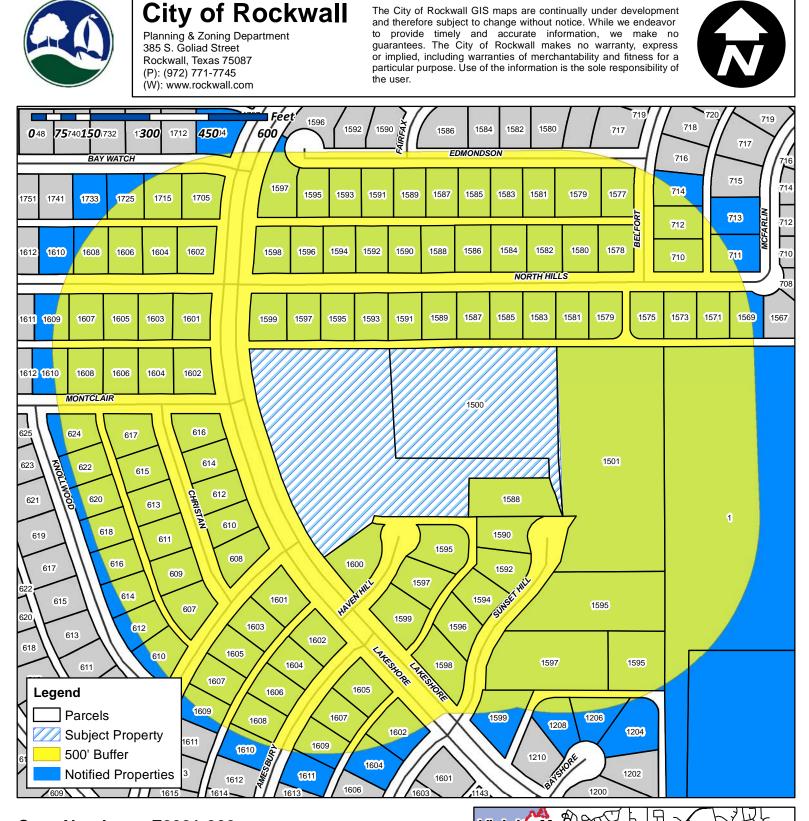




Case Number:Z2021-020Case Name:SUP for a House of WorshipCase Type:ZoningZoning:Single-Family 10 (SF-10) DistrictCase Address:1500 Sunset Hill Drive



Date Created: 6/23/2021 For Questions on this Case Call (972) 771-7745



Case Number:Z2021-020Case Name:SUP for a House of WorshipCase Type:ZoningZoning:Single-Family 10 (SF-10) DistrictCase Address:1500 Sunset Hill Drive

Date Created: 6/23/2021 For Questions on this Case Call (972) 771-7745

LOFLAND WILLIAM B **1 TOPSIDELN** ROCKWALL, TX 75087

**KESHMIRI CYRUS HOMAN & NATASHA KIM 1206 BAYSHORE DRIVE** ROCKWALL, TX 75087

> COBLE JOHN D DR & PATRICIA P 1501 SUNSET HILL DR ROCKWALL, TX 75087

MAXON JOSHUA DAVID & LAUREN OPENSHAW 1573 N HILLS DR ROCKWALL, TX 75087

> ALVARADO GARY AND MARIA 1578 NORTH HILLS DR ROCKWALL, TX 75087

COOPER TRAVIS AND MICHELLE 1580 NORTH HILLS DR ROCKWALL, TX 75087

> **BUCKNER GARY 1582 NORTH HILLS DRIVE** ROCKWALL, TX 75087

WHITE TODD E AND PAIGE LEIGH 1584 NORTH HILLS DR ROCKWALL, TX 75087

**STEWART CANDY MARIE & BENJAMIN EARL 1586 NORTH HILLS DRIVE** ROCKWALL, TX 75087

> **BEAUBIEN ALAN AND REVI MENASCHE** 1588 NORTH HILLSDR ROCKWALL, TX 75087

LOFLAND WILLIAM B **105 E KAUFMAN ST** ROCKWALL, TX 75087

MESSIMER SETH AND JENNY 1208 BAYSHORE DR ROCKWALL, TX 75087

BAUER SCOTT J AND CARLA G 1569 NORTH HILLS DR ROCKWALL, TX 75087

BACH DAVID M AND BETHANY N 1575 NORTH HILLS DR ROCKWALL, TX 75087

MACDONALD AMY A AND MICHAEL C 1579 EDMONDSON TR ROCKWALL, TX 75087

PENNINGTON MICHAEL AND IVY R **1581 EDMONDSON TRAIL** ROCKWALL, TX 75087

> WALDEN ALFRED F 1583 EDMONDSON TRL ROCKWALL, TX 75087

**COSKUN HASAN & SIBEL COSKUN** 1585 EDMONDSON TRL ROCKWALL, TX 75087

> OWEN ALLEN J & JESICA L **1587 EDMONDSON TRAIL** ROCKWALL, TX 75087

**BANAN SAEED & SANDRE** 1588 SUNSET HILL DR ROCKWALL, TX 75087

CHANDLER PIERCE L JR ETUX **1204 BAYSHORE DR** ROCKWALL, TX 75087

HALL RALPH H AND BRETT A HALL AND J BLAKEKEY HALL 1500 SUNSET HILLDR ROCKWALL, TX 75087

**CHANEY CHARLES & PAMELA 1571 NORTH HILLS DRIVE** ROCKWALL, TX 75087

MASLO PAUL B AND MIHUI LAURA KIM 1577 EDMONDSON TR ROCKWALL, TX 75087

> MCCLENDON PAULA S 1579 N HILLS DRIVE ROCKWALL, TX 75087

STANLEY ROBERT WAYNE II AND CHERYL RAF 1581 NORTH HILLS DR ROCKWALL, TX 75087

> **ORTIZ MIGUEL & CIARA** 1583 N HILLS DR ROCKWALL, TX 75087

ALDRICH KEVIN JAMES & DOTTIE R **1585 NORTH HILLS DRIVE** ROCKWALL, TX 75087

> ORTIZ JESUS AND CINDY 1587 NORTH HILLS DR ROCKWALL, TX 75087

MUKTAR JEMIL M 1589 EDMONDSON TR ROCKWALL, TX 75087

ANDERSON JAMES R & E GAY 1589 N HILLS DR ROCKWALL, TX 75087

CRUZ JUAN G AND MARIA D 1591 EDMONDSON TRACE ROCKWALL, TX 75087

BASSETT BRAD E & STACY R 1592 SUNSET HILL DR ROCKWALL, TX 75087

SANDERS JERRY W & MARINA 1594 N HILLS DR ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L 1595 HAVEN HILL CT ROCKWALL, TX 75087

LUSTIK KENNETH & ROBERT HOPSON 1596 N HILLS DR ROCKWALL, TX 75087

LANGFORD DAVID NEIL AND MELANIE HILBERT 1597 HAVEN HILL COURT ROCKWALL, TX 75087

> RUSSELL ALAN DUANE 1598 NORTH HILLS DR ROCKWALL, TX 75087

COWAN JOHN CAMERON AND KATHLEEN VANWAGNER 1599 NORTH HILLS DR ROCKWALL, TX 75087

> TUNKS TERRY AND ELIZABETH 1601 N HILLS DR ROCKWALL, TX 75087

KELLY JAMES D & SARA SOLIS 1590 N HILLS DR ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC 1591 NORTH HILLSDR ROCKWALL, TX 75087

MCCOY ELI AND TAMMIE BROWN 1593 EDMONSON TRAIL ROCKWALL, TX 75087

TURNER KYLE R AND ROGER D TURNER 1594 SUNSET HILLDR ROCKWALL, TX 75087

SAMRA ISSAM F & REEM M ABOU-SAMRA 1595 N HILLS DR ROCKWALL, TX 75087

> SHEEHAN JAMES C & JULIA 1597 N HILLS DR ROCKWALL, TX 75087

WILSON DOUGLAS L AND DANA J 1598 SUNSET HILL DR ROCKWALL, TX 75087

> CHAPMAN DIANA STEGER 1599 SUNSET HILL DR ROCKWALL, TX 75087

CLARK GERALD B ETUX 1601 STONEYBROOK DR ROCKWALL, TX 75087 ANDERSON JASON & KELLY 1590 SUNSET HILL DRIVE ROCKWALL, TX 75087

FIDGER REVOCABLE LIVING TRUST BRIAN FIDGER - TRUSTEE 1592 NORTH HILLS ROCKWALL, TX 75087

> FRAGA JAVIER SANTOS 1593 NORTH HILLS DR ROCKWALL, TX 75087

GROOVER ANTHONY AND DONNA MARRIE 1595 EDMONDSON TR ROCKWALL, TX 75087

> LANSING RONALD DOUGLAS 1595 SUNSET HILL DR ROCKWALL, TX 75087

JONES LALANII 1597 EDMONDSON TRAIL ROCKWALL, TX 75087

SPARKS JOHN & MARIA 1597 SUNSET HILL DR ROCKWALL, TX 75087

VILLAPANDO ANTONIO & MARIA 1599 HAVEN HILL CT ROCKWALL, TX 75087

JONES JOHNNY DEWAYNE & MARTHA A 1600 N LAKESHORE DRIVE ROCKWALL, TX 75087

> ORTIZ SAM J & ADELLA J 1602 AMESBURY LN ROCKWALL, TX 75087

ROCKWALL, TX 75087

STACY JEFFREY B 1596 SUNSET HILL DR ROCKWALL, TX 75087 SAMPSON DEAN & BARBARA KELLUM 1602 MONTCLAIR DR ROCKWALL, TX 75087

> CONFIDENTIAL 1603 NORTH HILLS DRIVE ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M 1604 MONTCLAIR ST ROCKWALL, TX 75087

MCINTIRE PRESTON G AND SANDY M LOMELI **1605 AMESBURY LANE** ROCKWALL, TX 75087

> POWERS LISA A AND ROBERT H **1606 AMESBURYLN** ROCKWALL, TX 75087

JOHNSTON ALTON W & PEGGY F 1607 AMESBURY LN ROCKWALL, TX 75087

**BURTON DAVID A & MARY KAY** 1608 AMESBURY LN ROCKWALL, TX 75087

ADAMS BRAD AND KASHA 1609 AMESBURY ROCKWALL, TX 75087

TUCKER EARL W & MELINDA K 1610 AMESBURY LN ROCKWALL, TX 75087

SCAMPERINO CHARLES AND BRIDGETT AND COOPER **1611 AMESBURY LANE** ROCKWALL, TX 75087

LAZY DALE PARTNERS LP 1602 NORTH HILLSDR ROCKWALL, TX 75087

SAENZ DIANA GONZALEZ 1603 STONEYBROOK DR ROCKWALL, TX 75087

**KLUTTS BEN A JR & JULIE C** 1604 N HILLS DR ROCKWALL, TX 75087

CLARK LUTHER A ETUX 1605 N HILLS DR ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA 1606 MONTCLAIR DR

STARR RICHARD AND KATRINA STARR 1607 NORTH HILLS DRIVE ROCKWALL, TX 75087

> 1608 MONTCLAIR DR ROCKWALL, TX 75087

> > 1609 NORTH HILLS DR ROCKWALL, TX 75087

TOCHKOV KIRIL AND KARIN 1610 MONTCLAIR DR ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L 1704 BAY WATCH DR ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC 1602 SUNSET HILLDR ROCKWALL, TX 75087

STEWART KAREN IRENE WILLIAMS 1604 AMESBURY LN ROCKWALL, TX 75087

> STIEGELMAR RICHARD AND STIEGELMAR JACK 1604 SUNSET HILLDR ROCKWALL, TX 75087

> **GRAY LISA MICHELE 1605 STONEYBROOK DRIVE** ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D **1606 NORTH HILLS DRIVE** ROCKWALL, TX 75087

> SHIELDS CHARLENE **1607 STONEYBROOK DRIVE** ROCKWALL, TX 75087

> **CONNALLY DAVID & VICKIE** 1608 N HILLS DR ROCKWALL, TX 75087

CASE DAVID L ETUX **1609 STONEYBROOK DR** ROCKWALL, TX 75087

CONFIDENTIAL 1610 NORTH HILLS DRIVE ROCKWALL, TX 75087

LYNCH CHRISTOPHER J 1705 BAY WATCH DRIVE ROCKWALL, TX 75087

**BOULLION PAMELA S TOPPER** 

**BENAVIDES JORGE** 

ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS 1715 BAY WATCH DR ROCKWALL, TX 75087

LAZY DALE PARTNERS LP 202 N SAN JACINTO ST ROCKWALL, TX 75087

EK REAL ESTATE SERVICES OF NY LLC 215 PARK AVENUE SOUTH SUITE 1713 NEW YORK, NY 10003

> GRAVES QING YUE 607 CHRISTIAN CT ROCKWALL, TX 75087

SANTOS JUAN S AND TINA M 610 CHRISTIAN CT ROCKWALL, TX 75087

STEWART-JOHNSON LOIS DIANNE 612 CHRISTAN CT ROCKWALL, TX 75087

> CARTER KAREN 614 CHRISTAN COURT ROCKWALL, TX 75087

HARMON ROBERT R & KIMBERLY 616 CHRISTAN CT ROCKWALL, TX 75087

ALVAREZ CHRISTINA & LEROY 618 KNOLLWOOD DR ROCKWALL, TX 75087

MILLER LAUREN & BARBARA REVOCALBE TRUST LAUREN P & BARBARA E MILLER CO-TRUSTEES 622 KNOLLWOOD DR ROCKWALL, TX 75087 HIETBRINK BERNARD D & MELISSA L 1725 BAY WATCH DR ROCKWALL, TX 75087

POWERS LISA A AND ROBERT H 2039 MORNING DOVE ST SAN ANTONIO, TX 78232

BEAUBIEN ALAN AND REVI MENASCHE 2438 ADAMS STREET HOLLYWOOD, FL 33020

GOODRICH GLENN W JR & KELLYE JAYE 608 CHRISTAN CT ROCKWALL, TX 75087

TORKELSON KELLY L & STEVEN A 610 KNOLLWOOD DR ROCKWALL, TX 75087

> ELLIS TEX W & MONA E 612 KNOLLWOOD DRIVE ROCKWALL, TX 75087

BLAKE DAVID G & SARAH E 614 KNOLLWOOD DRIVE ROCKWALL, TX 75087

ETTER CHARLES W & LINDA L 616 KNOLLWOOD DR ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S 618 SUNSET HILL DR ROCKWALL, TX 75087

EDWARDS BRYAN K & SUSAN L 624 KNOLLWOOD DR ROCKWALL, TX 75087 WHALIN GREGORY L & TERRI B 1733 BAY WATCH DR ROCKWALL, TX 75087

HALL RALPH H AND BRETT A HALL AND J BLAKEKEY HALL 207 EAST RUSK ROCKWALL, TX 75087

> TURNER KYLE R AND ROGER D TURNER 520 MORAINE WAY HEATH, TX 75032

GALLOWAY PRESTON AND BRITTANY 609 CHRISTAN COURT ROCKWALL, TX 75087

MOORE VELVET AND DANIEL 611 CHRISTIAN CT ROCKWALL, TX 75087

DYLONG RONALD C & PAULA S 613 CHRISTANCT ROCKWALL, TX 75087

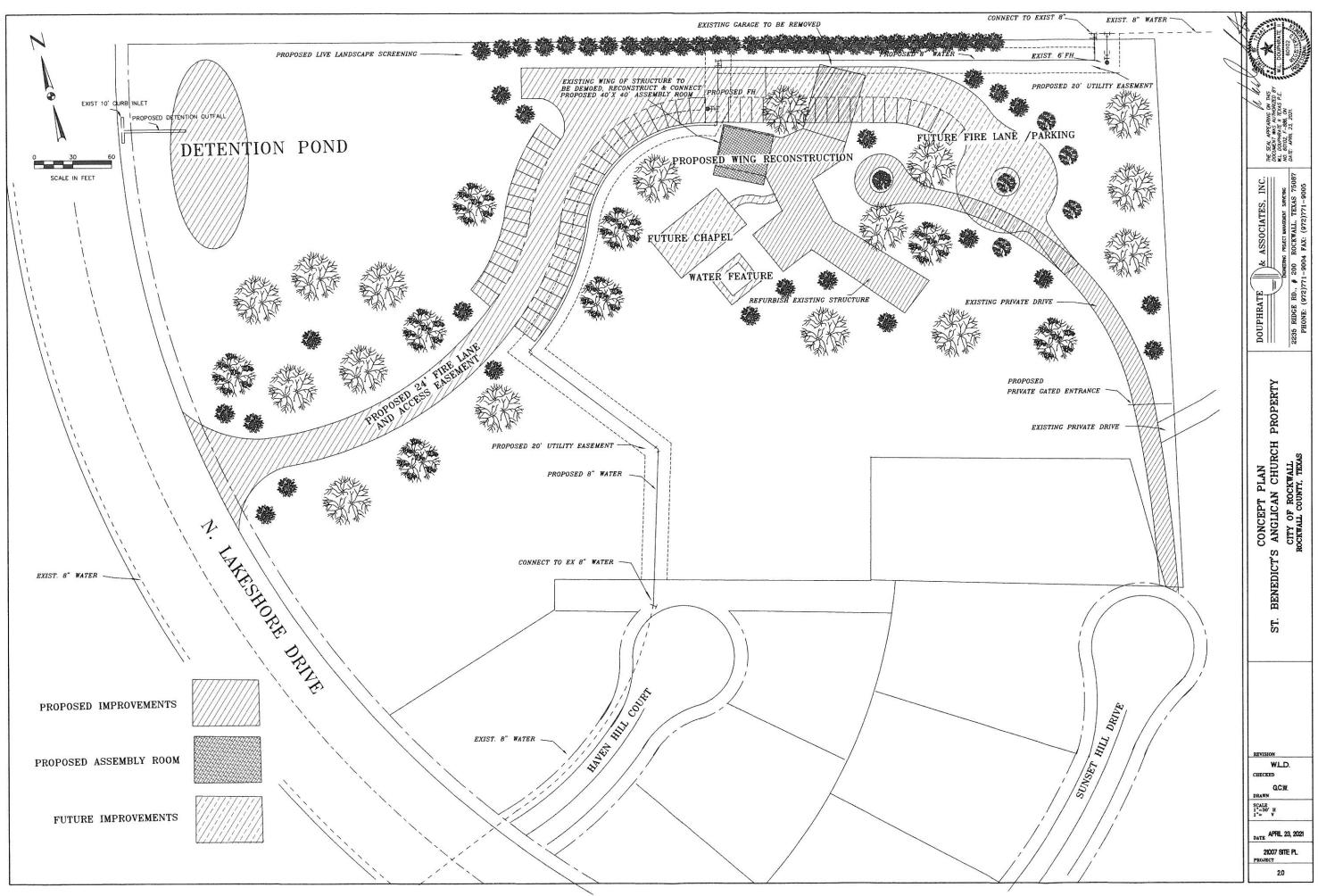
DEFEBAUGH CONNOR AND KELSEY BYRNES 615 CHRISTIAN COURT ROCKWALL, TX 75087

> GRIFFIN BILLY G AND PATRICIA L 617 CHRISTAN CT ROCKWALL, TX 75087

DEMEYER DANIEL T & ELAINE S 620 KNOLLWOOD DR ROCKWALL, TX 75087

STIEGELMAR RICHARD AND STIEGELMAR JACK 7 MAGNOLIA DR MEXICO BEACH, FL 32456 DOLAS TAMARA AND DALIBOR 710 BELFORT DR ROCKWALL, TX 75087 VILLARREAL GONZALO FLORES AND EDITH 711 MCFARLIN PL ROCKWALL, TX 75087 ANDERSON STEPHEN R & CHRISTINE R 712 BELFORT DRIVE ROCKWALL, TX 75087

THOMPSON BENJAMIN 713 MCFARLIN PLACE ROCKWALL, TX 75087 2013 ABBONDANDOLO FAMILY TRUST 714 BELFORT DR ROCKWALL, TX 75087 PARAMOUNT LAURELS LLC PO BOX 786 WYLIE, TX 75098



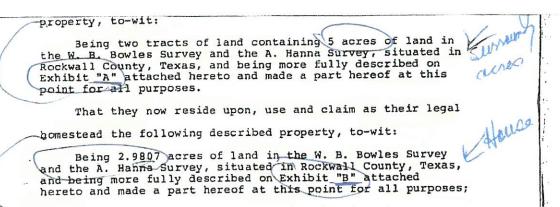
2021-100

23050-13 pb TF# 17740 PLH/jaf 92696

NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD

STATE OF TEXAS ) COUNTY OF ROCKWALL )

VOL 460-45E 18



which said last described property is urban in nature.

EXHIBIT "A" TO NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD FROM RALPH M. HALL AND WIFE, MARY ELLEN HALL, TO THE PUBLIC

TRACT ONE:

200 PIN 20

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being a portion of the alleys in Block J and Block H of NORTHSHORE PHASE TWO, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Slide A, Page 328, Plat Records, Rockwall County, Texas, and subsequently vacated by Vacation of Plat recorded in Volume 198, Page 633, Real Estate Records, Rockwall County, Texas, and being the same tract of land described in a Warranty Deed from First Texas Savings Association to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records, and being more particularly described as follows: BEGINNING at an iron rod on the most Northerly East line of the

above mentioned vacated Plat, said point being the Notheast corner of the above cited Deed, said point also being at the Northerly Northwest corner of a tract of land conveyed to Ralph Hall, recorded in Volume

, Page \_\_\_\_, Rockwall County Deed Records; THENCE along the West lines of said Hall Tract, recorded in Volume \_\_\_\_\_, Page \_\_\_\_, and the most Northerly East lines of said Vacated Plat as follows: 5, 00° 13' 39" W. a distance of 130.00 feet to an iron rod for a

corner;

S. 89° 39' 42" E. a distance of 126.84 feet to an iron rod for a

corner; S. 00° 22' 42" W. a distance of 299.78 feet to an iron rod for a corner at the most Southerly Southwest corner of said Hall Tract, recorded in Volume \_\_\_\_, Page \_\_\_\_, said point alos being on the North line of NORTHSHORE PHASE 2-A, a proposed Addition to the City of Rockwall;

THENCE along a North line of said proposed Addition in a Northwesterly direction along a curve to the right, having a central angle of 20° 54' 33" a radius of 50.00 feet, a chord bearing of N. 78° 48' 21" W., a chord of 18.15 feet, a distance of 18.25 feet to an iron rod for a corner

THENCE S. 21° 38' 55" W. a distance of 20.00 feet to an iron rod for a corner at the Northwest corner of Lot 1, Block A of said proposed Addition;

THENCE S. 54° 03' 59" W. along the Northwest line of said Lot 1 a distance of 148.27 feet an iron rod for a corner in the Easterly line of North Lake Shore Drive;

THENCE along the Easterly line of North Lake Shore Drive as follows:

In a Northerly direction, along a curve to the right, having a central angle of 18° 13' 08" a radius of 750.00 feet, a chord bearing N. 26° 49' 27" W., a chord of 237.48 feet, and an arc distance of 238.49 feet to an iron rod for a corner; N. 17° 42' 53" W. a distance of 131.37 feet to an iron rod at the N. 1/- 42 DS W. A GIBTANCE OF 131.3/ FEET to an iron rod at the Point of Curvature of a curve to the right, having a central angle of 15° 21' 28" a radius of 750.00 feet, a chord bearing of N. 10° 02' 09" W., a chord of 200.43 feet, and an arc distance of 201.03 feet to an iron rod for a corner; THENCE S. 89° 29' 00" E. a distance of 202.97 feet to the POINT SCINNING and containing 2 5547 percent of land

OF BEGINNING and containing 2.6547 acres of land.

TRACT TWO:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume

VOL 460 PAGE 21

Page \_\_\_\_\_, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E, a distance of 227.50 feet to an iron rod for corner; THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod

for a corner; THENCE 5. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows: N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a

corner; N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner; N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

and, Saue & except for , 53/8 acres, the Ralph Hall addition, Phase 2, Lot 10, described in Val. 5349, page 1, of the Rochust Co. Deer Record

This make The surrounding

Exhibit "A" - page 2

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ENERGY 'S' IO NON-HOMESTEAD AFFIDAVIT AND DESIGNATION OF HOMESTEAD FROM FROM H. HALL AND WIFE, MARY ELLEN HALL, TO THE PUBLIC

All that certain lot, tract or parcel of land being a 5.326 acre tract of land out of the A. Hanna Survey, and the W. B. Bowles Survey, Rockwall County, Texas, and being a portion of a 2.00 acre tract and a 5.00 acre tract as recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

BEGINNING at the Northwest corner of a 2.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas; THENCE along the North line of said 2.00 acre tract, South 89°

29' East, 628.5 feet to an iron pin; THENCE South 00° 20' 43" West, 430.00 feet to an iron pin in the

THENCE South 00° 20' 43" West, 430.00 feet to an iron pin in the South line of a 5.00 acre tract recorded in Volume 87, Page 488, Deed Records, Rockwall County, Texas;

THENCE along said South line, North 89° 29' West 501.00 feet to the Southwest corner of said 5.00 acre tract; THENCE North 00° 20' 43" East, 300.00 feet to the Northwest

THENCE North 00° 20' 43" East, 300.00 feet to the Northwest corner of said 5.00 acre tract and being in the South line of said 2.00 acre tract;

THENCE along the South line of said 2.00 acre tract, North 89° 29' West 127.5 feet to an iron pin and the Southwest corner of said 2.00 acre tract;

THENCE North 00° 20' 43" East, 130.00 feet to the Point of Beginning, containing 5.326 acres of land, more or less.

SAVE AND EXCEPT THE FOLLOWING DESCRIBED TRACT OF LAND:

All that certain lot, tract or parcel of land situated in the W. B. Bowles Survey, Abstract No. 12, and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being part of a 5.326 acre tract of land conveyed to Ralph M. Hall by Deed recorded in Volume \_\_\_\_\_, Page \_\_\_\_, Rockwall County Deed Records, and being more particularly described as follows:

BEGINNING at iron rod at the Northwest corner of the above cited tract of land, said point also being the Northeast corner of a tract of land described in a Warranty Deed from First Texas Savings Associates to Ralph M. Hall, as recorded in Volume 200, Page 665, Rockwall County Deed Records;

THENCE S. 89° 29' 00" E. a distance of 227.50 feet to an iron rod for corner;

THENCE S. 00° 22' 42" W. a distance of 300.00 feet to an iron rod for a corner;

THENCE S. 89° 29' 00" E. a distance of 329.22 feet to an iron rod for a corner;

THENCE S. 00° 20' 43" W. a distance of 129.38 feet to an iron rod for a corner in the South line of the above cited 5.326 acre tract;

THENCE N. 89° 29' 00" W. along the South line of said 5.326 acre tract a distance of 429.61 feet to an iron rod for corner at the Southwest corner of said 5.326 acre tract, said point also being the most Easterly Southeast corner of the above cited tract recorded in Volume 200, Page 665;

THENCE along the West lines of said 5.326 acre tract and the East lines of said tract recorded in Volume 200, Page 665, as follows: N. 00° 22' 42" E. a distance of 299.78 feet to an iron rod for a

corner; N. 89° 39' 42" W. a distance of 126.84 feet to an iron rod for a corner; N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF

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olanon jelo Samon jelo

4 St.

N. 00° 13' 39" E. a distance of 130.00 feet to the POINT OF BEGINNING and containing 2.3453 acres of land.

PILED FOR RECORD 2011 DAY OF March .A.D., 1989 at \_\_\_\_\_\_\_ RECORDED \_\_\_\_\_\_\_ DAY OF March .A.D., 1989 at \_\_\_\_\_\_\_ PAULETTE BURKS, COUNTY CLERK ROCKWALL COUNTY, TEXAS. BY:\_\_\_\_\_\_\_\_, DEPUTY

1. 4 . 1

## CITY OF ROCKWALL

## ORDINANCE NO. 21-XX

## SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CHURCH/HOUSE OF WORSHIP WITHIN A SINGLE-FAMILY 10 (SF-10) DISTRICT, ON A 7.45-ACRE TRACT OF LAND. IDENTIFIED AS TRACTS 3 & 10 OF THE W. B. BOWLES SURVEY, ABSTRACT NO. 12 AND THE A. HANNA SURVEY, ABSTRACT NO. 98, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO (\$2,000.00) FOR EACH OFFENSE; THOUSAND DOLLARS PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A **REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.** 

**WHEREAS**, a request has been made by St. Benedict's Anglican Church on behalf of Brett Hall for the approval of a Specific Use Permit (SUP) for a *Church/House of Worship* on a 7.45-acre tract of land identified as Tracts 3 & 10 of the W.B. Bowles Survey, Abstract No. 12 and the A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1500 Sunset Hill Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

# NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Church/House of Worship* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

**SECTION 2.** That the Subject Property shall be subject to the requirements set forth in Subsection 02.03(C)(2), Church/House of Worship, of Article 04, Permissible Uses and

Subsection 03.07, Single-Family 10 (SF-10) District, of Article 05, District Development Standards, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and as my be amended in the future -- and the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Church/House of Worship* land use on the *Subject Property* and conformance to these conditions is necessary for continued operations:

- (1) The *Church/House of Worship* facility shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) Any changes or additions to the exterior of the existing structures or the addition of new structures shall be required to be reviewed by the Architectural Review Board (ARB) and approved by the Planning and Zoning Commission.
- (3) Headlight screening shall be incorporated adjacent to the parking areas indicated in the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (4) Three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be incorporated adjacent to the northern property line of the subject property generally as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits,* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

(1) Upon obtaining a Certificate of Occupancy (CO), should any business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (*\$2,000.00*) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged

invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

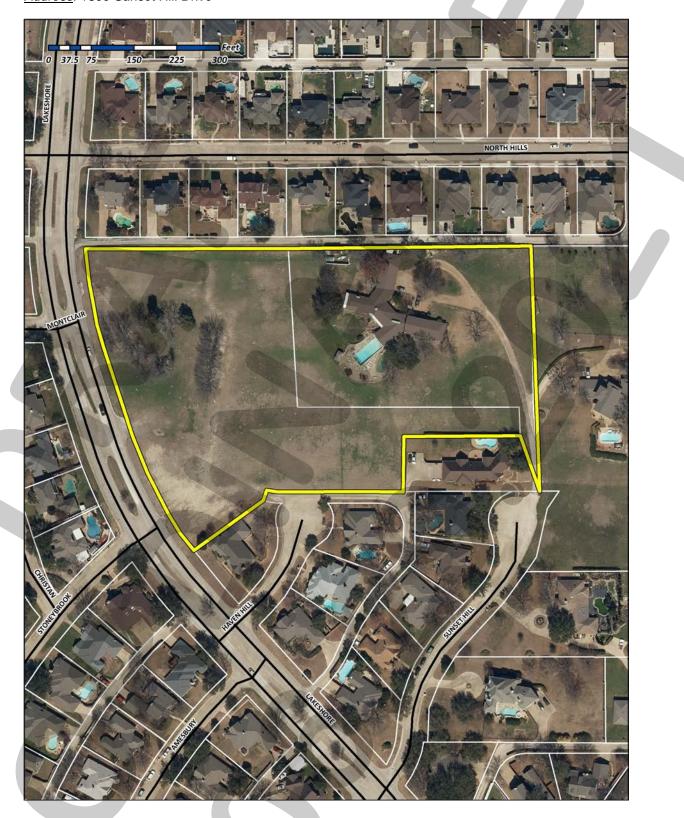
SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup>DAY OF AUGUST 2021.

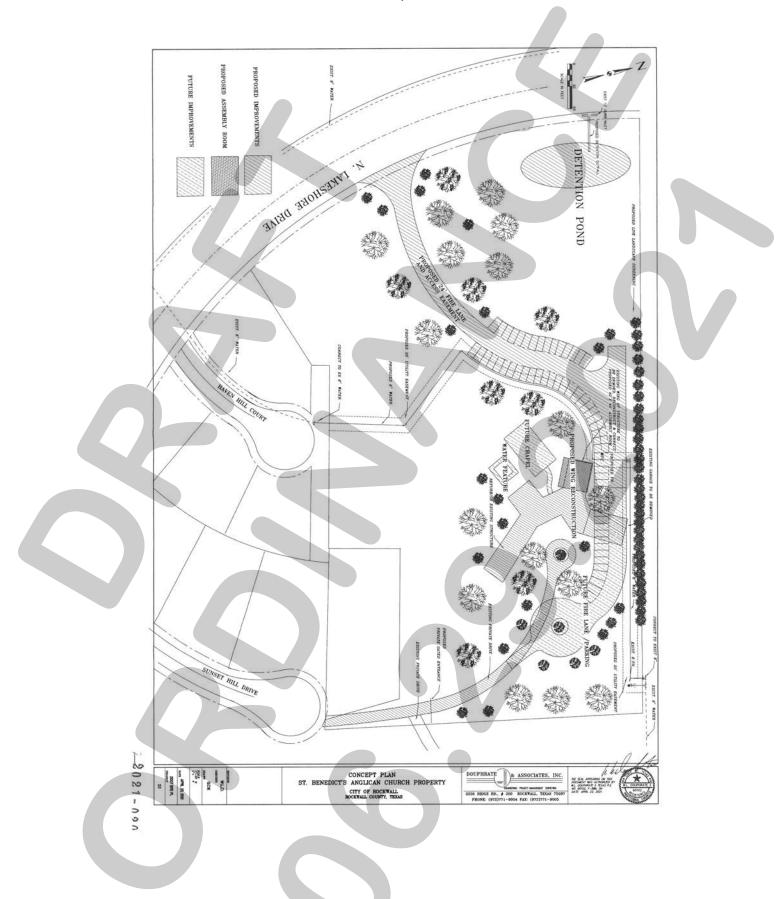
ATTEST:	Kevin Fowler, Mayor
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 <sup>st</sup> Reading: <u>July 19, 2021</u>	
2 <sup>nd</sup> Reading: <u>August 2, 2021</u>	

## **Exhibit 'A'** Legal Description and Location Map

<u>Legal Description</u>: Tracts 3 & 10 of the W. B. Bowles Survey, Abstract No. 12 and A. Hanna Survey, Abstract No. 98 <u>Address</u>: 1500 Sunset Hill Drive



## Exhibit 'B' Concept Plan



# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: Z2021-021 SUP for The Vault Self Storage 1280 E RALPH HALL PKWY, ROCKWALL, 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	06/25/2021	Approved w/ Comments	

06/25/2021: Please address the following comments. (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) to allow the expansion of an existing Mini-Warehouse Facility on a 6.06-acre parcel of land identified as Lot 1,

Block C, Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1280 E. Ralph Hall Parkway.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 On future submittals please include the case number (Z2021-021) of the project in the lower right hand corner.

I.4 According to Subsection 02.03 J.1, of Article 04, of the Unified Development Code, "(t)he number of storage units per acre shall not exceed 125, the minimum number of storage units shall be 10; and the maximum site areas shall be five [5] acres." The request as proposed, being a development of less than five (5) acres and not exceeding 125 units per acre is in conformance with the use requirements of the UDC."

I.5 According to Subsubsection 03.02, of Article 11 of the Unified Development Code, "All expansions of an existing non-residential building or structure that increases the existing floor area by 30% or that adds 2,000 SF of floor area" shall be required to submit an amended site plan.

M.6 On the site plan indicate the percent increase in the square footage of building area and the site area versus existing square footages. Additionally, indicate the square footage of the existing buildings that are to be removed. Include all site data, which includes lot area, lot coverage, and impervious cover.

I.7 According to Subsection J.1, of Article 04, of the Unified Development Code, "Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line."
I.8 According to Subsection J.1, of Article 04, of the Unified Development Code," The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required. Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s)."

I.9 This project being an expansion of the existing site by more than thirty (30%) percent and including the addition of a non-permeable coverage greater than 2,000 square feet is required to meet the current landscaping requirements. The property being located within the SH-205 Overlay (SH-205 OV) District is subject to the following landscaping requirements:

1. A minimum landscape percentage of 20% is required for the Commercial (C) District.

2. A 20-foot landscape buffer is required adjacent to Ralph Hall Parkway.

3. Two (2) canopy trees (four [4] in caliper] and four (4) accent trees, as defined in Article 08 of the UDC, shall be provided in the required buffer for every 100 linear feet of street frontage.

### 4. Irrigation will be required for all landscaping.

I.10 According to Subsection 02.03 J.1, of Article 04, of the Unified Development Code, "The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage building."

M.11 Provide a landscape plan showing compliance to the landscape requirements.

I.12 According to Subsection 02.03 J.1, of Article 04, of the Unified Development Code," All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited."

M.13 Add a note on the site plan indicating that all new paving shall be concrete.

I.14 According to Subsection 02.03 J.1, of Article 04, of the Unified Development Code, "Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls."

M.15 Will there be any additional HVAC or RTU's incorporated with this project? If so please indicate the location of all additional equipment and include a note stating that all equipment shall be screened from view in compliance with the UDC.

M.16 Will there be any additional lighting incorporated adjacent to Ralph Hall Parkway? If so please indicate the location and provide staff with a spec sheet showing the proposed lighting fixtures. Make sure that all additional lighting complies with the UDC.

I.17 The subject property is within the SH-205 Overlay District and will be subject to all requirements of the Overlay District, including the exterior material requirements. These items will be covered during the site plan.

I.18 Please review the attached Draft Ordinance prior to the Planning & Zoning Meeting on June 29, 2021.

I.19 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Unless previously stated, revisions for this case will be due to staff on July 6, 2021 by no later than 3:00 p.m.; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning & Zoning Meeting.

I.20 The projected City Council Meeting dates for this case are as follows: 1) First Reading, July 19, 2021; 2) Second Reading, August 2, 2021.

1.21 As a condition of this Specific Use Permit (SUP) staff will be requiring the applicant to submit a site plan to be reviewed and approved prior to the issuance of a building permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review

06/23/2021: M - Proposed 8" water line to connect to each fire hydrant on your side of the street.

M - Where does this water line connect to?

M - Any grading in the floodplain will require a flood study to be completed. Review fees apply.

The following items are for your information for the engineering design process.

General Items:

M - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

### Drainage Items:

M - Detention is required. Will need to detain for all additional impervious areas.

I - Dumpster areas to drain to oil/water separator and then to the storm lines.

I - No vertical walls in the detention.

I- No Grate Inlets allowed.

I - Flood Study required to determine the 100-yr fully developed water surface elevations of adjacent creeks and the erosion hazard setback.

Water and Wastewater Items:

I - Must loop 8" water line on site.

I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

I - Minimum public sewer is 8".

I - Must keep separation of 10ft from water and sewer.

I - Water and sewer to be 10ft clear of other utilities and structures.

Roadway Paving Items:

I - Parking to be 20'x9' facing the building or nose-to-nose. I - No dead-end parking allowed without an City approved turnaround.

I - Drive isles to be 24' wide.

I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

I - Fire lane to be in a platted easement.

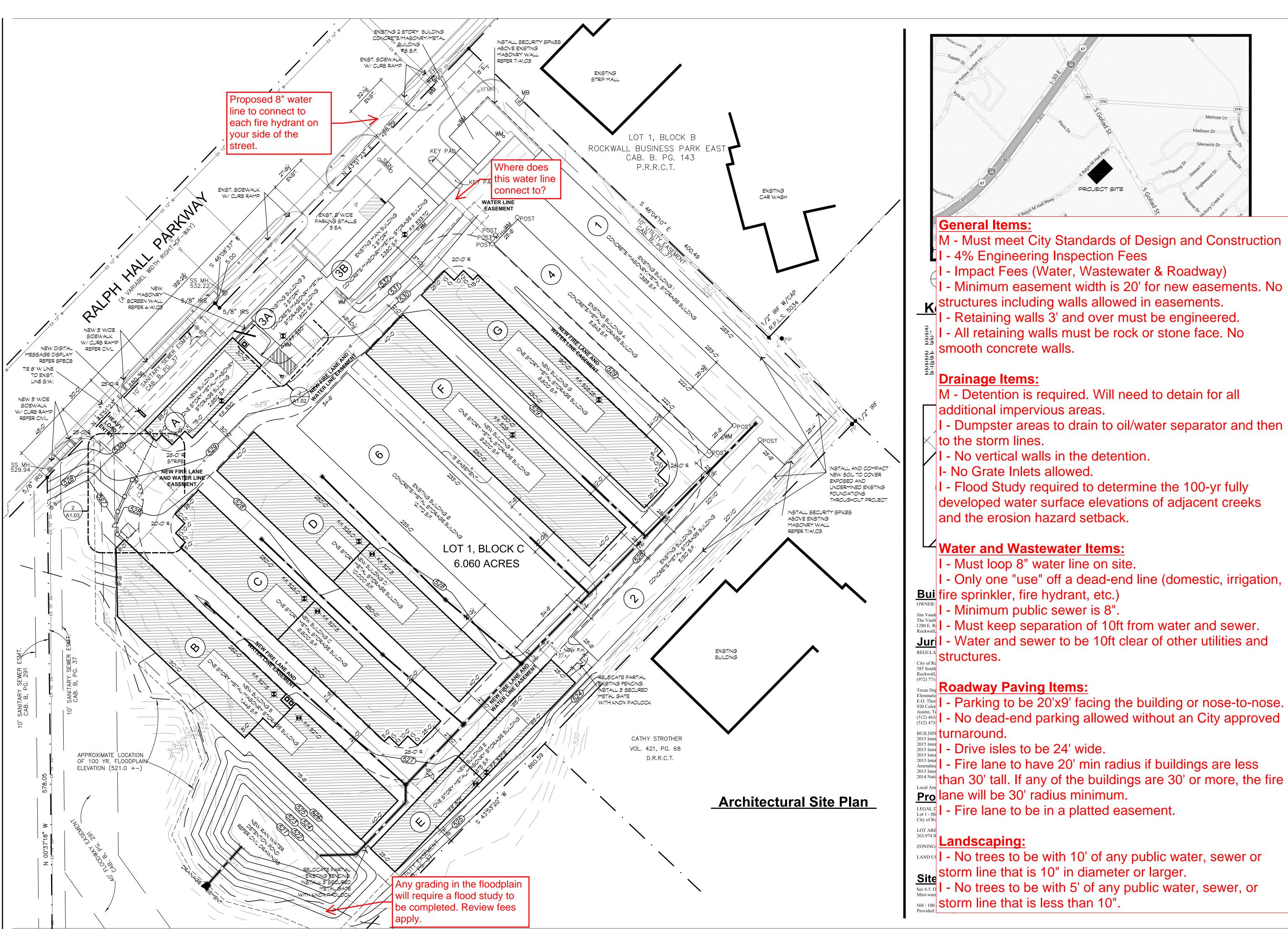
Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	

06/21/2021: No Comments



- nc S tect • ľC ťΖ Sei 18 May 2021 Submissio age 0 elf Approval S Facility Exp he Vault Se Rockwall, SUP file # 21-004 Site project # 21-004 date 18 May 2021 revisions sheet



	DEVELODMENT	T APPLICATION		FF USE ONLY			
1		AFFLICATION		INING & ZONING CASE			
	City of Rockwall	Department	CITY	: THE APPLICATION IS UNTIL THE PLANNING L	NOT CONSIDE	ERED ACCEPTED BY TI D CITY ENGINEER HAV	HE /E
	Planning and Zoning 385 S. Goliad Street	Department	SIGN	ED BELOW.			
	Rockwall, Texas 75087			CTOR OF PLANNING:			
			CITY	ENGINEER:			-
PLEASE CHECK THE A	PPROPRIATE BOX BELOW TO IND	XCATE THE TYPE OF DEVELOPM	ENT REC	QUEST [SELECT ONL	Y ONE BOX]:		
PLATTING APPLICA				CATION FEES:			
	\$100.00 + \$15.00 ACRE) 1 LAT (\$200.00 + \$15.00 ACRE) 1			ANGE (\$200.00 + \$15 SE PERMIT (\$200.00			
FINAL PLAT (\$30	0.00 + \$20.00 ACRE) 1	D PD	DEVELO	PMENT PLANS (\$200	.00 + \$15.00	ACRE) 1	
AMENDING OR N	) + \$20.00 ACRE) 1 /INOR PLAT (\$150.00)			CATION FEES:			
PLAT REINSTATI	EMENT REQUEST (\$100.00)			OVAL (\$75.00) REQUEST (\$100.00)			
SITE PLAN APPLICA		NOTES:					
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L		ACRE, F	OUND UP	TO ONE (1) ACRE.			
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	1280 E. Ralph Hall Pa	arkway Rockwall Tex	as 75	032			
	Rockwall Business Pa		40 / 0	LOT	1	BLOCK	
	SE Corner at Highway		lavov			BLOCK	
			Kway				
	AN AND PLATTING INFOR	MATION [PLEASE PRINT]					
CURRENT ZONING	Commercial	CURRE	NT USE	Self Storage			
PROPOSED ZONING	Commercial	PROPOSE	D USE	Additional Se	elf Storag	ge	
ACREAGE	6.06	LOTS [CURRENT]		LOTS [PR	OPOSED]	1	
REGARD TO ITS AF	<u>PLATS</u> : BY CHECKING THIS BOX YOU PPROVAL PROCESS, AND FAILURE TO NIAL OF YOUR CASE.	U ACKNOWLEDGE THAT DUE TO TH O ADDRESS ANY OF STAFF'S COMMU	E PASSA NTS BY	GE OF <u>HB3167</u> THE C THE DATE PROVIDED C	ITY NO LONG	ER HAS FLEXIBILITY V LOPMENT CALENDAR	NITH WILL
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	he Vault Self Storage			Seitz Architec			
CONTACT PERSON	lim Vaudagna				,		
		CONTACT PER	RSON	Stephen Seitz			
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	280 E. Ralph Hall Park Rockwall, Texas 75032	KWAY ADD	RESS	•	ake Lane	9	
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## ACKNOWLEDGMENT

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California County of Santa Clara} ss.

5/18/21 On

before me, J. NAT, Notary Public,

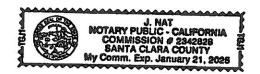
personally appeared James Vaudagna

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are-subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their-authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Nat Signatur

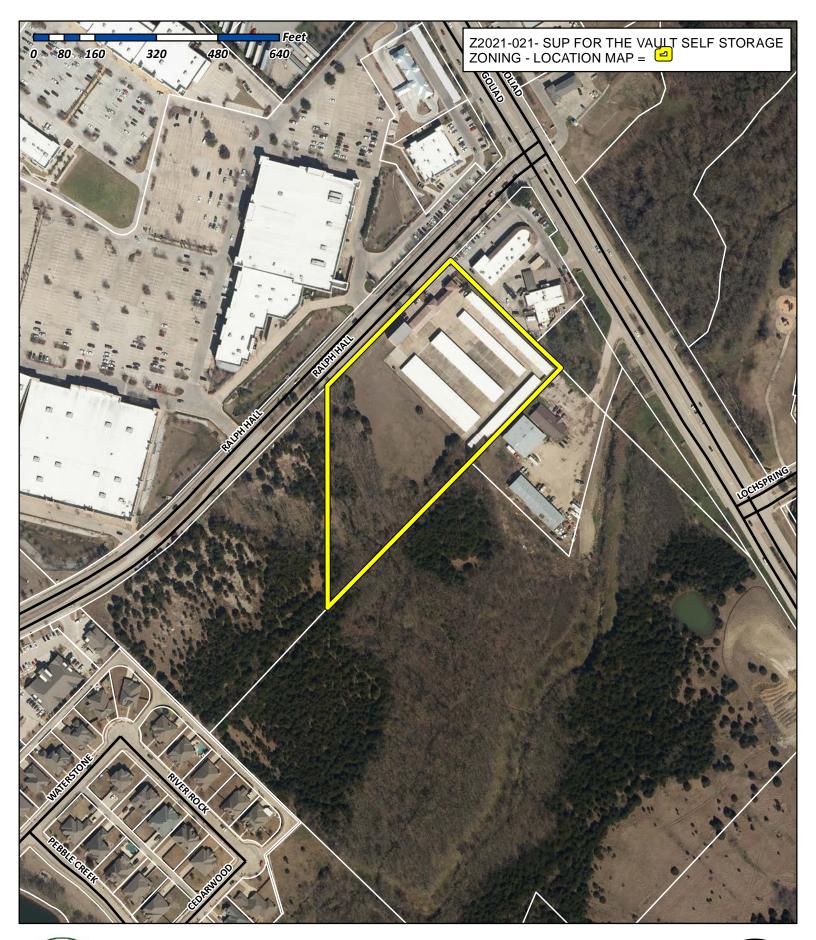


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0	PTIONAL INFORMATION	
Date of Document Type or Title of Document	Development Application	Thumbprint of Signer
Number of Pages in Document	······································	
Document in a Foreign Language		
Type of Satisfactory Evidence: Personally Known with Paper Id Paper Identification Credible Witness(es)	dentification	
Capacity of Signer: Trustee Power of Attorney CEO / CFO / COO President / Vice-President / Secretary / Treasurer Other:		Check here if no thumbprint or fingerprint is available.
Other Information:		

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# **City of Rockwall**

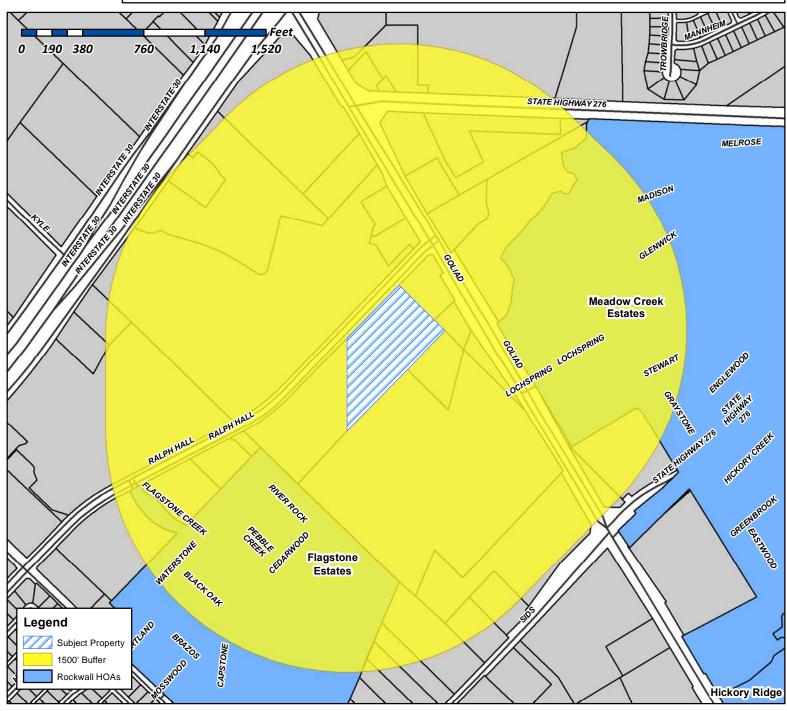
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



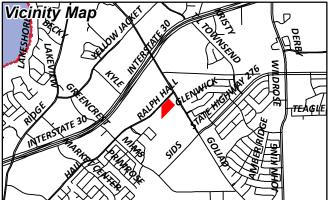
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Case Number:Z2021-021Case Name:SUP for The Vault Self StorageCase Type:ZoningZoning:Commercial (C) DistrictCase Address:1280 E. Ralph Hall Parkway

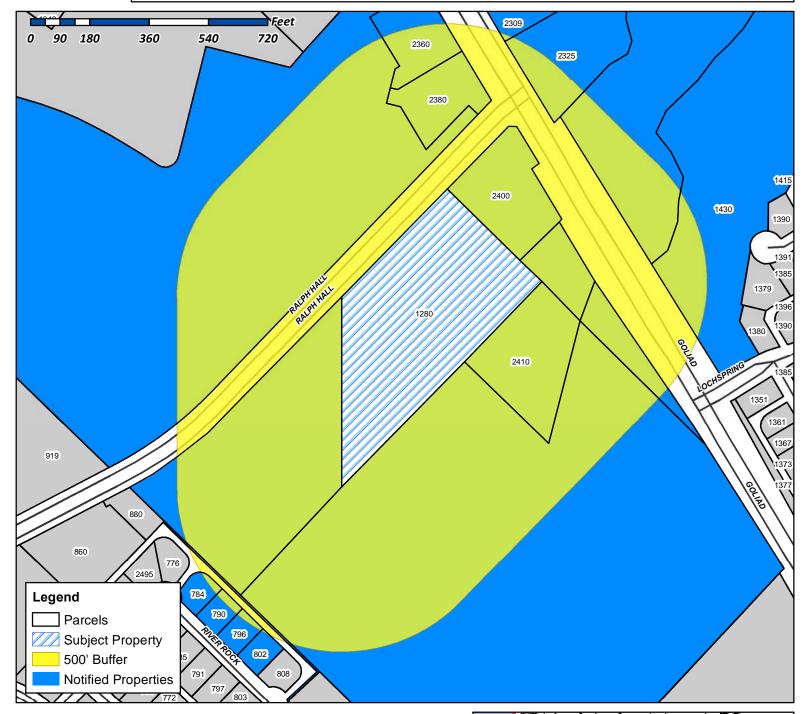


Date Created: 6/14/2021 For Questions on this Case Call (972) 771-7745 **City of Rockwall** 



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Case Name: Case Type: Zoning:	Z2021-021 SUP for The Vault Self Storage Zoning
Zoning:	Commercial (C) District
Case Address:	1280 E. Ralph Hall Parkway



Date Created: 6/14/2021 For Questions on this Case Call (972) 771-7745 SERVIGNA FERNANDO & MIGLIA VILLAOBOS 10625 MATADOR DR MCKINNEY, TX 75070

DALLAS EAST ATTN; JIM VAUDAGNA 1280 E RALPH HALL PKWY ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA 2325 S GOLIAD ROCKWALL, TX 75032

> DALLAS EAST ATTN; JIM VAUDAGNA 2400 S GOLIAD ROCKWALL, TX 75032

BACKUS WAYNE E 278 CORNSTALK RD ROCKWALL, TX 75032

SERVIGNA FERNANDO & MIGLIA VILLAOBOS 784 RIVER ROCKLN ROCKWALL, TX 75032

HENDERSON DAVID AND CHERYL 802 RIVER ROCK LN ROCKWALL, TX 75032 EXCEL ROCKWALL LLC EXCELL ROCKWALL LLC 10920 VIA FRONTERA SUITE 220 SAN DIEGO, CA 92127

> DALLAS EAST ATTN; JIM VAUDAGNA 1445 W SAN CARLOS ST SAN JOSE, CA 95126

GOLIAD EXPRESS LLC 2360 S.GOLIAD SUITE 145 ROCKWALL, TX 75032

STROTHER, CATHY 2410 S GOLIAD ROCKWALL, TX 75032

ROBERTS MARLYN & BARBARA 323 JULIAN DRIVE ROCKWALL, TX 75087

> ROBITZSCH DON W 790 RIVER ROCK LN ROCKWALL, TX 75032

STROTHER, CATHY 8935 CR 589 NEVADA, TX 75173 LEVO GROUP LLC 11 HAWTHORNE CIR ALLEN, TX 75002

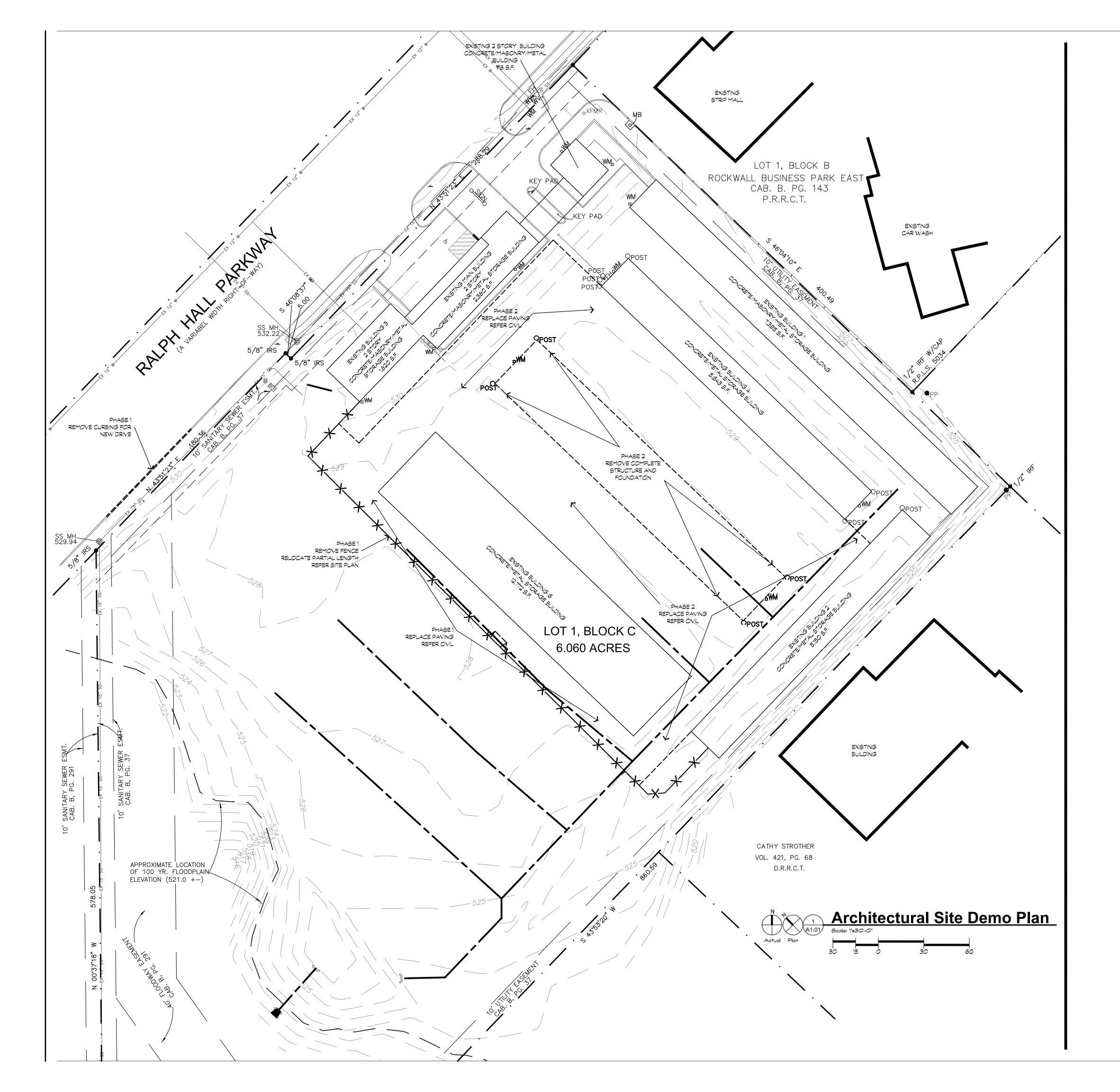
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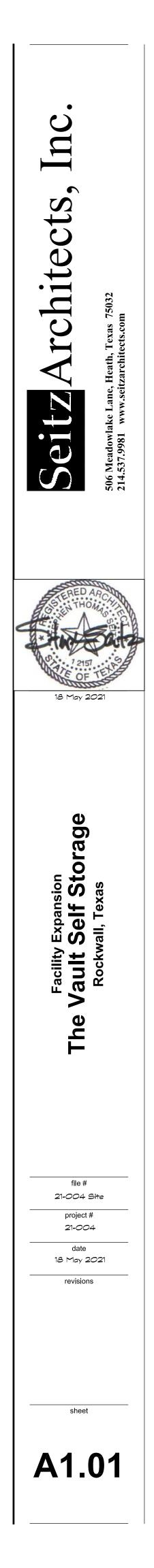
REA-TRA LLC 2380 S GOLIAD SUITE 100 ROCKWALL, TX 75032

HOWELL MTN RE LLC 2560 TECHNOLOGY DRIVE SUITE 100 PLANO, TX 75074

GOLIAD EXPRESS LLC 700 PARKER SQUARE SUITE 145 FLOWER MOUND, TX 75028

ZILINSKAS MATTHEW & CAROL 796 RIVER ROCK LANE ROCKWALL, TX 75032





# Building Information

Jim Vaudagna The Vault Self Storage 1280 E. Ralph Hall Parkway Rockwall, Texas 75087

## Jurisdiction of Project REGULATORY AUTHORITIES:

City of Rockwall, Texas 385 South Goliad Street Rockwall, Texas 75087 (972) 771-7700

Texas Department of Licensing and Regulation Elimination of Architectural Barriers E.O. Thompson State OfficeBuilding 920 Colorado Austin, Texas 78701 (512) 463-3211 (512) 475-2886 (FAX) BUILDING DESIGN CODE:

2015 International Building Code with local amendments 2015 International Plumbing Code with local amendments 2015 International Fuel Gas Code with local amendments 2015 International Mechanical Code with local amendment 2015 International Energy Conservation Code with local A

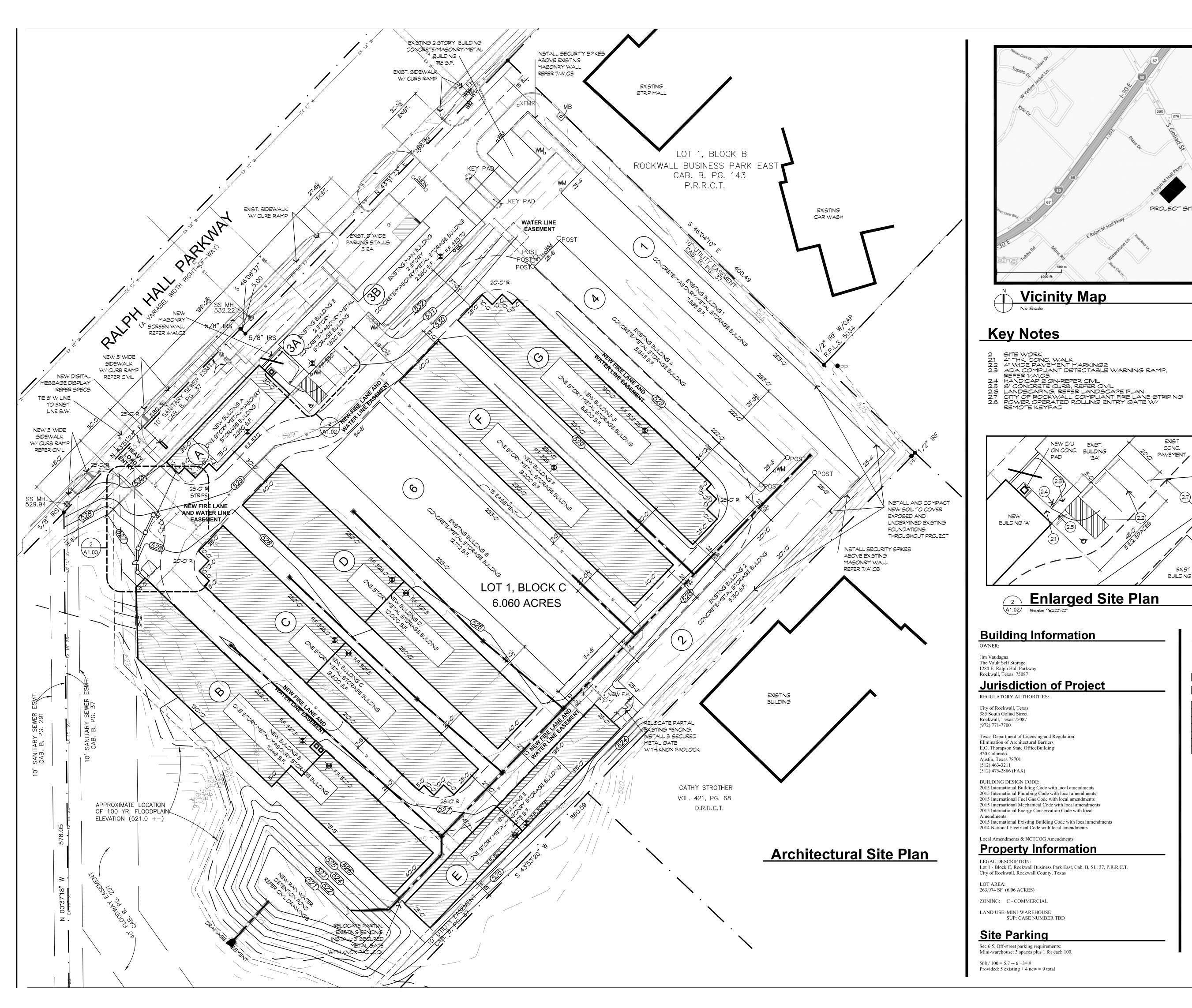
2015 International Fuel Gas Code with local amendments 2015 International Energy Conservation Code with local Amendments 2015 International Existing Building Code with local amendments 2014 National Electrical Code with local amendments

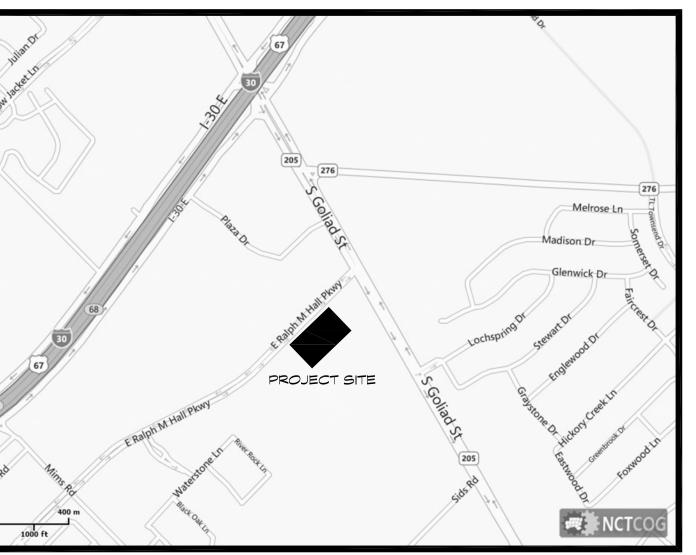
Local Amendments & NCTCOG Amendments

## **Property Information** LEGAL DESCRIPTION:

Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL. 37, P.R.R.C.T. City of Rockwall, Rockwall County, Texas

LOT AREA: 263,974 SF (6.06 ACRES) ZONING: C - COMMERCIAL LAND USE: MINI-WAREHOUSE SUP: CASE NUMBER TBD

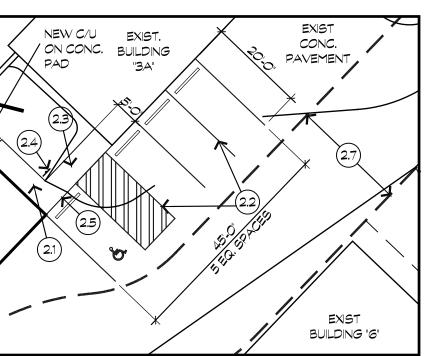




# Vicinity Map



1) NEW MASONRY SCREEN SHALL HAVE PILASTERS AT MAX. 15' O.C. SEE DETAILS ON SHEET A1.03



# Enlarged Site Plan

# **Building Information**

Jurisdiction of Project

2015 International Building Code with local amendments 2015 International Plumbing Code with local amendments 2015 International Fuel Gas Code with local amendments 2015 International Mechanical Code with local amendments

2015 International Existing Building Code with local amendments 2014 National Electrical Code with local amendments

Lot 1 - Block C, Rockwall Business Park East, Cab. B, SL. 37, P.R.R.C.T. City of Rockwall, Rockwall County, Texas

# **Drawing Index**

# 01/01/00 XX 5.18.21 A1.02 COVER SHEET / SITE PLAN

5.18.21	A3.01	BUILDING "A" ELEVATIONS
5.18.21	A3.02	BUILDING B ELEVATIONS
5.18.21	A3.03	BUILDING "C" ELEVATIONS
5.18.21	A3.04	BUILDING "D" ELEVATIONS
5.18.21	A3.05	BUILDING "E" ELEVATIONS
5.18.21	A3.06	BUILDING "F" ELEVATIONS

5.18.21 A3.07 BUILDING "G" ELEVATIONS

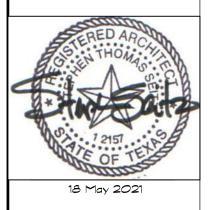
- SHEET ISSUED — DATE ISSUED

-LATEST REVISION NUMBER



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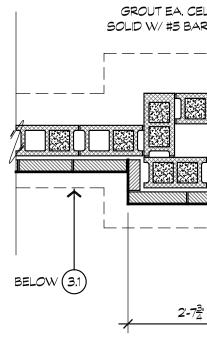
file # 21-004 Site project # 21-004

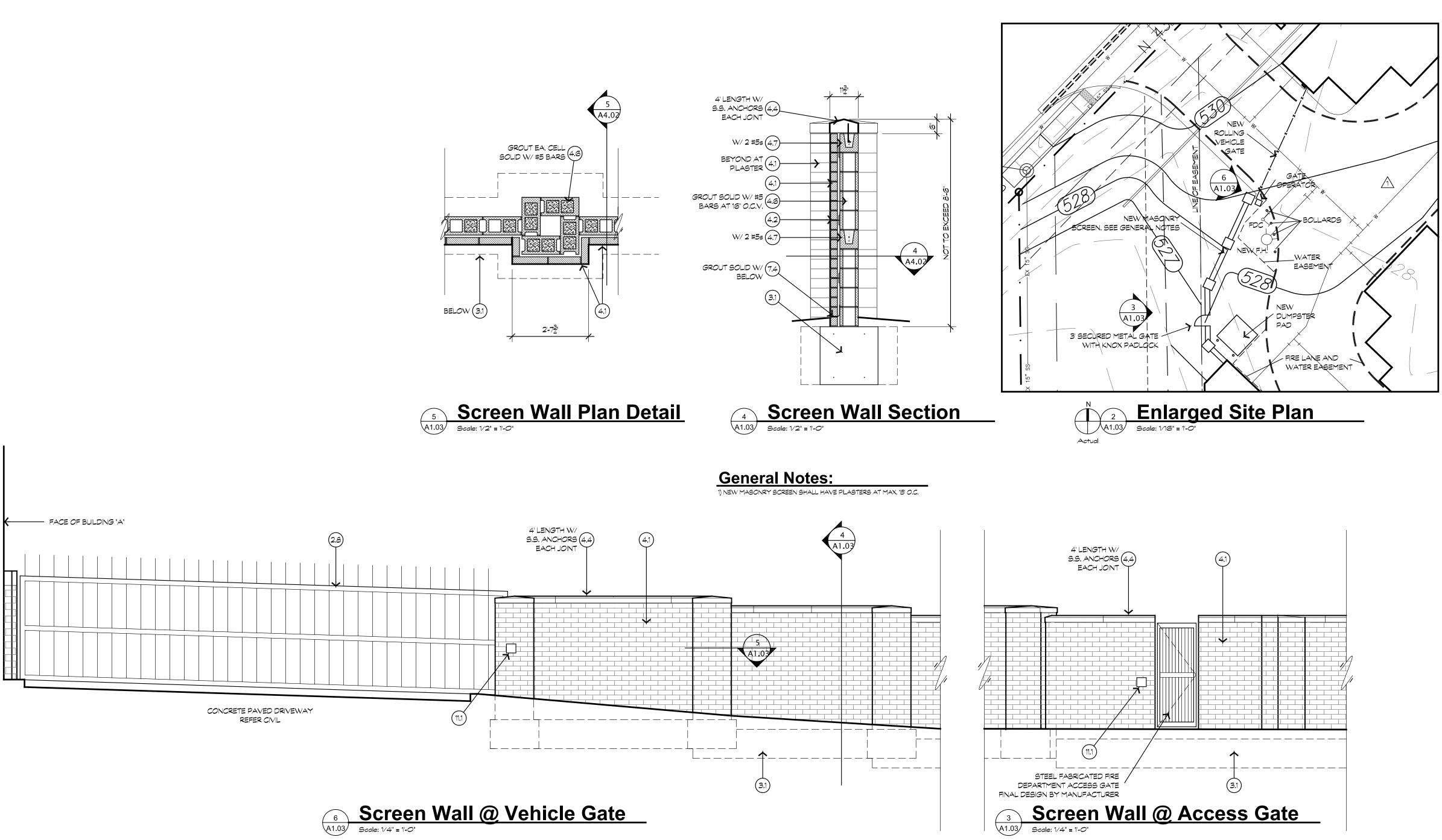
> 18 May 2021 revisions

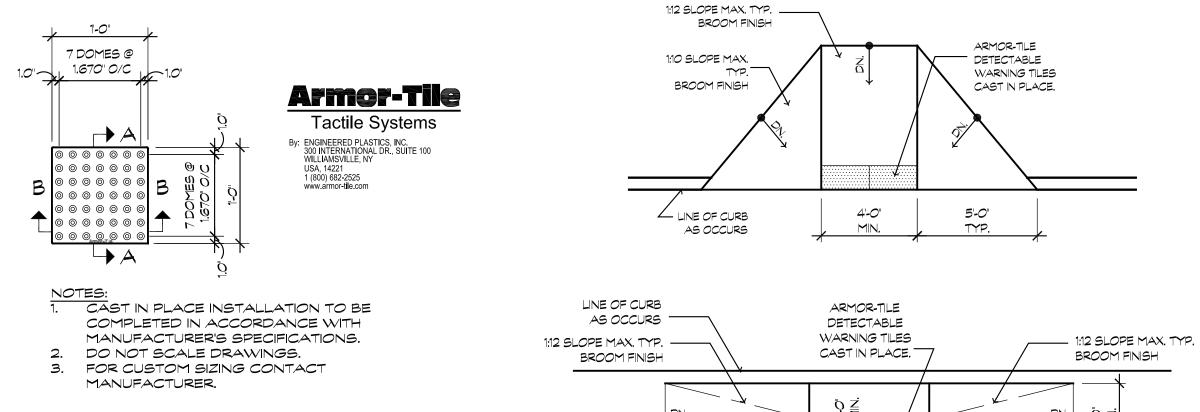
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sheet





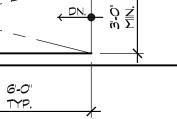




LINE OF CURB

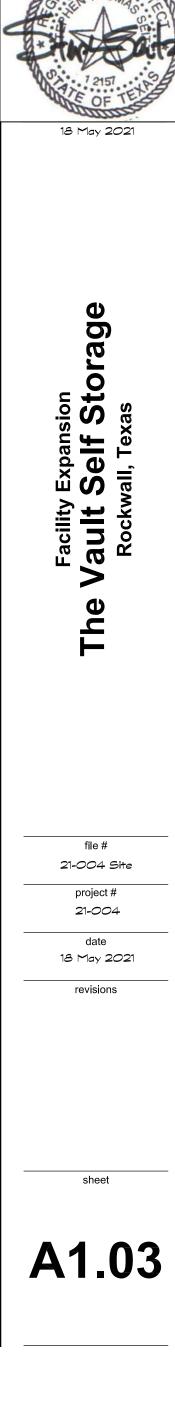
6-0" TYP.

5-0 MIN.



# 1 Typical Curb Ramp Detail A1.03 Scale: 1/4" = 1-0"

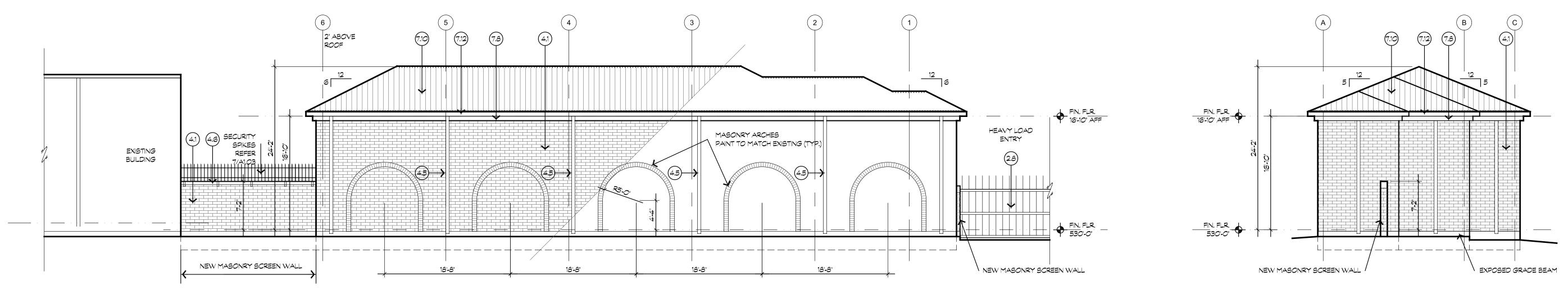
Key Notes	_
"NOTE: REFER SHEET AO.OO FOR MATERIALS LEGEND	
1 GENERAL REQUIREMENTS-NOT USED	
<ol> <li>SITE WORK</li> <li>4" THK. CONC. WALK</li> <li>4" WIDE PAVEMENT MARKINGS</li> <li>3 ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03</li> <li>HANDICAP SIGN-REFER CIVIL</li> <li>6" CONCRETE CURB, REFER CIVIL</li> <li>6" CONCRETE CURB, REFER CIVIL</li> <li>LANDSCAPING, REFER LANDSCAPE PLAN</li> <li>CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING</li> <li>POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD</li> </ol>	ts, Inc
3 CONCRETE 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK	GC
<ol> <li>MASONRY</li> <li>BRICK SHAPE TO MATCH EXIST PAINT TO MATCH</li> <li>ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS</li> <li>MORTAR SCREEN</li> <li>CAST STONE CAP</li> <li>MASONRY CONTROL JOINT: 15'-0" MAX SPACING</li> <li>8" CMU</li> <li>S" CMU BOND BEAM</li> </ol>	Archite
5 METALS 5.1 NOT USED 5.2 MISC. METAL, SIZE AS INDICATED 5.3 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01	
6 WOODS & PLASTICS 6.1 1" ROOF DECKING	
<ul> <li>7 THERMAL AND MOISTURE PROTECTION</li> <li>7.1 CONT. 26 GA. GALV. METAL FLASHING</li> <li>7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED</li> <li>7.3 AIR SPACE</li> <li>7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @</li> <li>2'-O" O.C.</li> <li>7.5 SEALANT AND BACKER ROD</li> <li>7.6 10 MIL. VAPOR BARRIER</li> <li>7.7 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS</li> <li>7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.)</li> <li>7.9 #30 FELT</li> <li>7.10 CLAY SPANISH TILE TO MATCH EXIST</li> </ul>	Se.
8 DOORS AND WINDOWS 8.1 FRAME & DOOR, REFER DOOR TYPES 8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES	STATE OF
9 FINISHES 9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF. 9.2 <sup>1</sup> / <sub>2</sub> " GYPSUM BOARD 9.3 FIBERGLASS REINFORCED PLASTIC	
10 SPECIALTIES - NOT USED	STATE C
11 EQUIPMENT 11.1 FIRE DEPARTMENT KEY LOCK BOX	18 May
12 FURNISHINGS - NOT USED	
<ul> <li>13 SPECIAL CONSTRUCTION</li> <li>13.1 PRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.</li> <li>13.2 PRE-FINISHED INTERIOR METAL WALL PANEL BY MTL. BLDG. MFR.</li> <li>13.3 LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.</li> <li>13.4 STANDING SEAM METAL ROOFING BY MTL. BLD. MANUF.</li> <li>13.5 PRE-FINISHED METAL WALL PANEL BY MTL. BLD. MANUF.</li> <li>13.6 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.</li> <li>13.7 PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.</li> <li>13.8 PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.</li> <li>13.8 PRE-FINISHED METAL SOFFIT/CEILNG PANEL BY MTL. BLDG. MANUF.</li> <li>13.4 CONVEYING SYSTEMS - NOT USED</li> </ul>	sion
15 MECHANICAL	oans ⊿ <b>If</b>
15.1 PLUMBING FIXTURE, REFER PLUMBING 16 ELECTRICAL 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL	Facility Expansion

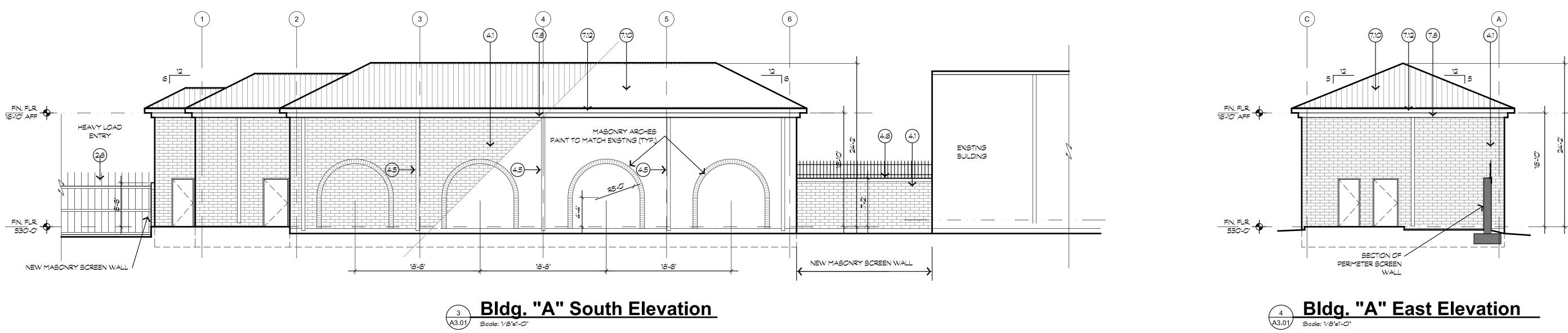


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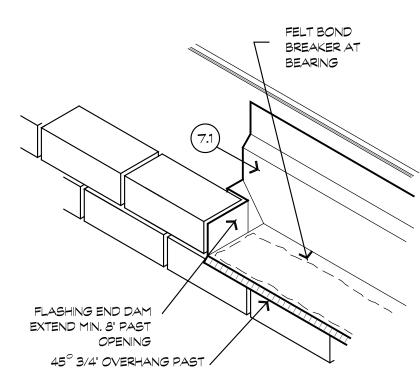




Steel	Steel Lintel Schedule			
CLEAR SPAN	SIZE	MIN. BEARING LENGTH		
UP TO 4'-0"	L 3 1/2" X 3 1/2" X 1/4"	8"		
TO 6'-0"	L 4" X 3 1/2" X 1/4"	8"		
TO 6'-6"	L 4" X 3 1/2" X 5/16"	8"		
TO 8'-0"	L 5" X 3 1/2" X 5/16"	8"		
TO 12'-0"	W 8 X 10	8"		

STEEL LINTEL NOTES:

1. PLACE ANGLES WITH LONG LEG VERTICAL



FACE OF MASONRY



# Bldg. "A" North Elevation

# Key Notes

# "NOTE: REFER SHEET AO.OO FOR MATERIALS LEGEND

- GENERAL REQUIREMENTS-NOT USED

- SITE WORK
   4" THK. CONC. WALK
   4" WIDE PAVEMENT MARKINGS
   ADA COMPLIANT DETECTABLE WARNING RAMP, REFER 1/A1.03
   HANDICAP SIGN-REFER CIVIL
   6" CONCRETE CURB, REFER CIVIL
   6 LANDSCAPING, REFER LANDSCAPE PLAN
   CITY OF ROCKWALL COMPLIANT FIRE LANE STRIPING
   POWER OPERATED ROLLING ENTRY GATE W/ REMOTE KEYPAD
- 3 CONCRETE 3.1 CONCRETE FOUNDATION, REFER STRUCTURAL 3.2 PRE-FABRICATED CONCRETE SPLASH BLOCK
- MASONRY
   BRICK SHAPE TO MATCH EXIST.. PAINT TO MATCH
   ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
   MORTAR SCREEN
   CAST STONE CAP
   MASONRY CONTROL JOINT: 15'-0" MAX SPACING
   8" CMU
   4.7 8" CMU BOND BEAM

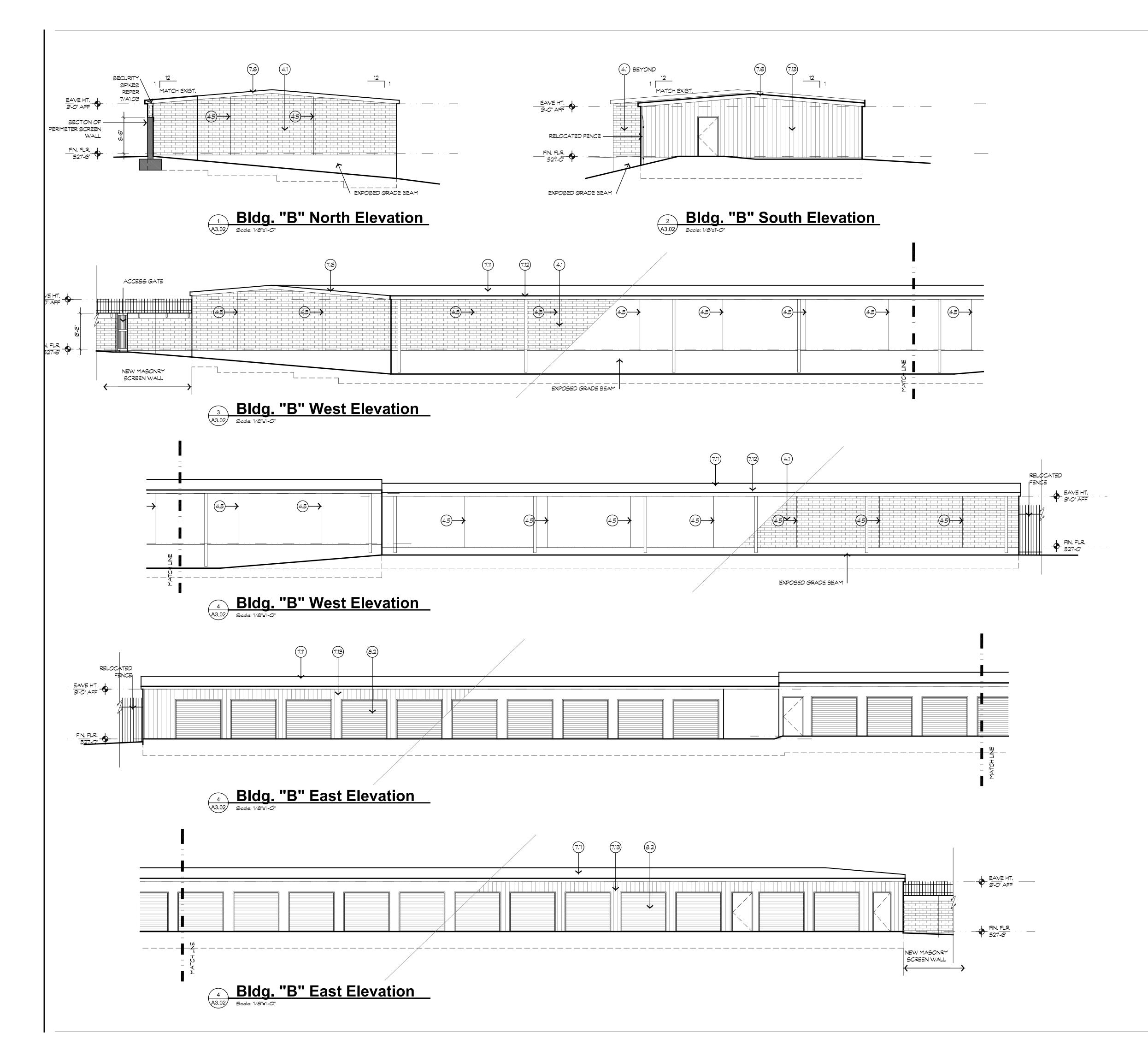
- 5 METALS 5.1 NOT USED 5.2 MISC. METAL, SIZE AS INDICATED 5.3 CONCRETE FILLED STEEL BOLLARD, REFER 5/A2.01
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# 7 THERMAL AND MOISTURE PROTECTION 7.1 CONT. 26 GA. GALV. METAL FLASHING 7.2 VINYL FACED THERMAL BATT INSULATION AS NOTED 7.3 AIR SPACE 7.4 CONT. 24 GA. GALV. FLASHING W/ WEEP HOLES @ 2'-0" O.C. 7.5 SEALANT AND BACKER ROD 7.6 10 MIL. VAPOR BARRIER 7.7 PRE FINISHED 26 GA. RAIN GUTTER AND DOWNSPOUTS 7.8 EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) 7.9 #30 FELT 7.10 CLAY SPANISH TILE TO MATCH EXIST

- 8 DOORS AND WINDOWS
  8.1 FRAME & DOOR, REFER DOOR TYPES
  8.2 ROLL-UP OVER HEAD DOOR, REFER DOOR TYPES
- 9 FINISHES
   9.1 PARTITION PANEL METAL STUD BY MTL. BLDG. MANUF.
   9.2 <sup>1</sup>/<sub>2</sub>" GYPSUM BOARD
   9.3 FIBERGLASS REINFORCED PLASTIC
- 10 SPECIALTIES NOT USED
- 11 EQUIPMENT 11.1 FIRE DEPARTMENT KEY LOCK BOX
- 12 FURNISHINGS NOT USED

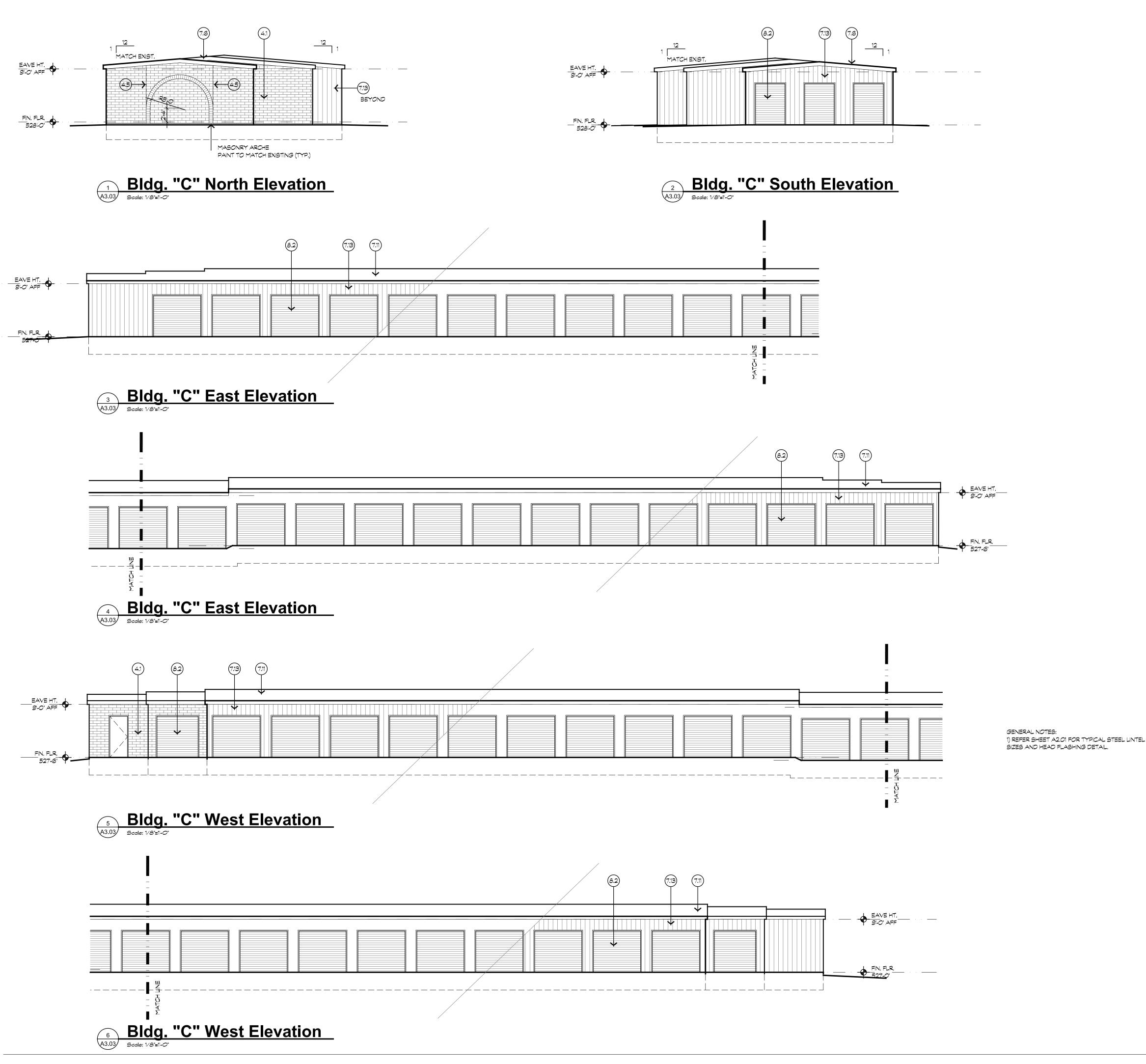


- SPECIAL CONSTRUCTION
   IPRE-ENGINEERED METAL BUILDING FRAME BY MTL. BLDG. MFR.
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   LIGHT GAGE SECONDARY FRAMING BY MTL. BLDG. MFR.
   STANDING SEAM METAL ROOFING BY MTL. BLD.
   MANUF.
   PRE-FINISHED METAL WALL PANEL BY MTL. BLD.
   MANUF.
   PRE-FINISHED METAL TRIM BY MTL. BLDG. MANUF.
   PRE-FINISHED INTERIOR METAL PARTITION PANEL BY MTL. BLDG. MANUF.
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- 14 CONVEYING SYSTEMS NOT USED
- 15 MECHANICAL 15.1 PLUMBING FIXTURE, REFER PLUMBING
- 16 ELECTRICAL 16.1 LIGHT FIXTURE, REFER TO ELECTRICAL
- Inc • rchitects ťΖ Sei 506 Mead 214.537.99 18 May 2021 y Expansion Self Storage wall, Texas Facility **ault** Rockw >The file # 12-014 Elevations project # 21-004 date 18 May 2021 revisions sheet A3.01



- Key Notes "NOTE: REFER SHEET AO.OO FOR MATERIALS LEGEND GENERAL REQUIREMENTS-NOT USED SITE WORK
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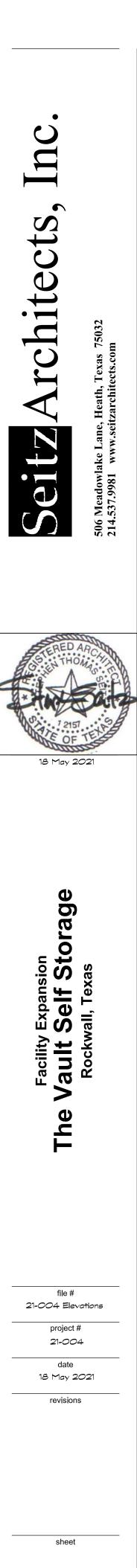




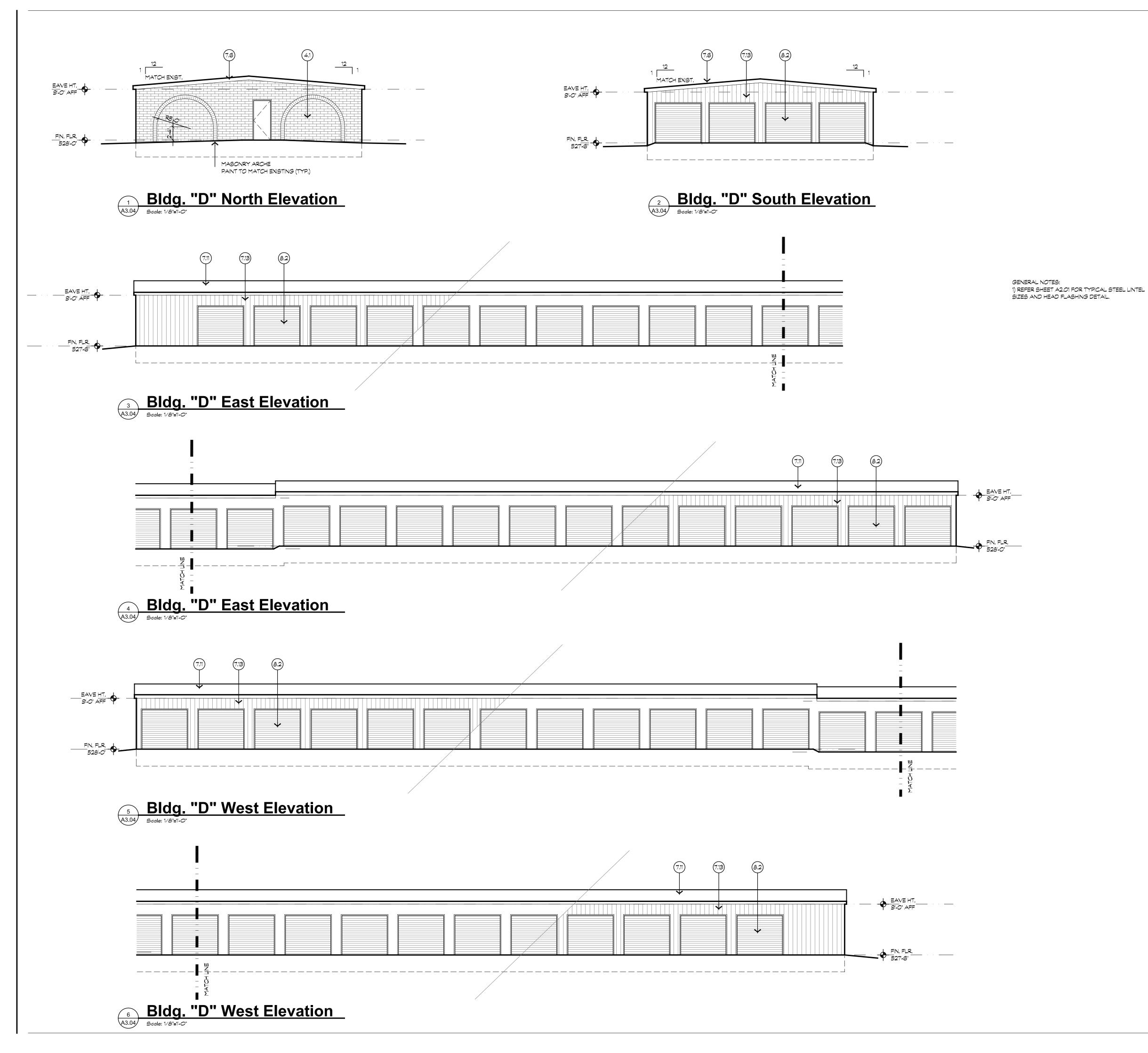
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   4" WIDE PAVEMENT MARKINGS
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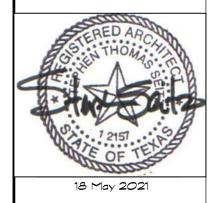
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file # 21-004 Elevations

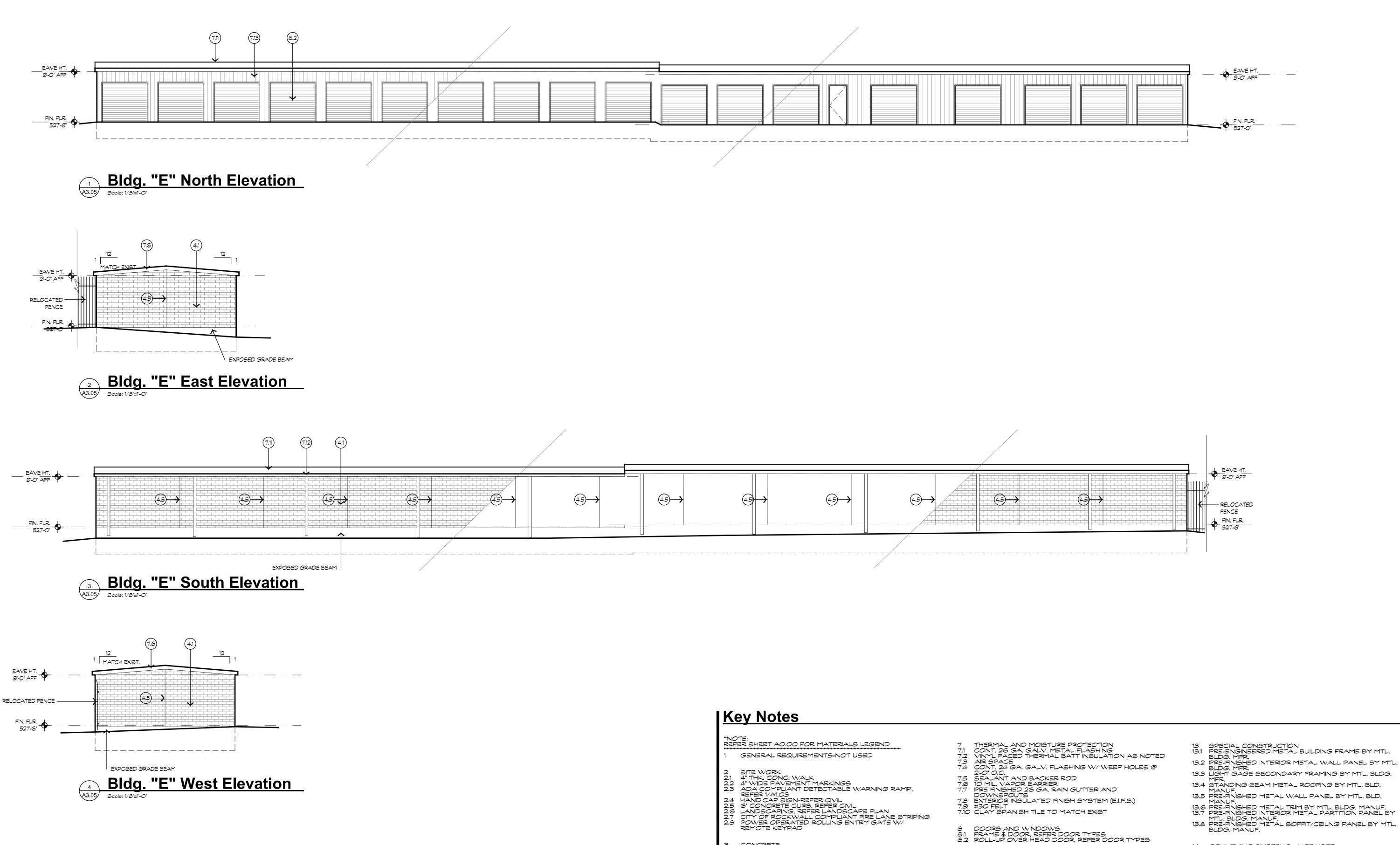
> project # 21-004

date 18 May 2021

revisions



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- CONCRETE CONCRETE FOUNDATION, REFER STRUCTURAL PRE-FABRICATED CONCRETE SPLASH BLOCK 3.2
- MASONRY
   BRICK SHAPE TO MATCH EXIST.. PAINT TO MATCH
   ADJUSTABLE MASONRY TIES PER MASONRY ADVISORY COUNCIL RECOMMENDATIONS
   MORTAR SCREEN
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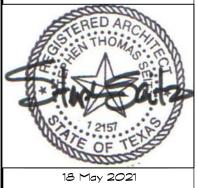
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project #

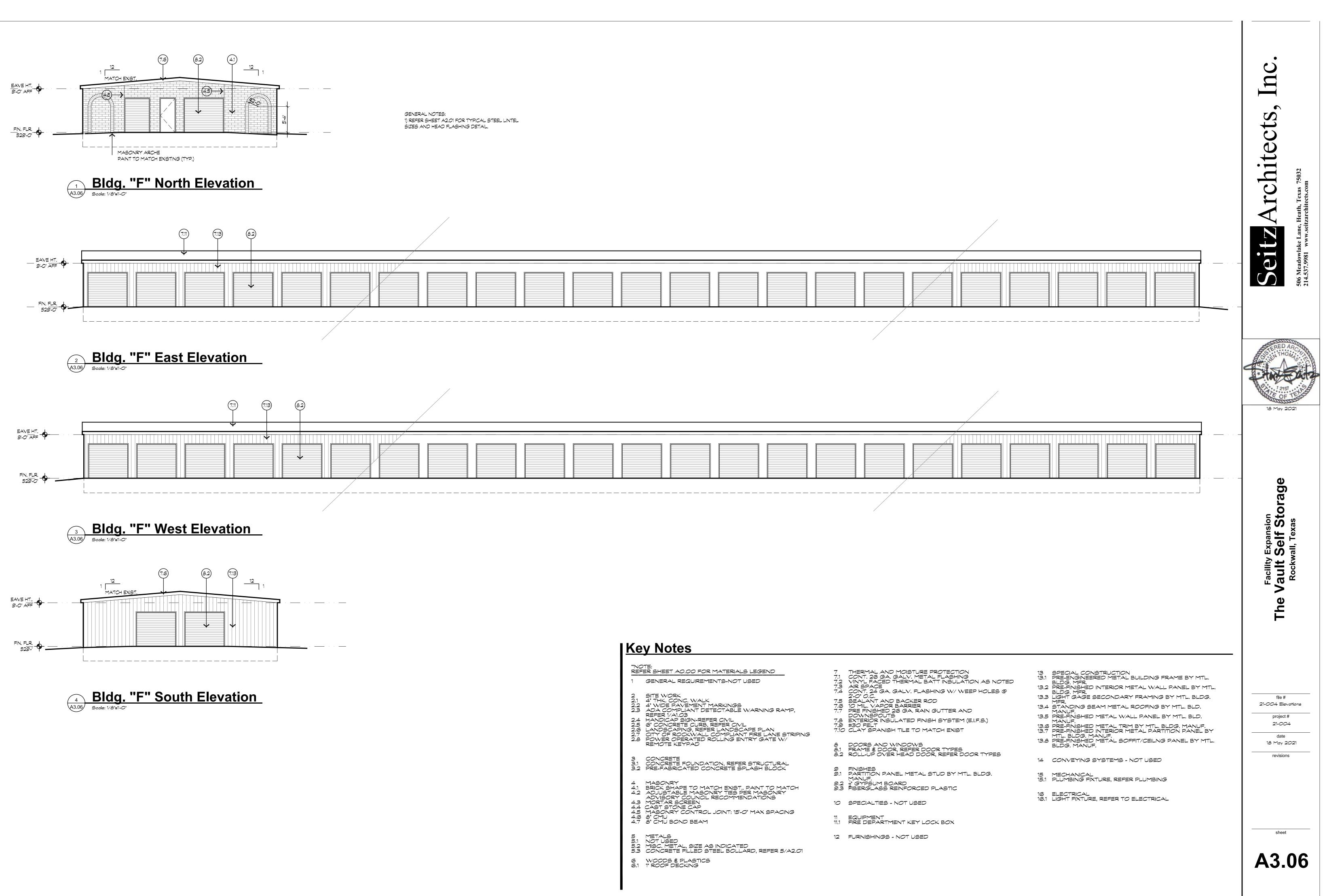
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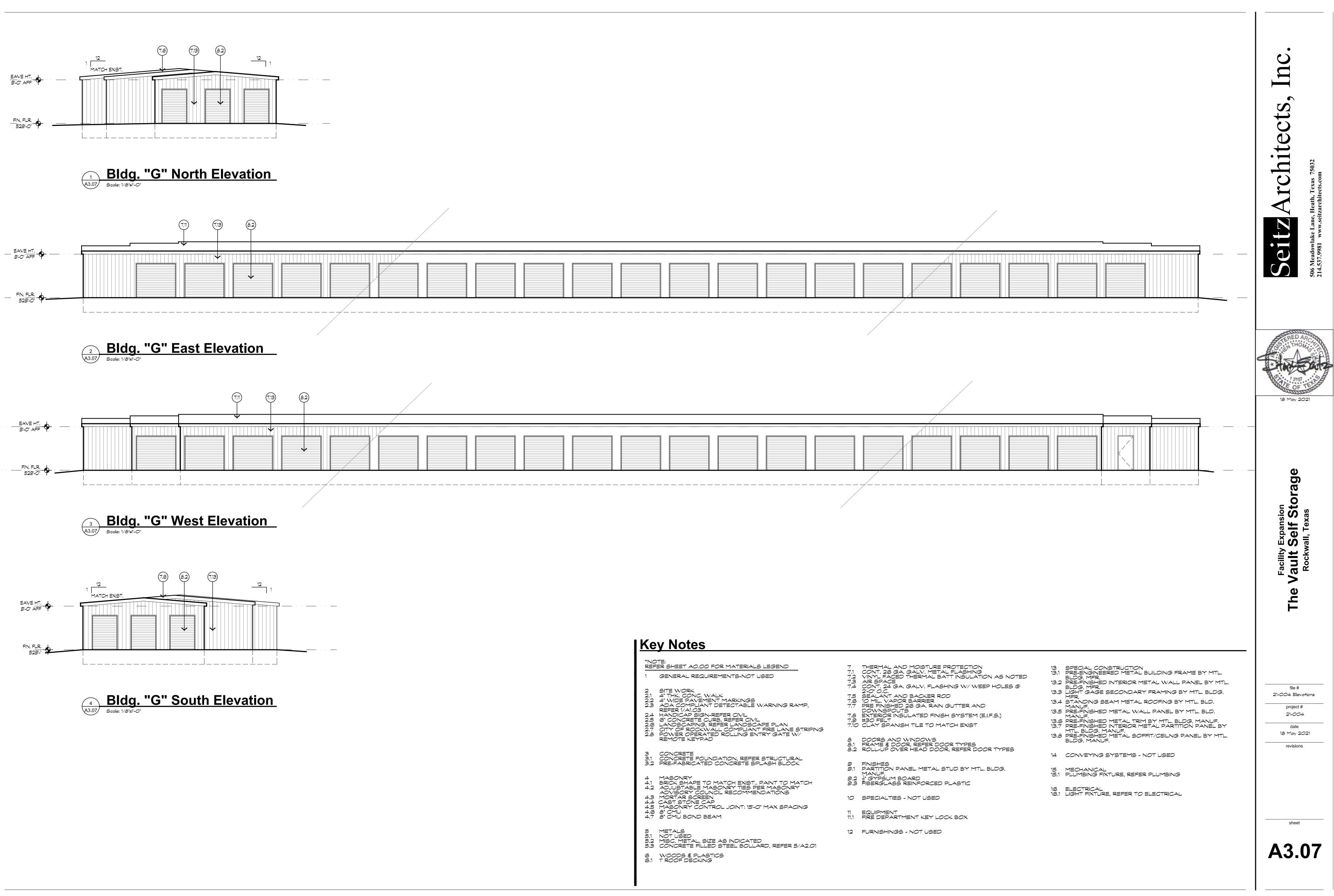
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77.120.94 77.77.7 7.90.7 7.77.7 7.90.0	THERMAL AND MOIS CONT. 26 GA. GALV. VINYL FACED THERM AIR SPACE CONT. 24 GA. GALV. 2'-0" O.C. SEALANT AND BACK 10 MIL. VAPOR BARR PRE FINISHED 26 GA DOWNSPOUTS EXTERIOR INSULATED #30 FELT CLAY SPANISH TILE
8 8.1 8.2	DOORS AND WINDO FRAME & DOOR, REF ROLL-UP OVER HEAD
9 9.1 9.2 9.3	FINISHES PARTITION PANEL ME MANUF. ½" GYPSUM BOARD FIBERGLASS REINFO
10	SPECIALTIES - NOT L



## **CITY OF ROCKWALL**

## ORDINANCE NO. 21-XX

## SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW THE EXPANSION OF AN EXISTING MINI-WAREHOUSE FACILITY WITHIN A COMMERCIAL (C) DISTRICT AS SPECIFIED WITHIN ARTICLE 04, PERMISSIBLE USES, OF THE UNIFIED DEVELOPMENT CODE, FOR A 6.06-ACRE PARCEL OF LAND ZONED COMMERCIAL (C) DISTRICT, AND DESCRIBED AS LOT 1, BLOCK C OF THE ROCKWALL BUSINESS PARK EAST ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS **ORDINANCE:** PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE: PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Stephen Seitz, on behalf of Jim Vaudagna, for the approval of a Specific Use Permit (SUP) to allow the expansion of an existing mini-warehouse facility within a Commercial (C) District for a 6.06-acre parcel of land identified as Lot 1, Block C of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, which is generally situated west of the intersection of SH-205 and Ralph Hall Parkway, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the expansion of a an existing mini-warehouse facility within a Commercial (C) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03 J, *Wholesale, Distribution and Storage Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility on the Subject Property, and conformance to these operational conditions are required for continued operations*:

- (1) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The building elevations submitted with the site plan shall generally adhere to the Building Elevations depicted in *Exhibit* 'C' of this ordinance.
- (3) The minimum roof pitches for the proposed buildings shall be the same as the existing buildings or conform to the roof pitches called out on the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance.
- (4) No outside storage of any kind shall be permitted on this site. This includes the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles.
- (5) Businesses shall not be allowed to operate within individual storage units.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

(1) Upon obtaining a Building Permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

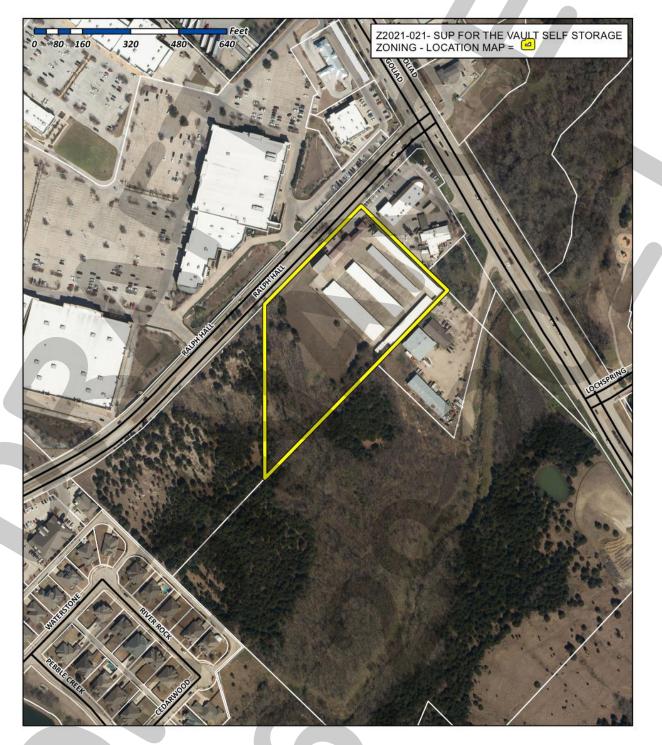
# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>TH</sup> DAY OF AUGUST, 2021.

ATTEST:	Kevin Fo	wler, Mayor	
Kristy Cole, City Secretary			
APPROVED AS TO FORM:			
Frank J. Garza, City Attorney			
1 <sup>st</sup> Reading: <u>July 19, 2021</u>			
2 <sup>nd</sup> Reading: <u>August 2, 2021</u>			
Z2021-021: SUP for The Vault Self Storage Ordinance No. 21- <mark>XX</mark> ; SUP # S-2 <mark>XX</mark>	Page   3	City of Rockwall, T	exas

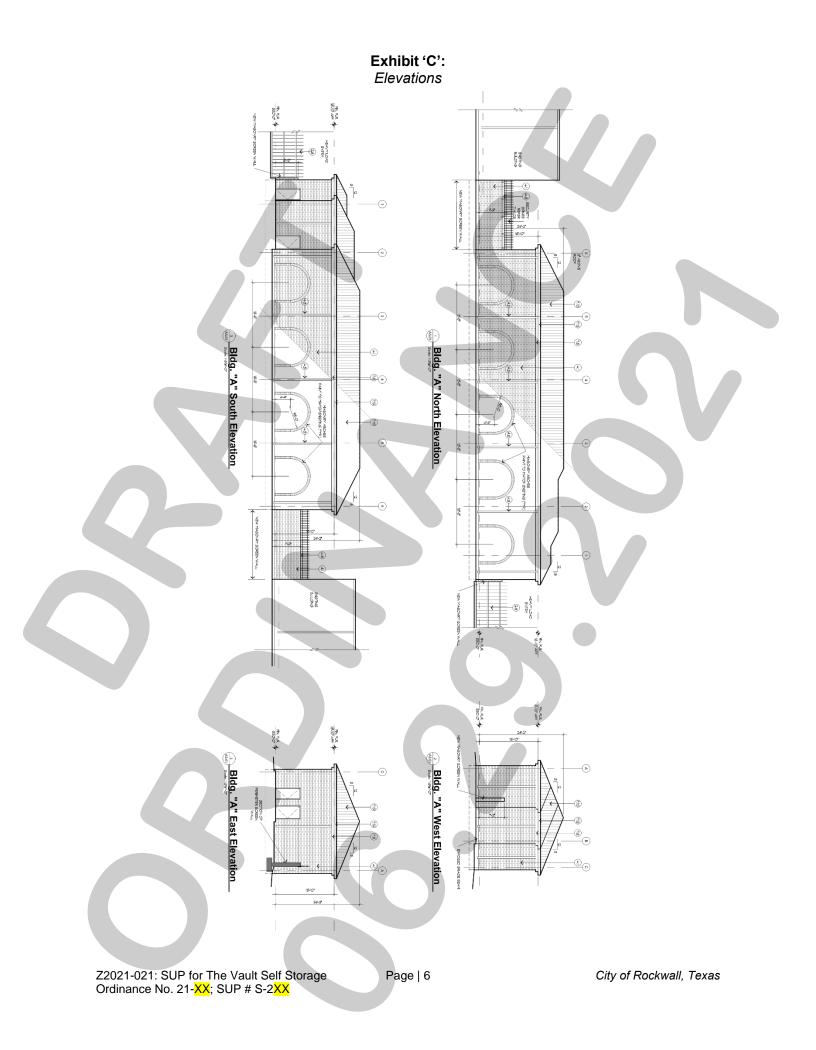
## Exhibit 'A'

Zoning Exhibit

<u>Address:</u> 1280 E. Ralph Hall Parkway <u>Legal Description:</u> Lot 1, Block C, Rockwall Business Park East Addition







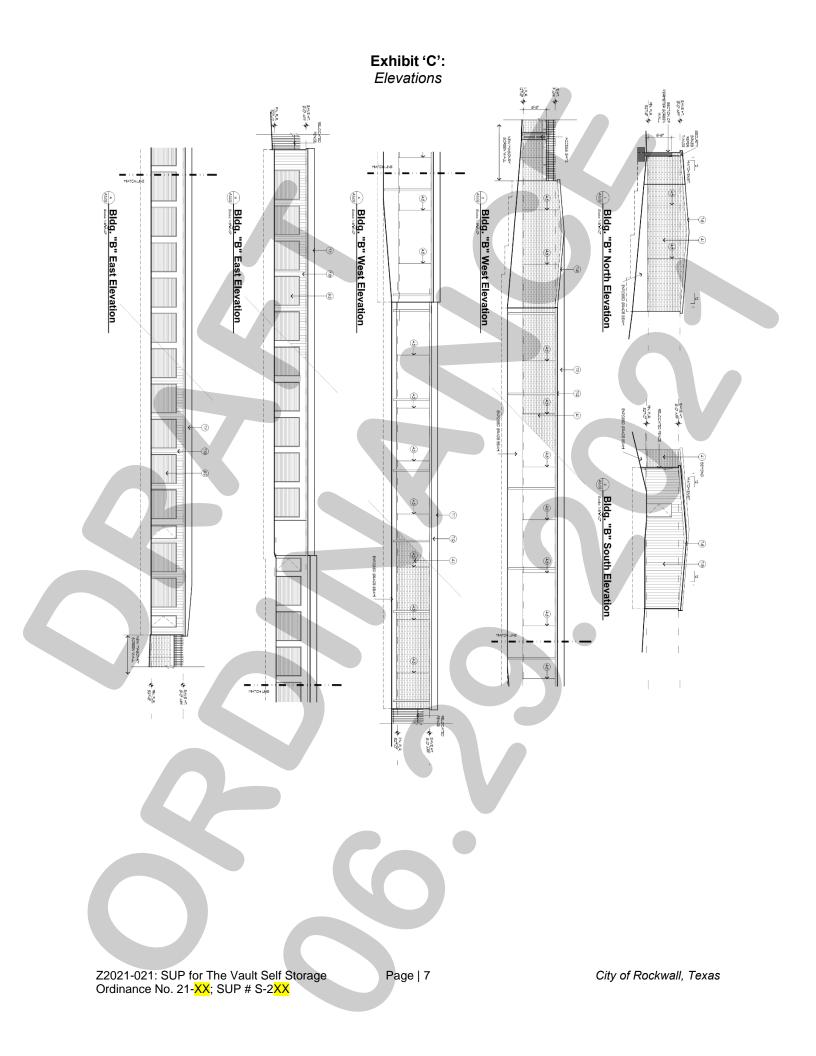
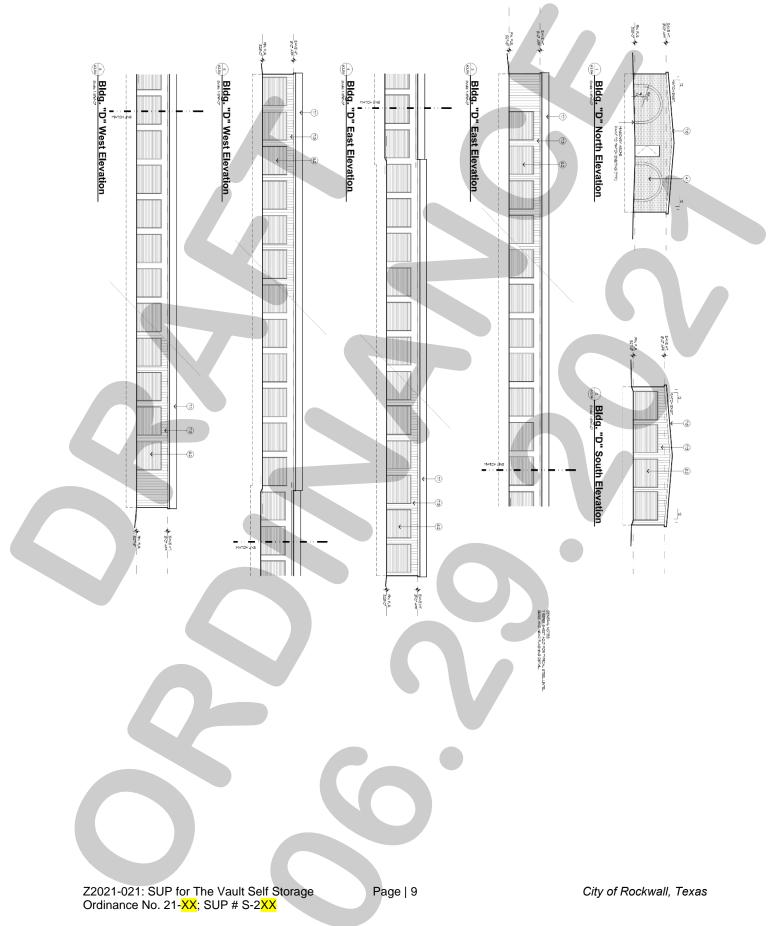
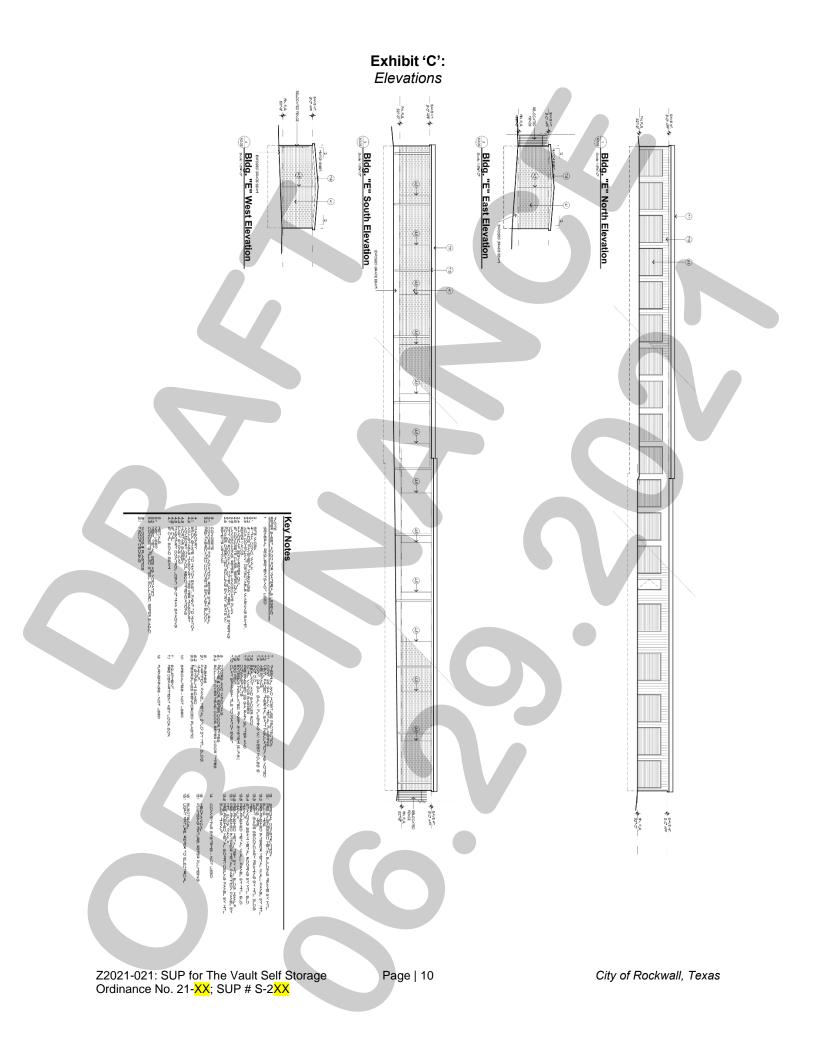
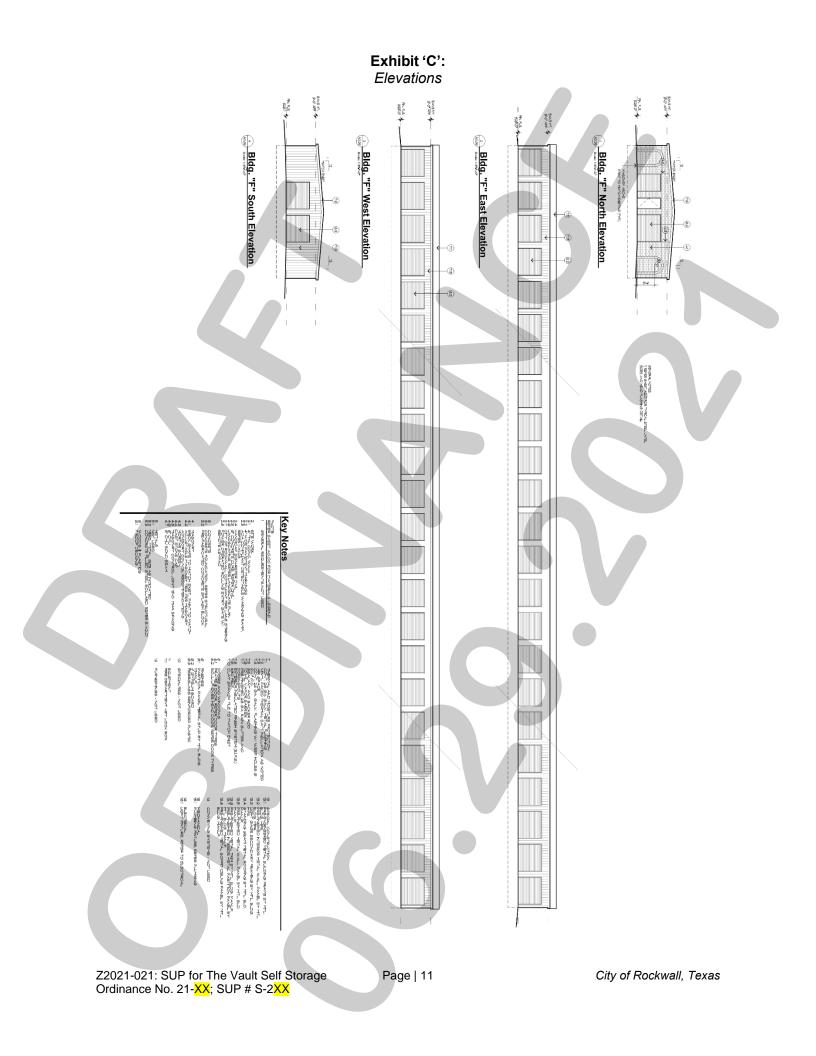
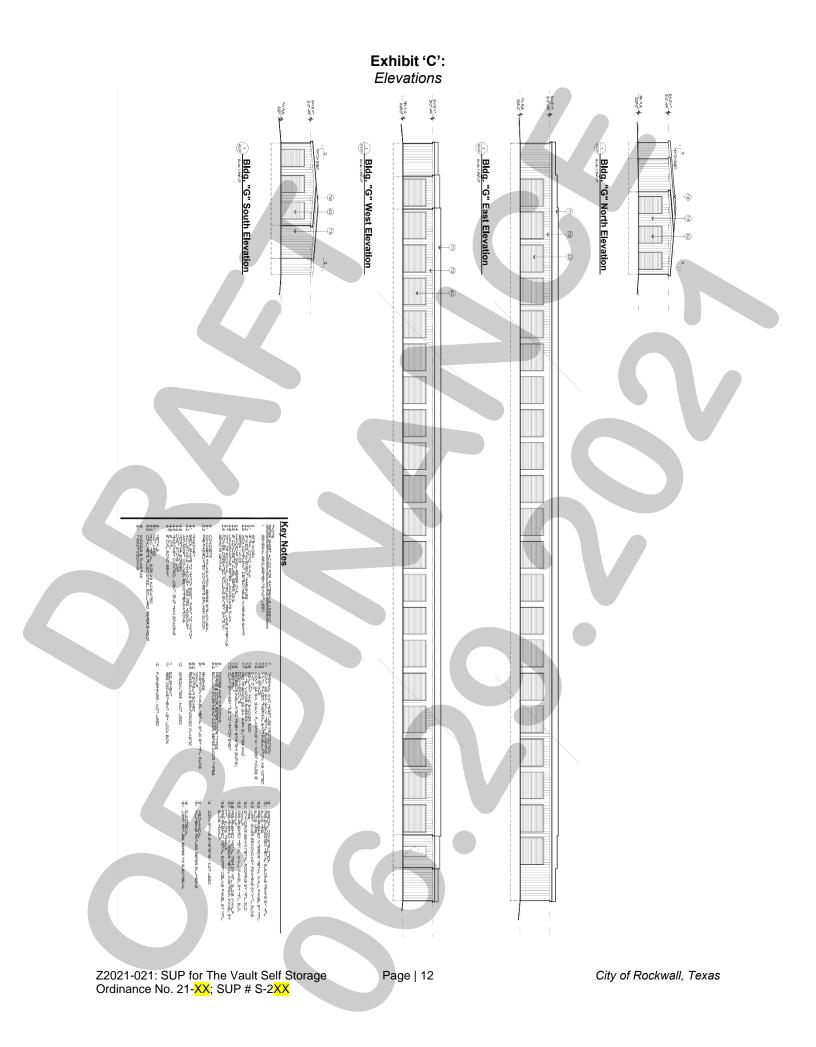


Exhibit 'C': Elevations N PA EAVE HT. BURNES BAVE HT. HV H R 4 Bidg. "C" West Elevation Bldg. "C" West Elevation Bldg. "C" East Elevation Bldg. "C" East Elevation Bldg. "C" North Elevation 3 -(E) • < -(8) MABONRY ARCHE PANT TO MATCH ENDING (TYP. (4.5) G lle (1) ٢. ¢ HEYON -3 BAVEHT. < ()) Bldg. "C" South Elevation -MP **(** -(8) -(2) T < -@ -3 6 PULLA D SAVE HT. -3 63 S.C. AFF GENERAL NOTES 1) REFER SHEET AQUI FOR TYPICA SUES AND HEAD "LAGHNG DETA Z2021-021: SUP for The Vault Self Storage Ordinance No. 21-XX; SUP # S-2XX Page | 8 City of Rockwall, Texas Exhibit 'C': Elevations









### **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: Z2021-022 SUP for Residential Infill 147 EVA PL, ROCKWALL, 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Angelica Gamez 972-772-6438 agamez@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	06/25/2021	Approved w/ Comments	

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a

0.79-acre parcel of land identified as Lot 810-A0 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com

M.3 For reference, include the case number (Z2021-022) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Verify the North side-yard setback. The side-yard setback is 5' and I measure approximately 4'10" according to the plans.

1.7 According to the Unified Development Code front facing garages must be set back 20' behind the front façade of the home. In this case the garage is set 5'-5" in front of the front façade. This will require a waiver to the garage setback requirement, which is a discretionary decision for the Planning and Zoning Commission and City Council.

M.8 Please indicate if the plot plan or site plan is the plan you are using for this project. The plot plan does not meet our setback requirements and will require changes if that is the desired plan. Get in touch with me to clarify these plans.

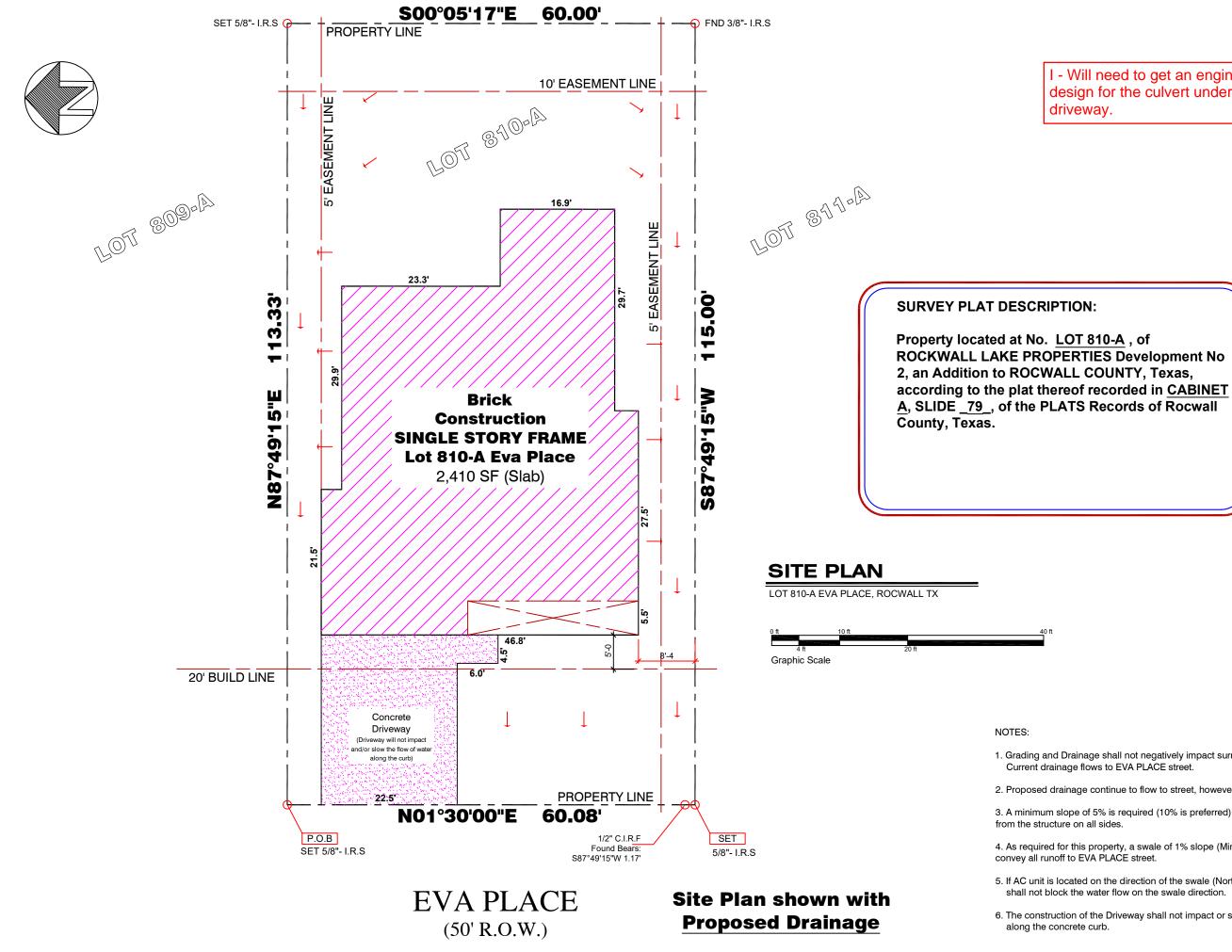
M.9 Please review the attached Draft Ordinance prior to the July 13, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 6, 2021.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Mork Session Meeting for this case will be held on June 29, 2021.

I.11 The projected City Council meeting dates for this case will be July 19, 2021 [1st Reading] and August 2, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Approved w/ Comments	
06/23/2021: I - Will need to ge	t an engineered design for the culvert under the	e driveway when you apply for a building permit.		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: NO Commonto				

06/21/2021: NO Comments



I - Will need to get an engineered design for the culvert under the

1. Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.

2. Proposed drainage continue to flow to street, however, elevation needs to be raised.

3. A minimum slope of 5% is required (10% is preferred) for at least the first 3ft away

4. As required for this property, a swale of 1% slope (Minimum) will be constructed to

5. If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.

6. The construction of the Driveway shall not impact or slow down the flow of water

697-6258 - Allen, TX (972) **Drafting Solutions** Single Family Residence Lot 810-A, Eva Place Rockwall, TX 75032 Mr. Ignacio and Family

Owners: | Cardenas

DRAWN BY: JHR DATE: 3-23-2019 PLAN NUMBER: SHEET 1

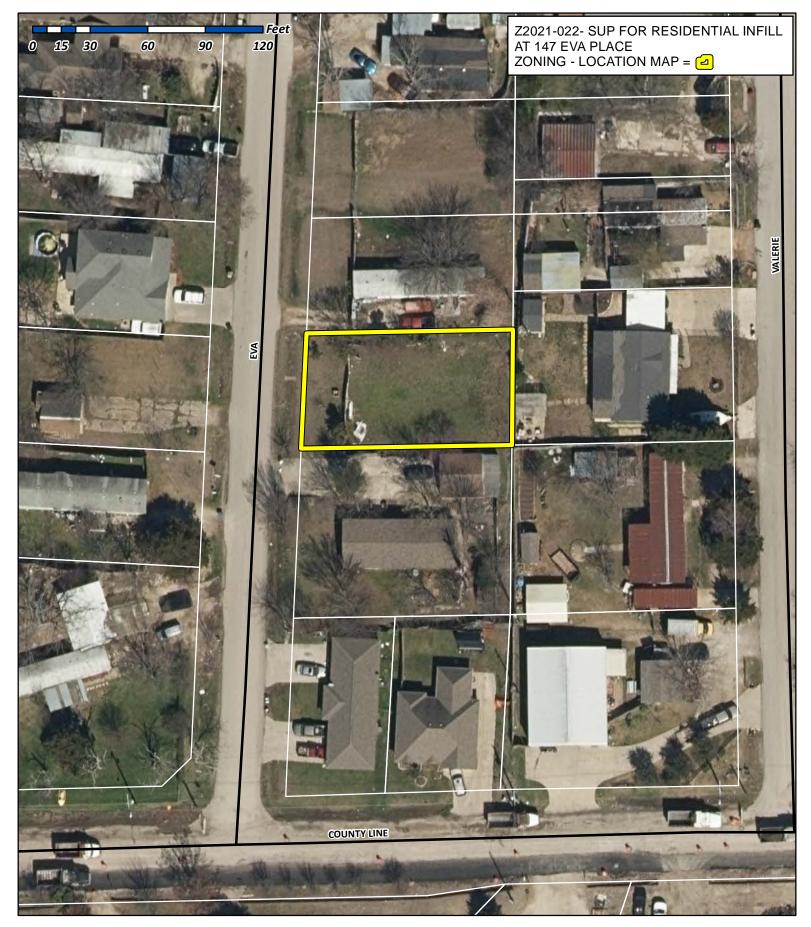
OF - 8

	<b>DEVELOPMENT APPLIC</b> City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ATION	STAFF USE ONLY         PLANNING & ZONING CASE NO.       2,20,21 - 0,22         NOTE:       THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.         DIRECTOR OF PLANNING:       CITY ENGINEER:	
PLEASE CHECK THE AP	PROPRIATE BOX BELOW TO INDICATE THE TYPE C	F DEVELOPMEN	NT REQUEST [SELECT ONLY ONE BOX]:	
PRELIMINARY PLA FINAL PLAT (\$300. REPLAT (\$300.00 AMENDING OR MI	00.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> .00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup>	ZONING APPLICATION FEES:         ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1         SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1         PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1         OTHER APPLICATION FEES:         TREE REMOVAL (\$75.00)         VARIANCE REQUEST (\$100.00)		
SITE PLAN APPLICA SITE PLAN (\$250.0 AMENDED SITE PLAN		MULTIPLY	ETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN YING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE DUND UP TO ONE (1) ACRE.	
PROPERTY INFOR	RMATION [PLEASE PRINT]			
ADDRESS	147 EVA PLACE			
SUBDIVISION			LOT 810-A BLOCK	
GENERAL LOCATION	POCKWALL			
ZONING, SITE PLA	AN AND PLATTING INFORMATION (PLEAS	SE PRINT]		
CURRENT ZONING	PD-75	CURREN	IT USE Land	
PROPOSED ZONING	PD-75	PROPOSEI	DUSE SINGLE FAMILY HOME	
ACREAGE	+ 79 LOTS [CURRENT	]	LOTS [PROPOSED]	
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.				
8222	NT/AGENT INFORMATION [PLEASE PRINT/CI			
	Ignacio Cardenas			
	Egnacio Cardenas	CONTACT PER		
ADDRESS	PO BOX 788	ADDR	RESS	
CITY, STATE & ZIP	FOLLWALL TX 15087	CITY, STATE 8	& ZIP	
PHONE	214-664-5289		HONE	
E-MAIL	ICT construction 10 gmail.	Com E-	-MAIL	
			Curdenas Issac [OWNER] THE UNDERSIGNED, WHO	
"I HEREBY CERTIFY THAT I A S MCU INFORMATION CONTAINED	M THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A TO COVER THE COST OF THIS APPLICATION, H. 20 24. BY SIGNING THIS APPLICATION, I AGR	ALL INFORMATION S AS BEEN PAID TO T REE THAT THE CITY S ALSO AUTHORIZ	SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF THE CITY OF ROCKWALL ON THIS THE DAY OF Y OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE ZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION	
	ND SEAL OF OFFICE ON THIS THE 18 DAY OF M	14	21 i passassassassassassassassassassassassass	

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS DEVELOPMENT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOLIAD STREET . ROCKWALL, TX 75087 . [P] (972) 771-7745 . [F] (972) 771-7727

MY COMML

Commission Expires 15, 2023





#### City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Rockwall, Texas 75032

(P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

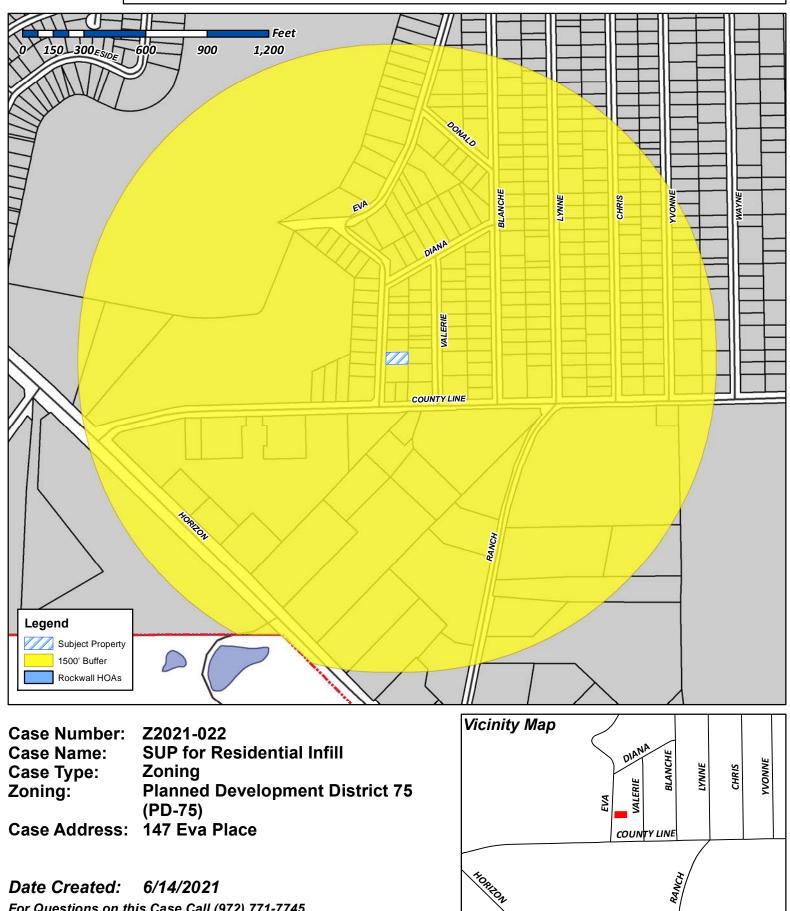


**City of Rockwall** 

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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For Questions on this Case Call (972) 771-7745

**City of Rockwall** 

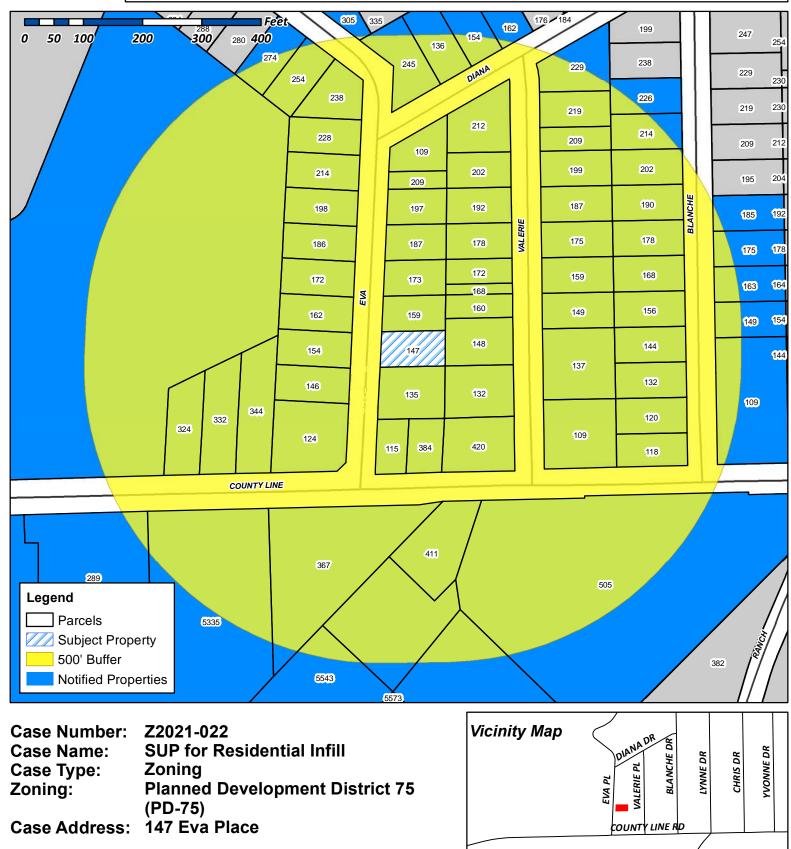


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RANCH TRI

JORITON ND



Date Created: 6/14/2021 For Questions on this Case Call (972) 771-7745 SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087

> **HERREROS ANTELMO &** SONIA T SERNA 109 DIANA DR ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE 118 BLANCHE DR ROCKWALL, TX 75032

> MIRELES RAYMUNDO **124 EVA PLACE** ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT 134 YVONNE DR ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR 137 VALERIE PL ROCKWALL, TX 75032

> GARCIA MARTIN 144 BLANCHE DR ROCKWALL, TX 75032

VALDEZ MARY ESTHER 148 VALERIE PL ROCKWALL, TX 75032

ROMAN JAIME A & MA GUADALUPE SANDOVAL 154 DIANA DR ROCKWALL, TX 75032

> **KUO DANIEL** 1580 COASTAL DRIVE ROCKWALL, TX 75087

SILVA BERTHA 1041 E FM 552 ROCKWALL, TX 75087

SALAS ALBERTO R & ADELA A 109 VALERIE PL ROCKWALL, TX 75032

**ROCKWALL LAKE PROPERTIES** 120 BLANCHE DR ROCKWALL, TX 75032

> **FLORES DAYANARA &** JAMES GLEASON 132 BLANCHE DR ROCKWALL, TX 75032

MONTELONGO MOISES 135 EVA PLACE ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG 1414 BUFFALO WOODS CT KATY, TX 77494

> 146 EVA ROCKWALL, TX 75032

VARGAS RICARDO 149 BLANCHE DR

CASTANEDA AARON JAIME CHAPELA 154 EVA PLACE ROCKWALL, TX 75032

> MORALES RAMIRO JR 159 EVA PLACE ROCKWALL, TX 75032

VARGAS RICARDO **109 BLANCHE DR** ROCKWALL, TX 75032

SILVA JUAN C 115 EVA PL ROCKWALL, TX 75032

**OLIVARES JAIME** 1209 QUAIL DR GARLAND, TX 75040

PAVON MARISOL **132 VALERIE PL** ROCKWALL, TX 75032

LA REN CORPORATION C/O DON/AUDREY BLANKENSHIP 136 DIANA ROCKWALL, TX 75032

HERNANDEZ NESTOR AND **GILBERTA NAVERRETE** 1420 W COLLEGE ST LOT 1 MURFREESBORO, TN 37129

> CARDENAS IGNACIO 147 EVA PL ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT 149 VALERIE PL ROCKWALL, TX 75032

> VAZQUEZ RAMON LOPEZ 156 BLANCHE DR ROCKWALL, TX 75032

**TEPOX FABIOLA DOMINGUEZ** 159 VALERIE PL ROCKWALL, TX 75032

SILVA BERTHA

ROCKWALL, TX 75032

DURAN ROCIO 160 VALERIE PL ROCKWALL, TX 75032

VARGAS RICARDO 163 BLANCHE DR ROCKWALL, TX 75032

LOZANO ISIDRO 1705 HIGH MEADOW DR GARLAND, TX 75040

MORALES RAMIRO JR 173 EVA PL ROCKWALL, TX 75032

MEJIA JULIO & MARIA 176 RENEE DR ROCKWALL, TX 75032

5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032

ORTEGA RUBEN 187 EVA PL ROCKWALL, TX 75032

LOZANO ISIDRO 192 VALERIEPL ROCKWALL, TX 75032

CONTRERAS MANUEL AND MARIA G 198 EVA PL ROCKWALL, TX 75032

> ARROYO MARGARITO & LUCIA ARROYO-ESPINOSA 202 BLANCHE DR ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 162 DIANA ROCKWALL, TX 75032

> PALICIOS MARIA 168 BLANCHE DR ROCKWALL, TX 75032

WOLFORD STEPHANIE D 172 EVA PLACE ROCKWALL, TX 75032

GOMEZ ALEJANDRO 175 BLANCHE DR ROCKWALL, TX 75032

OLIVARES JAIME 178 BLANCHE DR ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA 185 BLANCHE DR ROCKWALL, TX 75032

CARMONA JOSE ROBERTO & MARIA BLANCA RESENDIZ 187 VALERIE PL ROCKWALL, TX 75032

> BARRON BENICIO 195 ROSEMARIE DR LEBANON, OH 45036

CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032

TOVAR JUAN & NORA OREGA 202 VALERIE PL ROCKWALL, TX 75032 DEL RIO ALBERTO & MONICA 162 EVA PL ROCKWALL, TX 75032

> CITY OF ROCKWALL 168 VALERIEPL ROCKWALL, TX 75032

HERNANDEZ BENJAMIN AND MARIANA SIFUENTES 172 VALERIE PL ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG 175 VALERIE PL ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I 178 VALERIE PL ROCKWALL, TX 75032

> SILVA MARIA 186 EVA PL ROCKWALL, TX 75032

ALVAREZ FRANCISCO J 190 BLANCHE DR ROCKWALL, TX 75032

MEJIA JULIO & MARIA 197 EVAPL ROCKWALL, TX 75032

CANADY JERRY ANN 199 VALERIE PLACE ROCKWALL, TX 75032

KENT RONALD & BRENDA 209 EVAPL ROCKWALL, TX 75032

CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032

**RICO CARLOS** 212 VALERIE PL ROCKWALL, TX 75032

RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032

KUO DANIEL 229 VALERIE PL ROCKWALL, TX 75032

HERNANDEZ NESTOR AND GILBERTA NAVERRETE 245 FVA ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR 289 COUNTY LINE RD ROCKWALL, TX 75032

> RANGELL JUAN JOSE 324 COUNTY LINE RD ROCKWALL, TX 75032

SILVA JUAN C 332 E LINDA LN ROYSE CITY, TX 75189

PALICIOS MARIA 365 LYNNE DR ROCKWALL, TX 75032

CARMONA JOSE ROBERTO & MARIA BLANCA RESENDIZ 397 CHRIS DR ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE 212 LYNNE DR ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032

> MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD 2324 EAST I 30 ROYSE CITY, TX 75189

LA REN CORPORATION C/O DON/AUDREY BLAKENSHIP 254 EVA PL ROCKWALL, TX 75032

305 EVAPL ROCKWALL, TX 75032

**MAZARIEGOS EDGAR & SONIA I** 3248 BLACKLAND RD ROYSE CITY, TX 75189

LUIS TORRES GALINA 344 COUNTY LINE RD ROCKWALL, TX 75032

367 COUNTY LINE RD ROCKWALL, TX 75032

> **RAMIREZ RAUL & TERESA** 411 COUNTY LINE RD ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA 212 VALERIE PL ROCKWALL, TX 75032

> **RICO CARLOS** 214 EVA PL ROCKWALL, TX 75032

MOSELEY CYNTHIA SUE 228 EVAPL ROCKWALL, TX 75032

LA REN CORPORATION C/O DON/AUDREY BLANKENSHIP 238 EVA PL ROCKWALL, TX 75032

> ESCOBAR AURELIO 274 EVA PL ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ & LUIS TORRES GALINA 321 PANOLA CT ROYSE CITY, TX 75189

> BARRON BENICIO 332 COUNTY LINE RD ROCKWALL, TX 75032

**RAMIREZ RAUL & TERESA** 358 TROUT ST ROCKWALL, TX 75032

**RAMIREZ PETRA & JOSE ARTURO** 384 COUNTY LINE RD ROCKWALL, TX 75032

> LOZANO ISIDRO 420 COUNTY LINE RD ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &

MARKSQUARED INVESTMENTS LLC

**HILGENFELD DONNA & ROSS** 

RANGELL JUAN JOSE 4427 FM 550 ROYSE CITY, TX 75189

MOSELEY CYNTHIA SUE 5100 HORIZON RD ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD 5335 FM 3097 ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES 5713 SECREST CT GOLDEN, CO 80403

HILGENFELD DONNA & ROSS 6409 ALTA OAKS DR GARLAND, TX 75043

> GARCIA MARTIN 852 ROSE LANE ROCKWALL, TX 75087

BIG LEAGUE SPORTS ACADEMY INC 505 COUNTY LINE RD ROCKWALL, TX 75032

LORENZ SABINA AND MICHAEL 513 BASS RD ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230

> FLORES DAYANARA & JAMES GLEASON 611 MEADOW DR ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA 6514 BUNKER HILL CT ROWLETT, TX 75089

LA REN CORPORATION C/O DON/AUDREY BLANKENSHIP PO BOX 2155 ROCKWALL, TX 75087 5100 ELDORADO PKWY STE 102 # 373 MCKINNEY, TX 75070

> MARKSQUARED INVESTMENTS LLC 517 COYOTE RD SOUTHLAKE, TX 76092

LEJ PARTNERS LTD

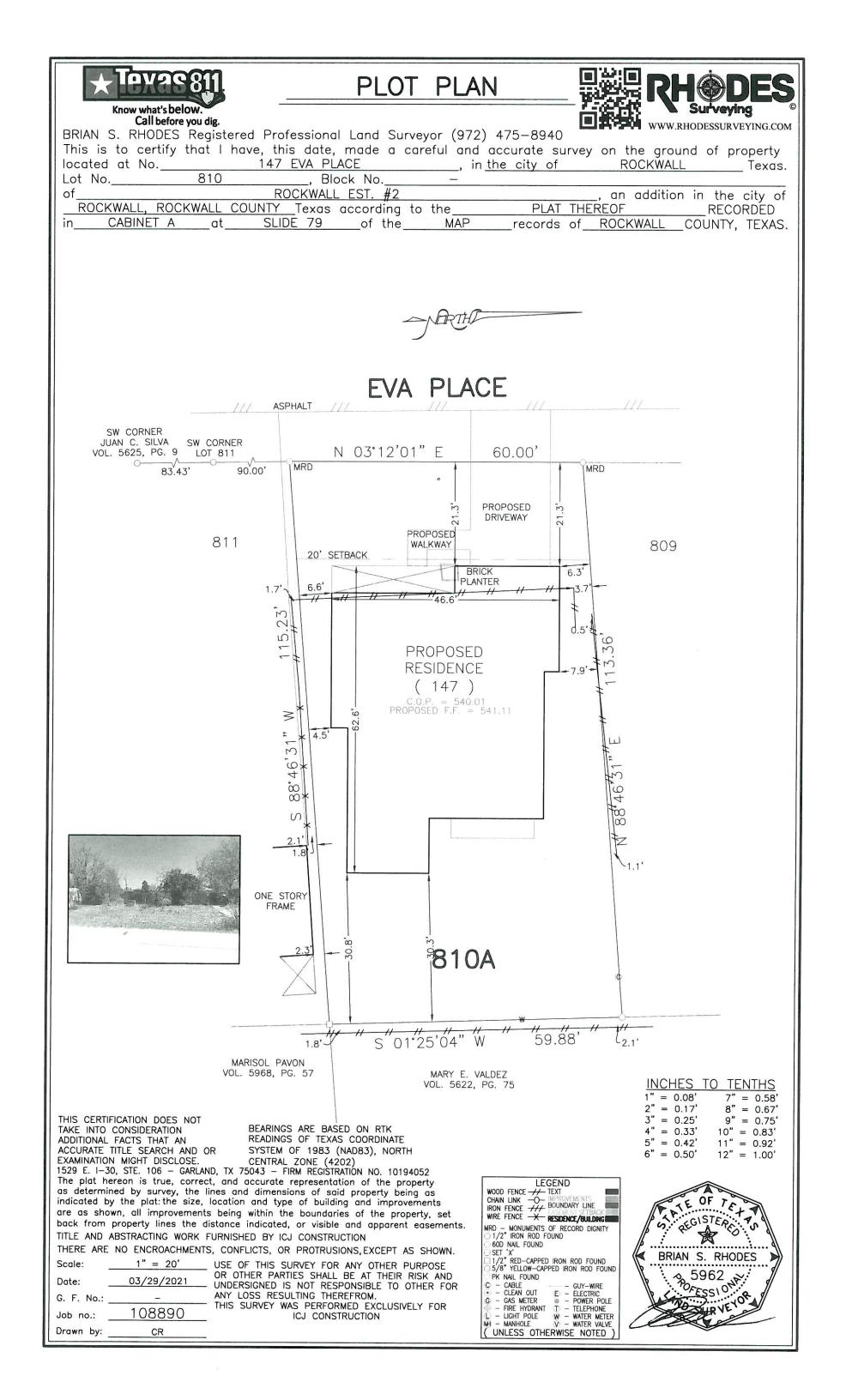
5543 FM3097 LLC 5543 FM3097 ROCKWALL, TX 75032

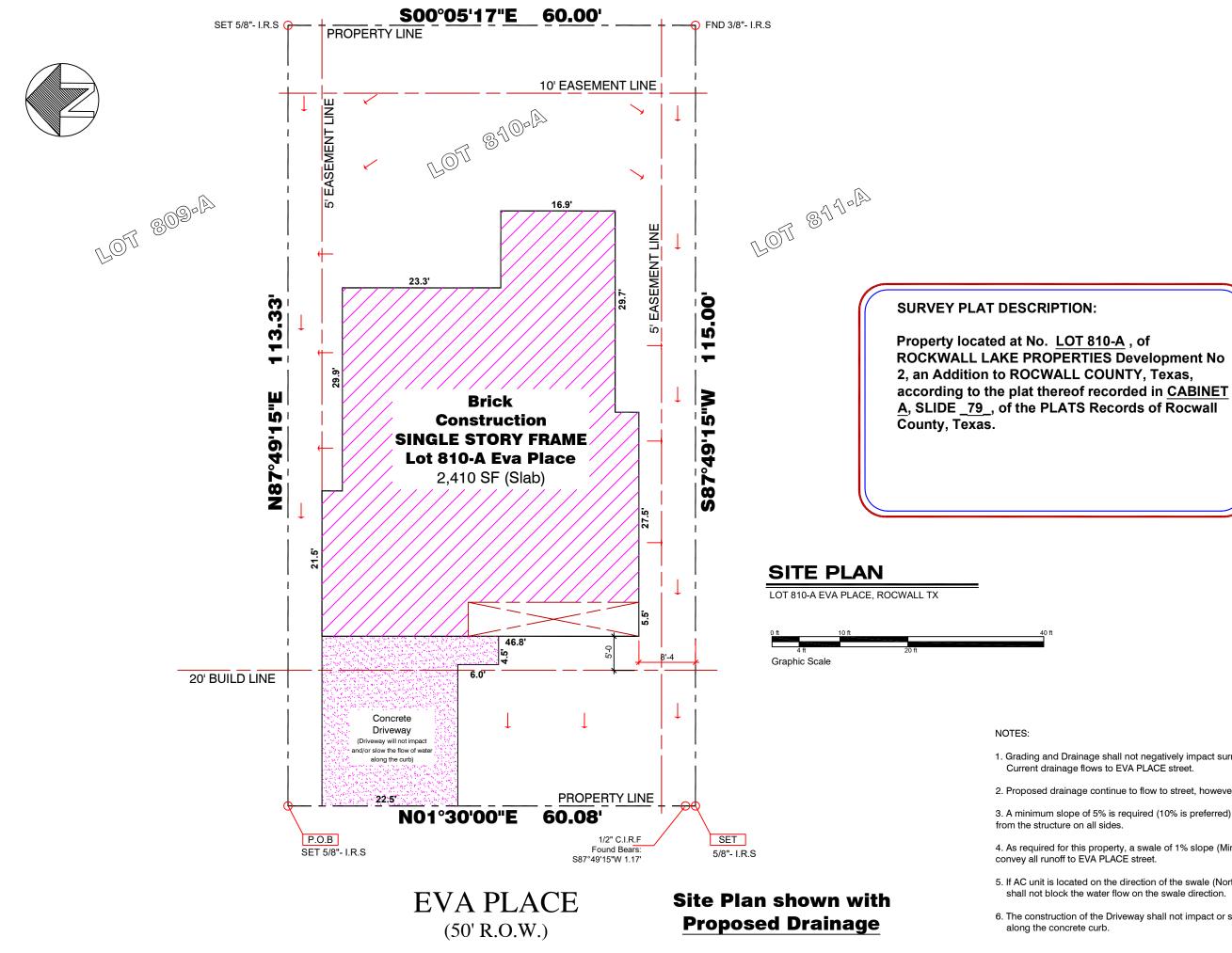
MOONEY GERALD M & JEWELL F REV LIV TR 6379 KLONDIKE RD RIPLEY, NY 14775

> PAVON MARISOL 810 E. DOUGHERTY DR GARLAND, TX 75041

WALL, 1X 75032

GUTIERREZ DONATILO & BLANCA





1. Grading and Drainage shall not negatively impact surrounding properties. Current drainage flows to EVA PLACE street.

2. Proposed drainage continue to flow to street, however, elevation needs to be raised.

3. A minimum slope of 5% is required (10% is preferred) for at least the first 3ft away

4. As required for this property, a swale of 1% slope (Minimum) will be constructed to

5. If AC unit is located on the direction of the swale (North or South), the AC unit shall not block the water flow on the swale direction.

6. The construction of the Driveway shall not impact or slow down the flow of water

697-6258 (972) - Allen, TX **Drafting Solutions** 

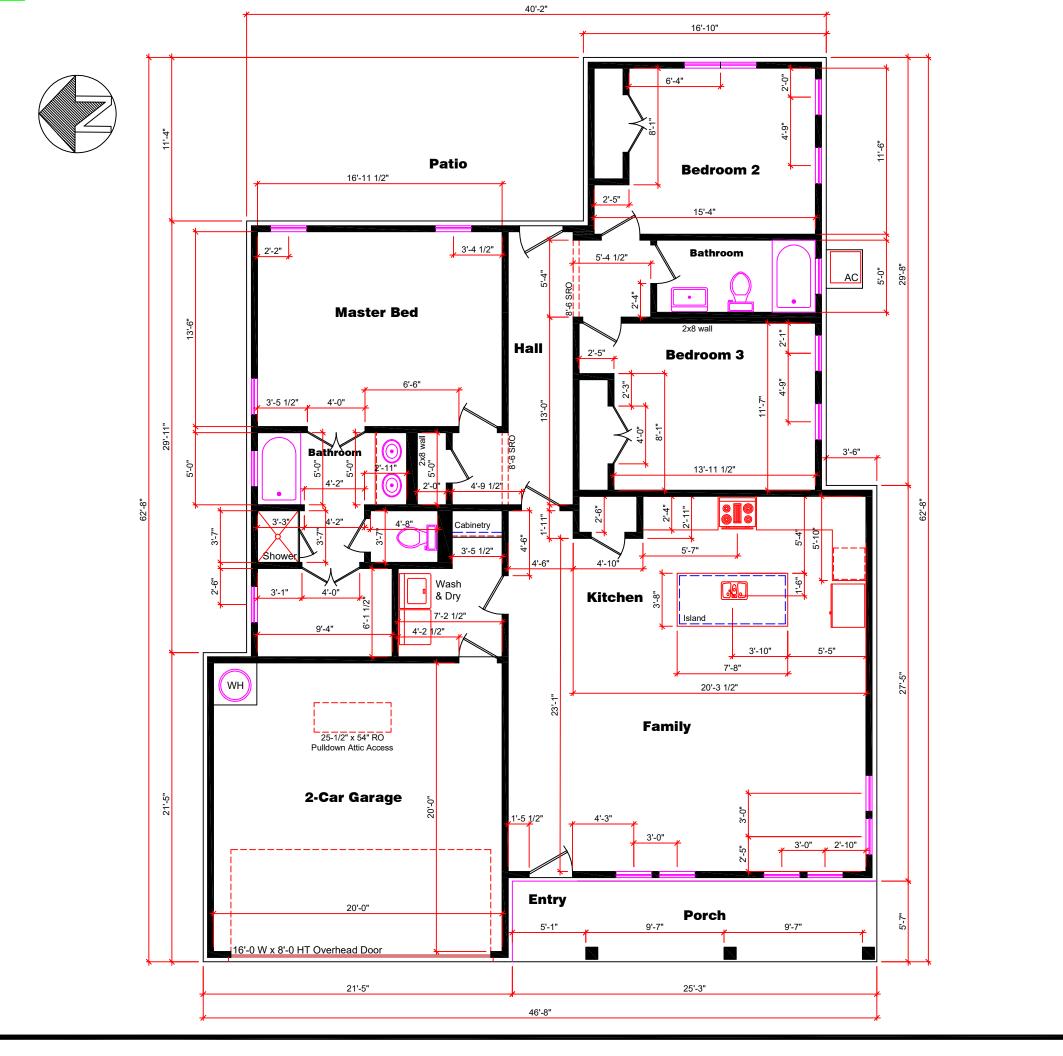


Single Family Residence Lot 810-A, Eva Place Rockwall, TX 75032

Mr. Ignacio and Family Owners: | Cardenas

DRAWN BY: JHR DATE: 3-23-2019 PLAN NUMBER:

SHEET 1 OF - 8



DIMENSIONAL LAYOUT



#### **1ST FLOOR PLAN**



electrical or n authority onstruction, oof beams, stered y will not Drafting Solutions - Allen, TX (972) 697-6258 DISCLAIMER: These plans are interded to provide basic construction information in site work moments in the work and shear sized and de s attention retaining must be si ilans must be ν brought to the ε and footings, re increte floors mi ions and or apr the the structure. The structure is the structure is nission, if found, is not is letterents, such a columns, footings columns footings necessary to complete arepancy, error or onlis areade. All structural el-timade. All structural el-or and ceiling joists, col-or and ceiling joists, col-solutions will not be res

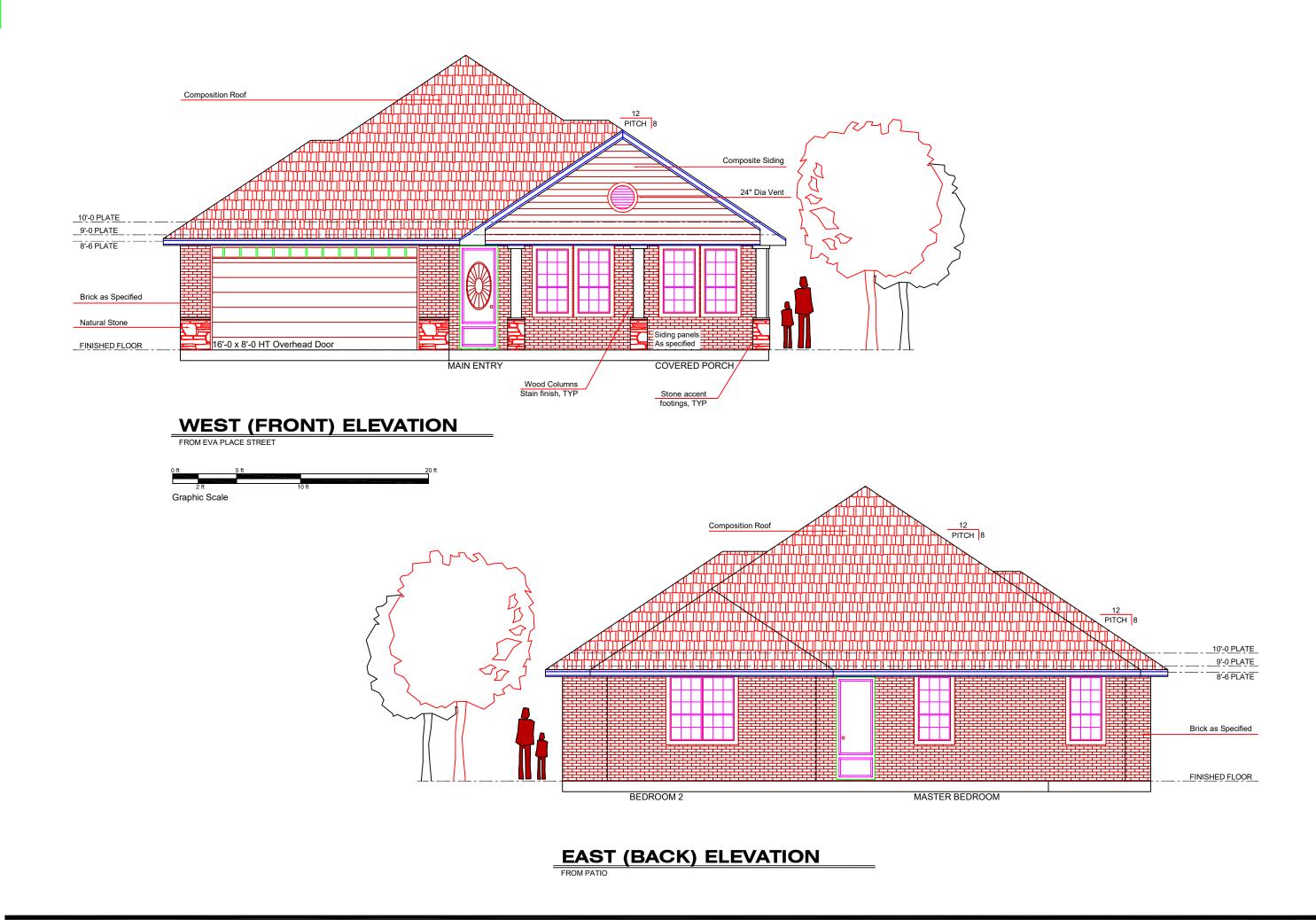


Single Family Residence Lot 810-A, Eva Place Rockwall, TX 75032

Owners: Mr. Ignacio Cardenas and Family

DRAWN BY: JHR DATE: 3-23-2019 PLAN NUMBER: SHEET 3

OF - 8



### Owners: Mr. Ignacio Single Family Residence Cardenas and Family Lot 810-A, Eva Place Rockwall, TX 75032

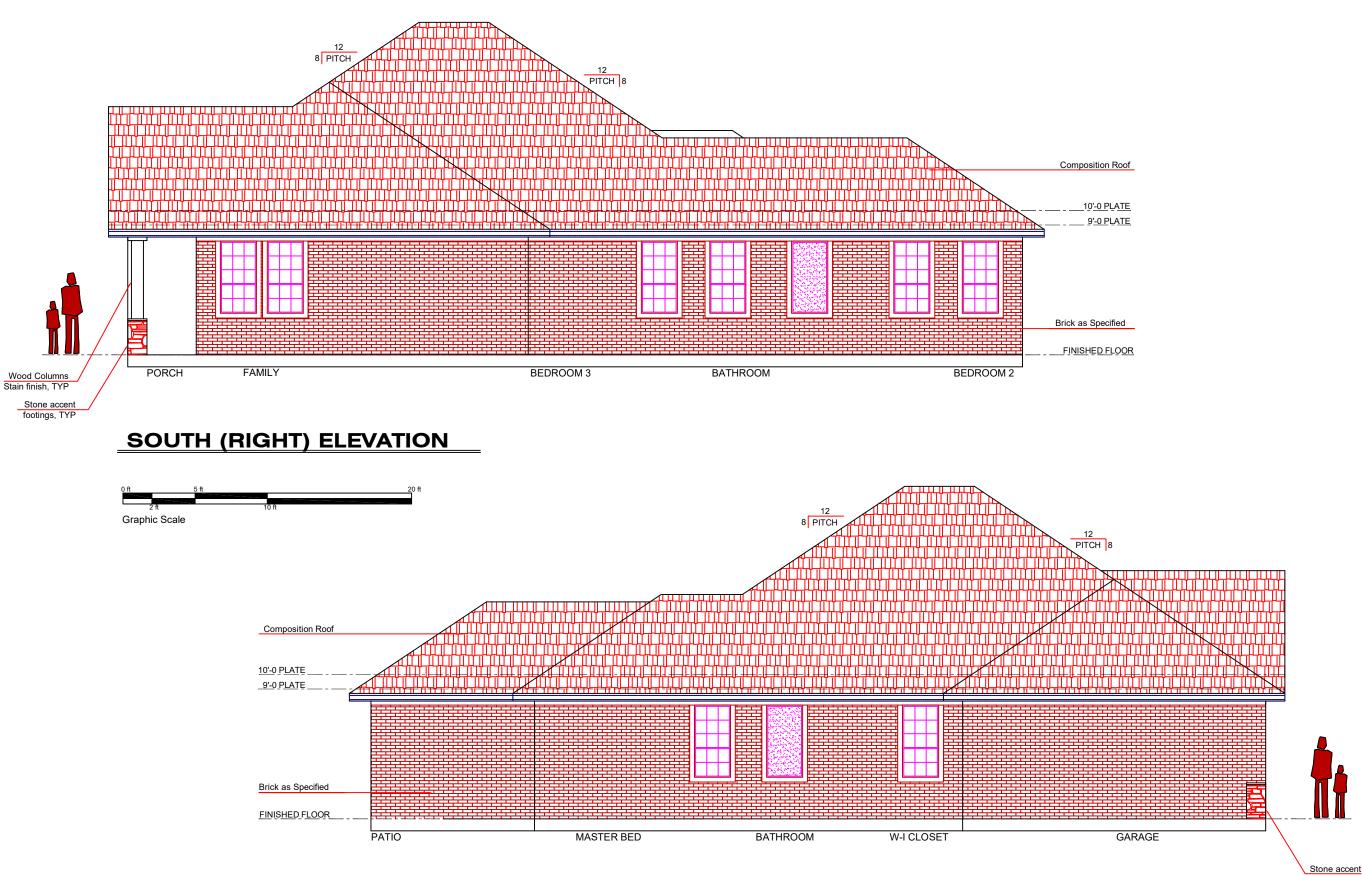
DRAWN BY: JHR DATE: 3-23-2019 PLAN NUMBER:

SHEET **4** OF - 8



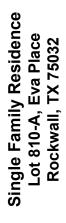
# Drafting Solutions - Allen, TX (972) 697-6258

DISCLANER: These plans are intended to provide basic construction information in site work, corrertle framing, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any discrepancy, error or meason, in four is to be bought to the attenthe bolice any construction, work or purchases made, any encource masson, in four is to be bought to the attenthe bolice any construction. trusses, ratifiers, floor and celling joists, columns, footings and concrete floors must be steed and designed by a registered engineer. Drafing Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not engineer. Drafing Solutions will not be responsible for these designs and or approvals. The limit for drafter's liability will not engineer.



#### NORTH (LEFT) ELEVATION

Stone accent wall, TYP



# Drafting Solutions - Allen, TX (972) 697-6258

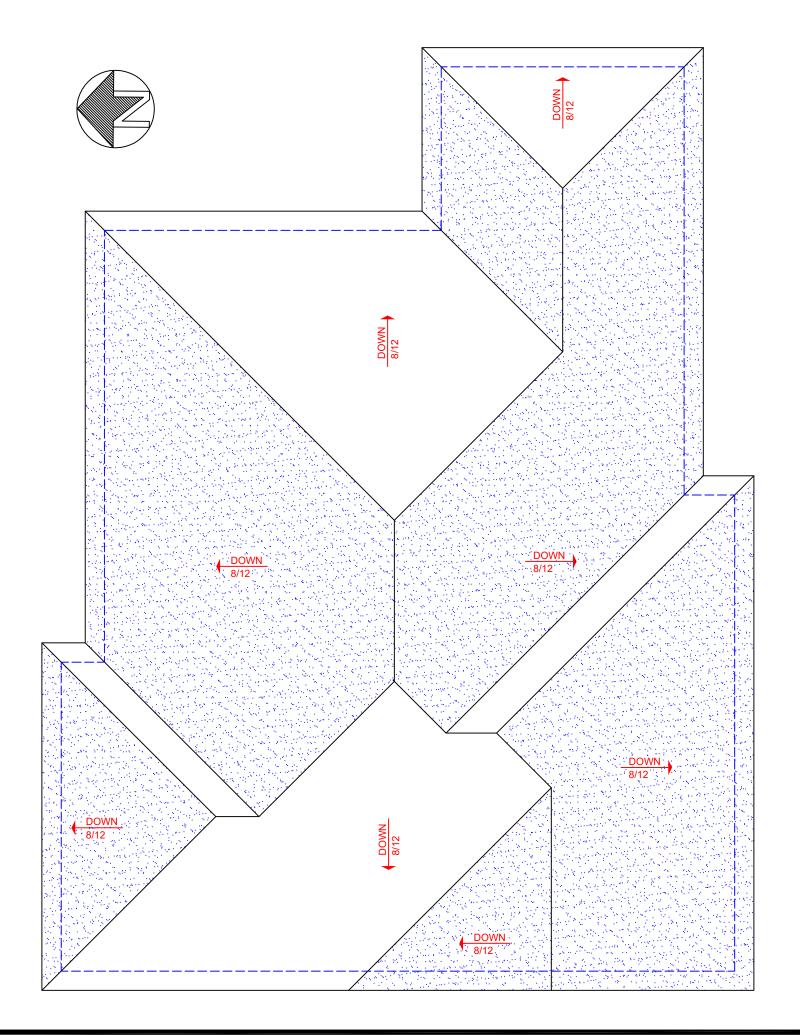
DISCLANER: These plans are intended to provide basic construction information in site work, concrete, inaming, electrical or mechanical trades necessary to complete the structure. These plans must be verified by the builder or the person in authority for the job. Any decorpary, error or ormission, flourd, is to be bought to builder at the attraction. Work or purchases in and and half trademeter the structure. These plans must be verified by the builder or the person in authority work or purchase. The advector at ormission, flourd, is to be bought to builder or the person in authority work or purchases in the All structure alternets, such as plass and footings, relating and shear walk. floor and cost heams, trasses, ratifers, floor and cosiling justs, columns, locitrys and concrete floors must be sized and designed by a registered engine engine the enaud for phase.

Cardenas S Dwners: T Dwners: T Dwners: T Cardenas S Cardenas S Dwners: T

Mr. Ignacio s and Family

3-23-2019 PLAN NUMBER:

SHEET 5 OF - 8











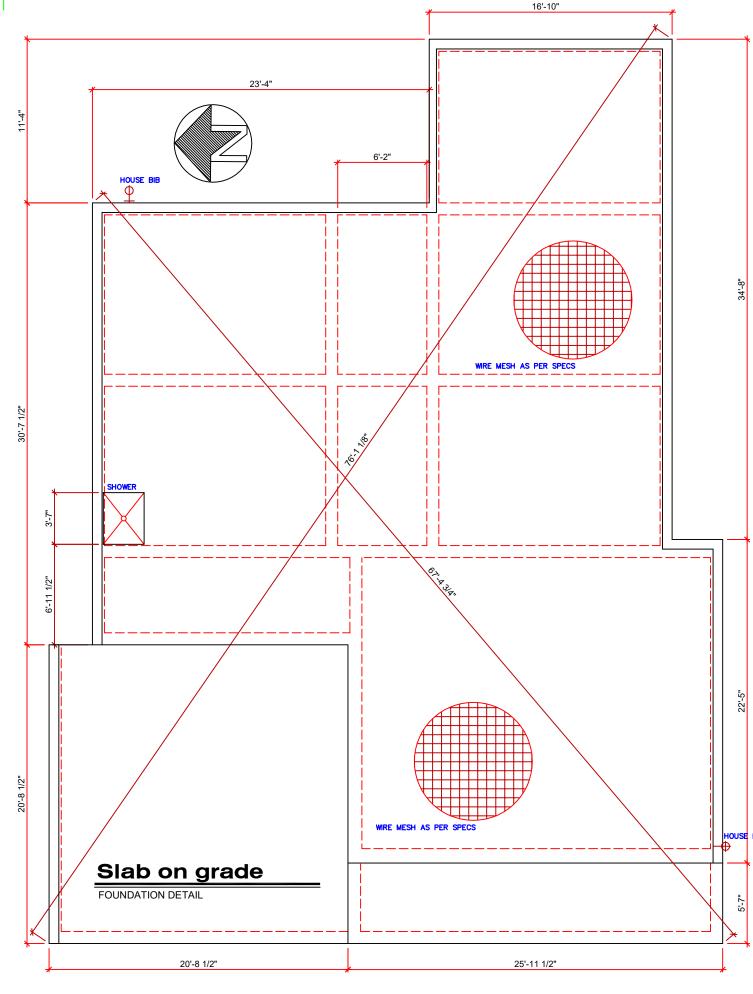
Single Family Residence Lot 810-A, Eva Place Rockwall, TX 75032

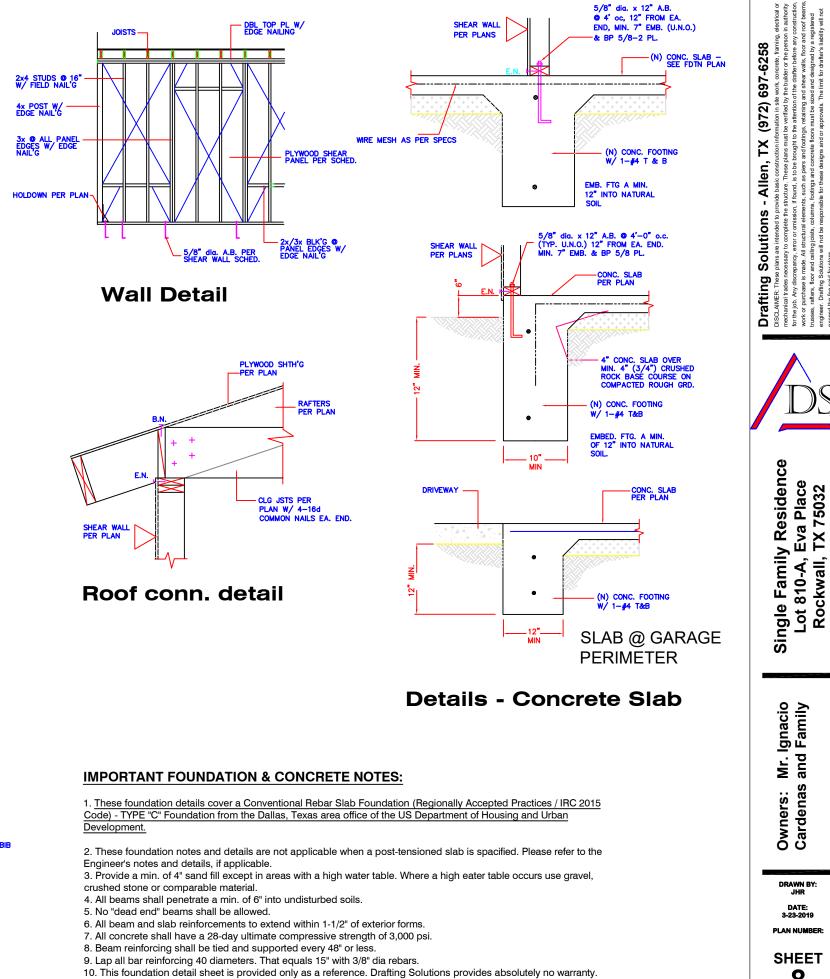
Owners: Mr. Ignacio Cardenas and Family

DRAWN BY: JHR DATE: 3-23-2019 PLAN NUMBER: SHEET

**7** OF - 8

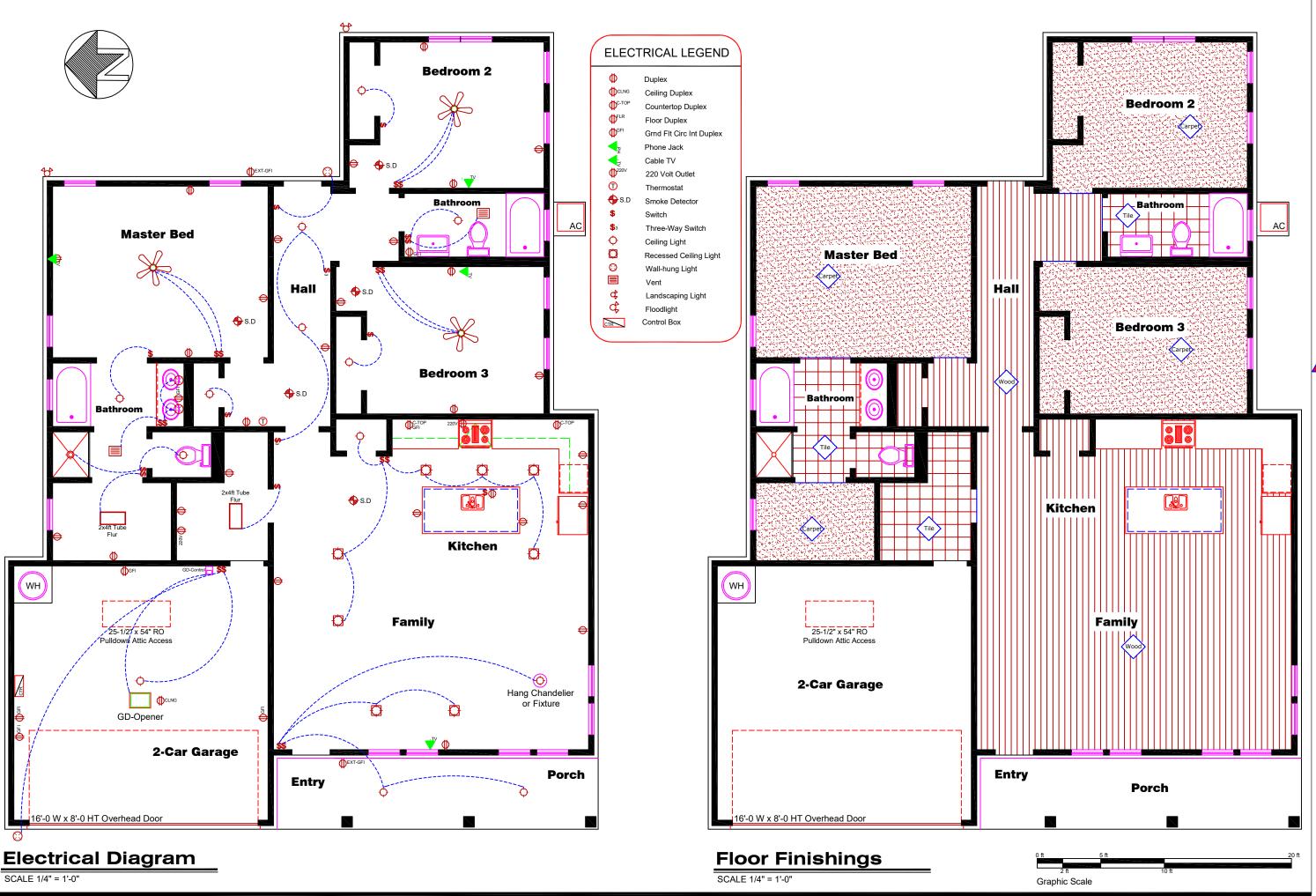
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Owner takes responsibility to use these at his/her own risk. It is strongly advised that a qualified licensed Professional Engineer review this foundation design and the soils report to assure this foundation plan is correct for the soils it is to be built on.

PLAN NUMBER: SHEET 8 OF - 8



Single Family Residence Lot 810-A, Eva Place Rockwall, TX 75032

> Mr. Ignacio s and Family

> Owners: I Cardenas a

DRAWN BY: JHR

DATE: 3-23-2019 PLAN NUMBER:

SHEET

6

OF - 8

# Drafting Solutions - Allen, TX (972) 697-6258

DISCLAMER: These plans are intended to provide basic construction information in site work, concrete, framing, electrical or rechandral trades necessary to complete the structure. These plans must be verified by the builder or the person in attrority or the pib. Any discrepancy, error or omission, if *curvi*, is to be brought to the attention of the drafter before any construction, work or purposes made. It structural elements, such as pleas and footings, relaming and shear walls. Note and conformation trasses, rathers, floor and coeling joists, columns, footings and concrete floors must be sized and designed by a registered another. Traiting Solutions with not be responsible for these designs and or approvals. The limit for drafter's liability will not another to acting dorpains.

#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 21-XX

#### SPECIFIC USE PERMIT NO. <u>S-2XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-021 OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.158-ACRE TRACT OF LAND, IDENTIFIED AS LOT 810-A0, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR Α REPEALER CLAUSE: **PROVIDING FOR AN EFFECTIVE DATE.** 

**WHEREAS**, the City has received a request from Ignacio Cardenas for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.158-acre tract of land identified as Lot 810-A0, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 147 Eva Place, and being more specifically described and depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family* 7 (*SF-7*) *District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* - and with the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

#### PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $2^{\rm TH}$ DAY OF AUGUST, 2021.

	Kevin Fow	ler, <i>Mayor</i>
ATTEST:		
Kristy Cole, City Secretary		
APPROVED AS TO FORM:		
Frank J. Garza, City Attorney		
1 <sup>st</sup> Reading: <u>July 19, 2021</u>		
2 <sup>nd</sup> Reading: <u>August 2, 2021</u>		
Z2021-022: SUP for 147 Eva Place	Page   3	City of Rockwall, Texas

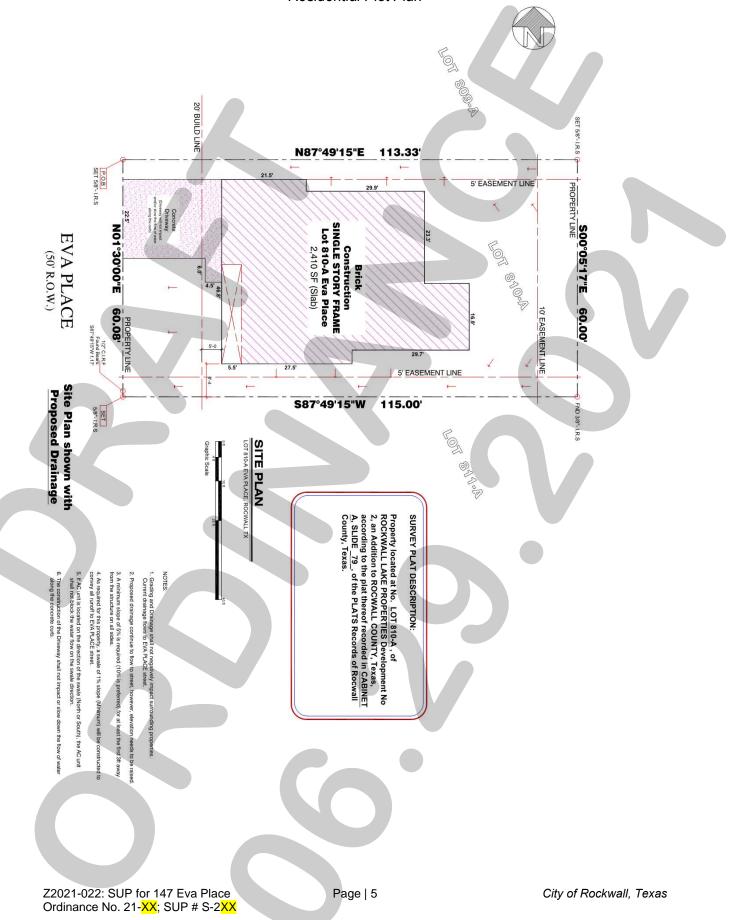
Ordinance No. 21-XX; SUP # S-2XX

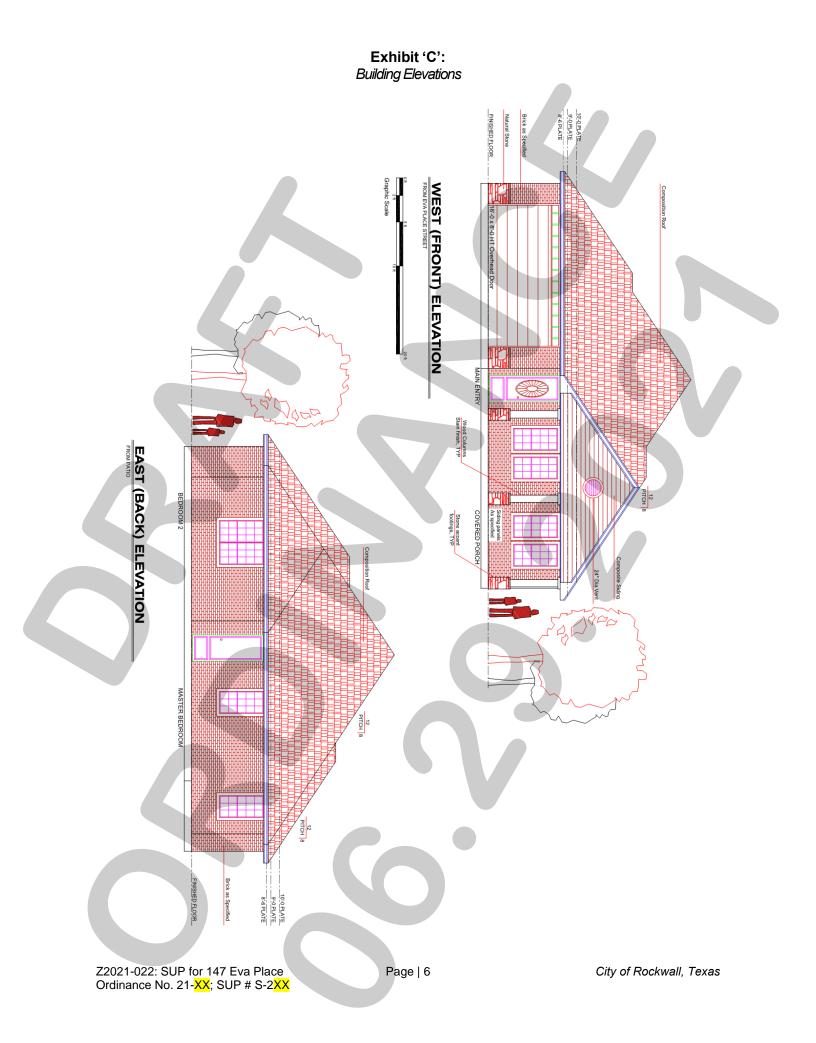
#### Exhibit 'A' Location Map

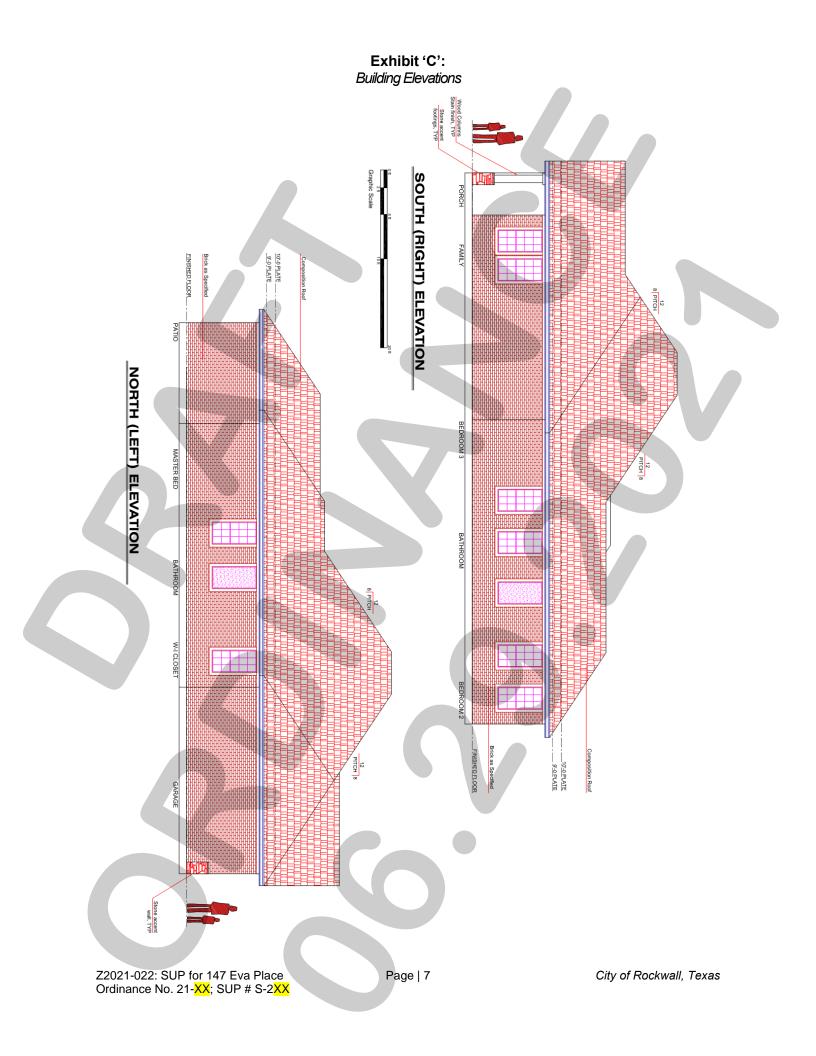
<u>Address:</u> 147 Eva Place <u>Legal Description:</u> Lot 810-A0, Rockwall Lake Estates #2 Addition











### **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: Z2021-023 SUP for Portable Building at 3221 Diamond Way Drive 3221 DIAMOND WAY DR, ROCKWALL, 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Henry Lee	06/25/2021	Approved w/ Comments	

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for an Accessory Building that does not conform to the maximum square footage requirements on a 1.50-acre parcel of land identified as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email Hlee@rockwall.com.

M.3 For reference, include the case number (Z2021-023) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Single Family Estate 1.5 (SFE-1.5) District.

I.5 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Single Family Estate 1.5 (SFE-1.5) District shall adhere to the following requirements:

(1) Number of Accessory Structures Permitted per Lot: 2

(2) Maximum SF of Accessory Building: 1,000 SF

(3) Minimum Rear Yard Setback: 10 Feet

(4) Minimum Side Yard Setback: 25 Feet

(5) Distance Between Buildings: 10 Feet

(6) Maximum Building Height: 15 Feet

In addition, if more than one (1) accessory building is proposed or if an accessory building, 625 SF or less, is existing then the maximum accessory building that can be constructed is 400 SF.

1.6 In this case there are two existing accessory buildings on the subject property. Therefore, part of this SUP request is to exceed the number of allowed accessory structures per lot.

M.7 I need the following information clarified: the height of the accessory structure and the roof pitch. The plans show both 10' and 11' as the maximum height, this must be clarified. The Unified Development code (UDC) requires that the minimum roof pitch for all structures in a residential district to be 3:12; please define the roof pitch of the accessory structure.

M.8 The accessory structure must be built on an engineered concrete foundation that will support the weight of the proposed accessory building.

I.9 As it currently stands your Specific Use Permit (SUP) request is for an accessory structure that would exceed the maximum permitted of two per lot, an accessory structure that exceeds the maximum permitted size, and an accessory structure that has a roof pitch less than 3:12.

M.10 Please review the attached Draft Ordinance prior to the June 29, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no

later than July 6, 2021.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 29, 2021.

I.12 The projected City Council meeting dates for this case will be July 19, 2021 [1st Reading] and August 2, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No Comments				

06/21/2021: No Comments

	DEVELOPMENT APPLIC City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	t	PLAN <u>NOTE</u> CITY ( SIGNE DIREC CITY E	FUSE ONLY NING & ZONING CASE NO. Z 2021 - 023 THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE ED BELOW. STOR OF PLANNING: ENGINEER:
	APPROPRIATE BOX BELOW TO INDICATE THE TYPE	OF DEVELOPMEN	IT REQ	UEST [SELECT ONLY ONE BOX]:
PRELIMINARY     FINAL PLAT (\$     REPLAT (\$300.     AMENDING OF	* (\$100.00 + \$15.00 ACRE) 1 PLAT (\$200.00 + \$15.00 ACRE) 1 300.00 + \$20.00 ACRE) 1 00 + \$20.00 ACRE) 1 ? MINOR PLAT (\$150.00) .TEMENT REQUEST (\$100.00)	☐ ZONIN ☑ SPECI □ PD DE OTHER A □ TREE □ VARIA	IG CHA	CATION FEES: ANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> SE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup> PMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> ATION FEES: VAL (\$75.00) EQUEST (\$100.00)
SITE PLAN (\$2	50.00 + \$20.00 ACRE) <sup>1</sup> E PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	MULTIPLYI	NG BY T	NG THE FEE, PLEASE USE THE EXACT ACREAGE WHEN THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE TO ONE (1) ACRE.
PROPERTY INFO	ORMATION [PLEASE PRINT]			
ADDRES				
SUBDIVISIO				LOT 12 BLOCK A
GENERAL LOCATIO				Lot 12 BLOCK A
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEA			
CURRENT ZONING		CURRENT		Residential
PROPOSED ZONING	No Change	PROPOSED		
ACREAGE			UUL	SUP to Add 12'x 20' Storage Bldg.
	PLATS: BY CHECKING THIS BOX YOU ACKNOW FOGE		PASSAG S BY TH	LOTS [PROPOSED] <b>1</b> SE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH HE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/C	HECK THE PRIMARY	CONTA	
OWNER	Don Holamon			in the second of the same required
CONTACT PERSON	Don Holamon	CONTACT PERSO	ON	
ADDRESS	3221 Diamond Way Dr.	ADDRES	SS	
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & Z	IP	
PHONE	214-543-8584	PHON		
E-MAIL	donandteriholamon@hotmail.com			

#### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Don Holamon [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF JUNC , 20 2	JULIE THOMPSON	
OWNER'S SIGNATURE DOS Ham	Comm. Expires 07-22-2024	
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS While Thomasin	MY COMMISSION EXPIRES	! m (/
DEVELOPMENT APPLICATION . CITY OF OKWALL . 385 SOUTH GOLIAD STREET . ROCKWALL	П22/Ц , ТХ 75087 • [P] (972) 771-7745 • [F] (972) 771-7727	sey

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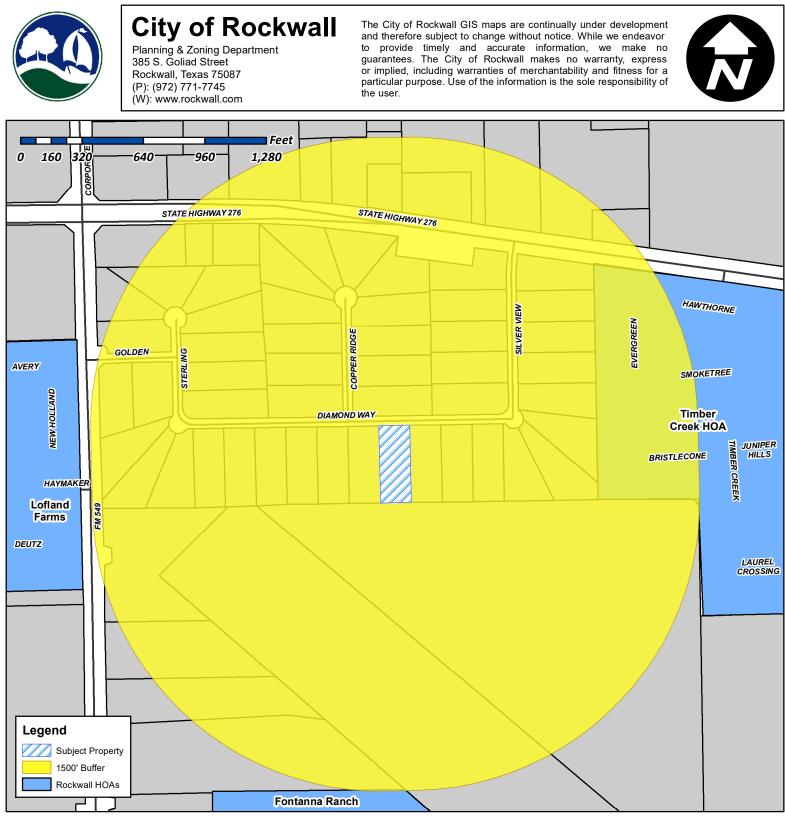




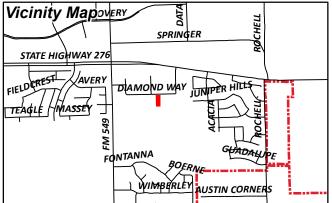
#### City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:	Z2021-023
Case Name:	SUP for an Accessory Building
Case Type:	Zoning
Zoning:	Single-Family Estates 1.5 (SFE-1.5)
Case Address:	3221 Diamond Way Drive



Date Created: 6/19/2021 For Questions on this Case Call (972) 771-7745 **City of Rockwall** 

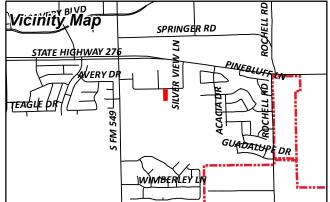


Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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1935	1930		1935		1930			1935
1955	1950	COPPER RIDGE	1955		1950		SILVER VIEW	1955
1975	1970		1975		1970			1975
		D	DIAMOND WAY				て人	1981
3125 3141	3157	3173	3205 3221	3237	3253	3269	3303	1993
Legend Parcels Subject Property 500' Buffer Notified Properties								

Case Number:Z2021-023Case Name:SUP for an Accessory BuildingCase Type:ZoningZoning:Single-Family Estates 1.5 (SFE-1.5)Case Address:3221 Diamond Way Drive



Date Created: 6/19/2021 For Questions on this Case Call (972) 771-7745

#### **BLOOMFIELD HOMES LP** 1050 E STATE HWY 114 EAST SUITE 210 SOUTHLAKE, TX 76092

DIAZ JORGE L & LINDA A **1935 COPPER RIDGE CIR** ROCKWALL, TX 75032

**RISHER CONNIE LYNN** 1955 COPPER RIDGE CIR ROCKWALL, TX 75032

HELMS DEBBIE B **1975 COPPER RIDGE CIR** ROCKWALL, TX 75032

**CHAPMAN JERREL & MELBA** 3173 DIAMOND WAY DR ROCKWALL, TX 75032

CAIN EULIN K II & ANITA J 3237 DIAMOND WAY DR ROCKWALL, TX 75032

HOGUE THOMAS 3303 DIAMOND WAY DRIVE ROCKWALL, TX 75032

**USSERY DAVID & PAMELA 1930 COPPER RIDGE CIR** ROCKWALL, TX 75032

SCOTT MICHAEL C & DOROTHY **1950 COPPER RIDGE CIR** ROCKWALL, TX 75032

WOMMACK KEVIN DALE AND PAMELA MCCOLLUM **1970 COPPER RIDGE CIR** ROCKWALL, TX 75032

**GUZMAN GOMEZ SUSAN W &** ELVIN OMAR GUZMAN GOMEZ 3141 DIAMOND WAY DR ROCKWALL, TX 75032

3205 DIAMOND WAY DRIVE ROCKWALL, TX 75032

DURKEE DAVID M 3253 DIAMOND WAY DRIVE ROCKWALL, TX 75032

**REYNOLDS CHRISTOPHER & RENA 1930 SILVER VIEW LN** ROCKWALL, TX 75032

> AVILA HUMBERTO J II 1950 SILVER VIEW LN ROCKWALL, TX 75032

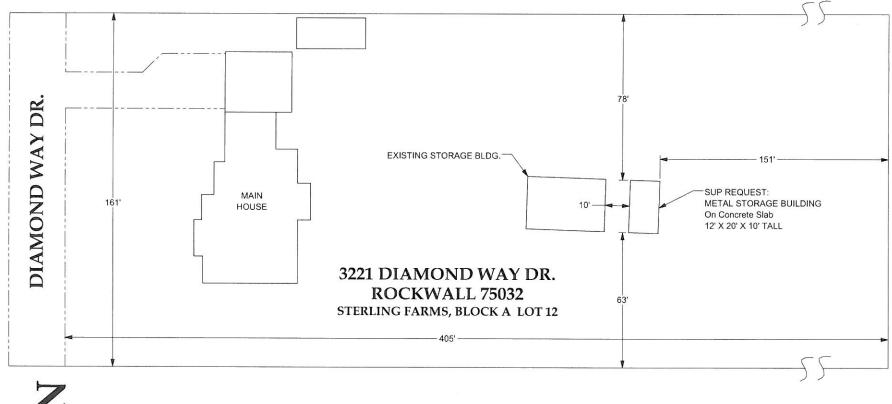
**STEWART TOMMY & ANNETT 1970 SILVER VIEW LANE** ROCKWALL, TX 75032

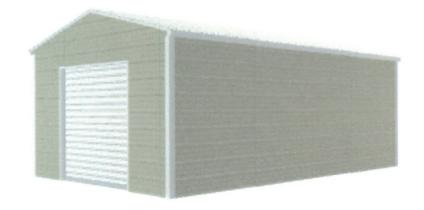
COLEMAN PAMELA A 3157 DIAMOND WAY DR ROCKWALL, TX 75032

HOLAMON TERI D AND DON P 3221 DIAMOND WAY DR ROCKWALL, TX 75032

HUTTON RENELL AND JAMES 3269 DIAMOND WAY DR ROCKWALL, TX 75032

MILLER VICKI S

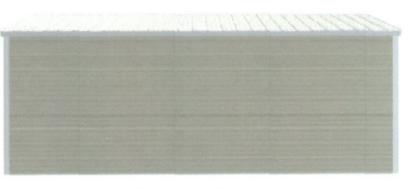


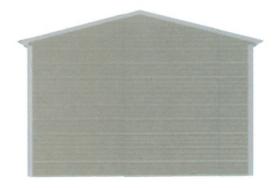


General Contractor: Texwin 1501 Goodnight Blvd. Wills Point, TX 75169 800-636-4700

Contact: James Parsons sws.roycecity@gmail.com







Metal Storage Building 12' x 20' x 10' Tall

#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 21-XX

#### SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 1.4969-ACRE TRACT OF LAND, IDENTIFIED AS LOT 12, BLOCK A, STERLING FARMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE: PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2.000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Don Holamon for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 1.4969-acre tract of land described as Lot 12, Block A, Sterling Farms Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estates 1.5 (SFE-1.5) District, addressed as 3221 Diamond Way Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an Accessory Building as stipulated by Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as

heretofore amended and as may be amended in the future --, and with the following conditions:

#### 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The Accessory Building shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibit 'B & 'C'* of this ordinance.
- (2) The Accessory Building shall not exceed a maximum size of 240 SF.
- (3) The Subject Property shall not have more than three (3) accessory structures.

#### 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

(1) Upon obtaining a Building Permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>TH</sup> DAY OF AUGUST, 2021.

#### ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

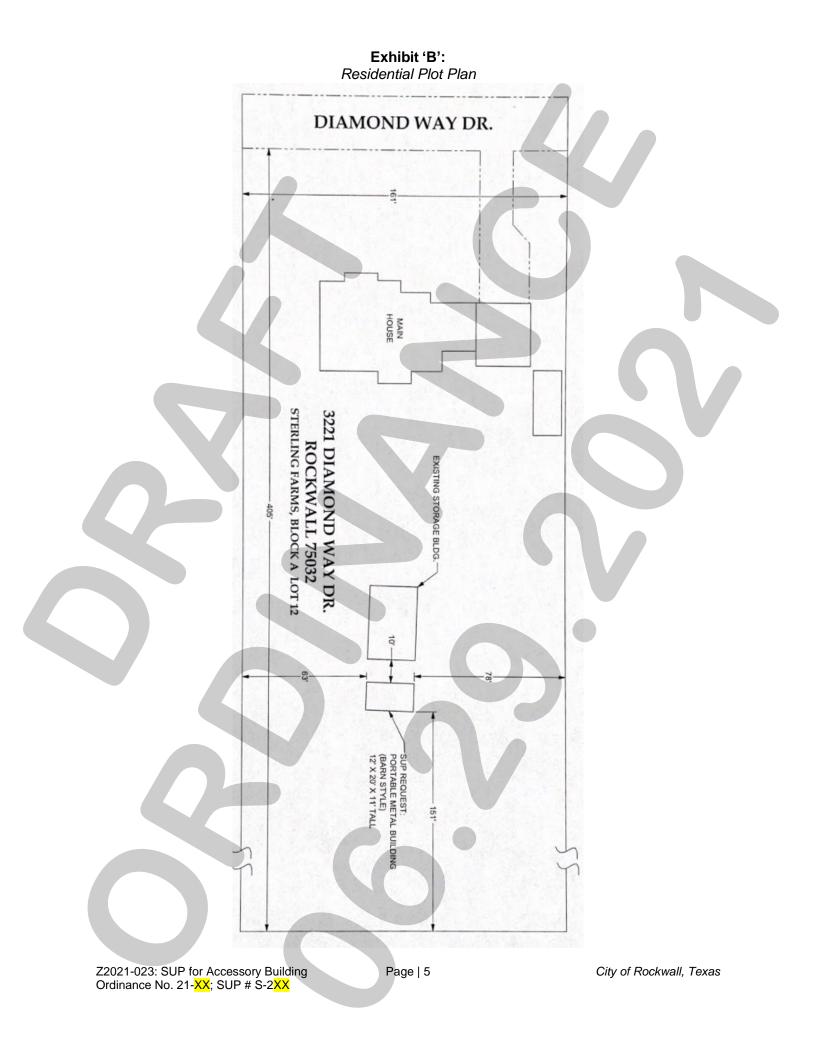
1<sup>st</sup> Reading: <u>July 19, 2021</u> 2<sup>nd</sup> Reading: <u>August 2, 2021</u>

Z2021-023: SUP for Accessory Building Ordinance No. 21-XX; SUP # S-2XX Kevin Fowler, Mayor

#### Exhibit 'A' Zoning Exhibit

<u>Address:</u> 3221 Diamond Way Drive <u>Legal Description:</u> Lot 12, Block A, Sterling Farms Addition







# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER:
PROJECT NAME:
SITE ADDRESS/LOCATIONS:

Z2021-024 Amendment to PD-46

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Ryan Miller 972-772-6441 rmiller@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Ryan Miller	06/22/2021	Approved w/ Comments	

06/22/2021: Z2021-024; Zoning Amendment to PD-46

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of an approval of a Zoning Change amending Planned Development District 46 (PD-46) to allow Warehouse as a permitted land use on a 1.90 -acre parcel of land identified as Lot 5, Block A, Sharp Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, and addressed as 3301 Springer Road.

1.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2021-024) in the lower right-hand corner of all pages on future submittals.

I.4 Please review the attached Draft Ordinance prior to the June 29, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 6, 2021.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 29, 2021.

1.6 The projected City Council meeting dates for this case will be July 19, 2021 (1st Reading) and August 2, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Approved w/ Comments

06/23/2021: The following items are informational for the engineering design process.

General Items:

I - Must meet City Standards of Design and Construction

I - 4% Engineering Inspection Fees

I - Impact Fees (Water, Wastewater & Roadway)

I - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.

I - Retaining walls 3' and over must be engineered.

I - All retaining walls must be rock or stone face. No smooth concrete walls.

I - Springer Road pro-rata = \$11.47/lf of street frontage

Drainage Items:

I - Detention is required. No walls allowed in detention

I - Dumpster areas to drain to oil/water separator and then to the storm lines.

I - Detention outfall must be at sheet flow conditions before leaving the property or an easement from the adjacent property owner is required.

Water and Wastewater Items:

I - Must loop 8" water line on site.

I - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

I - Minimum public sewer is 8".

- I- Sewer pro-rata = \$21/If along street frontage
- I You may need to install a fire hydrant on site to meet fire protection requirements.
- I If you need to connect to the 16" water line on the north side of Springer, you will need to bore or replace full panels of concrete.

#### Roadway Paving Items:

I - Parking to be 20'x9' facing the building or nose-to-nose.

I - No dead-end parking allowed without an City approved turnaround.

I - Drive isles to be 24' wide.

I - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

I - Fire lane to be in a platted easement.

I - Driveway spacing must be City requirements

I - 5ft sidewalk to be installed along Springer

#### Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Ryan Miller	06/22/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No Comments				

DI EASE CHECK THE AN	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE ONLY PLANNING & ZONING CASE NO. Z 2021 - 024 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLATTING APPLICA MASTER PLAT (\$ PRELIMINARY PL FINAL PLAT (\$300 REPLAT (\$300.00 AMENDING OR M PLAT REINSTATE SITE PLAN APPLICA SITE PLAN (\$250.	TION FEES: 100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 0.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> HNOR PLAT (\$150.00) MENT REQUEST (\$100.00) TION FEES:	ZONING ZONI SPEC PD D OTHER TREE VARI NOTES: I: IN DE MULTIPLY	NG APPLICATION FEES: DNING CHANGE (\$200.00 + \$15.00 ACRE) 1 PECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 D DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 ER APPLICATION FEES: REE REMOVAL (\$75.00) ARIANCE REQUEST (\$100.00)
PROPERTY INFOR	RMATION [PLEASE PRINT]		
ADDRESS			
SUBDIVISION	Sharp Addition		
GENERAL LOCATION	South side of Sprin	er Ri	LOT 5 BLOCK A d. East of Corporate Crassing
ZONING, SITE PLA	AN AND PLATTING INFORMATION (PLEAS	SE PRINTI	ar serve. Griper Declessing
CURRENT ZONING	PD 46	CURREN	ENT USE Vacant
PROPOSED ZONING	Ammended PD 46	PROPOSEI	
ACREAGE	LOTS [CURRENT	1 1	LOTS [PROPOSED]
REGARD TO ITS AF	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T PROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF WAL OF YOUR CASE.	'HAT DUE TO THE STAFF'S COMMEI	THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WIT MENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WIL
OWNER/APPLICA	NT/AGENT INFORMATION [PLEASE PRINT/CH	ECK THE PRIMAR	ARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
OWNER	KRIG GHARP		LICANT Merchauon Architectes
	Greg Wallis	CONTACT PER	
ADDRESS	2578 Hwy 276	ADDR	DRESS (520 E, I-30
CITY, STATE & ZIP	Rockuball, TX 75032	CITY, STATE 8	THE RULLING TO THE
PHONE	214-392-0689		PHONE 817-235-9253
E-MAIL	srigesharp@gharpingola	tion. E-	E-MAIL merspensinarch & gual-co
BEFORE ME, THE UNDERS	ATION [REQUIRED] IGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE NON THIS APPLICATION TO BE TRUE AND CERTIFIED THE	D Kris	is sharp [OWNER] THE UNDERSIGNED, WH
S JUNE INFORMATION CONTAINED		S BEEN PAID TO TH EE THAT THE CITY ALSO AUTHORIZE	TY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVID RIZED AND PERMITTED TO PERDAGES ANY COPYRIGHTED INFORMATIO
GIVEN UNDER MY HAND AI	ND SEAL OF OFFICE ON THIS THE DAY OF	ine	20 21. Notary Public, State of Texas
NOTARY PUBLIC IN AND FO	OWNER'S SIGNATURE	-	My Commission Expires May 29, 2022 MY COMMISSION EXPIRES
	10		

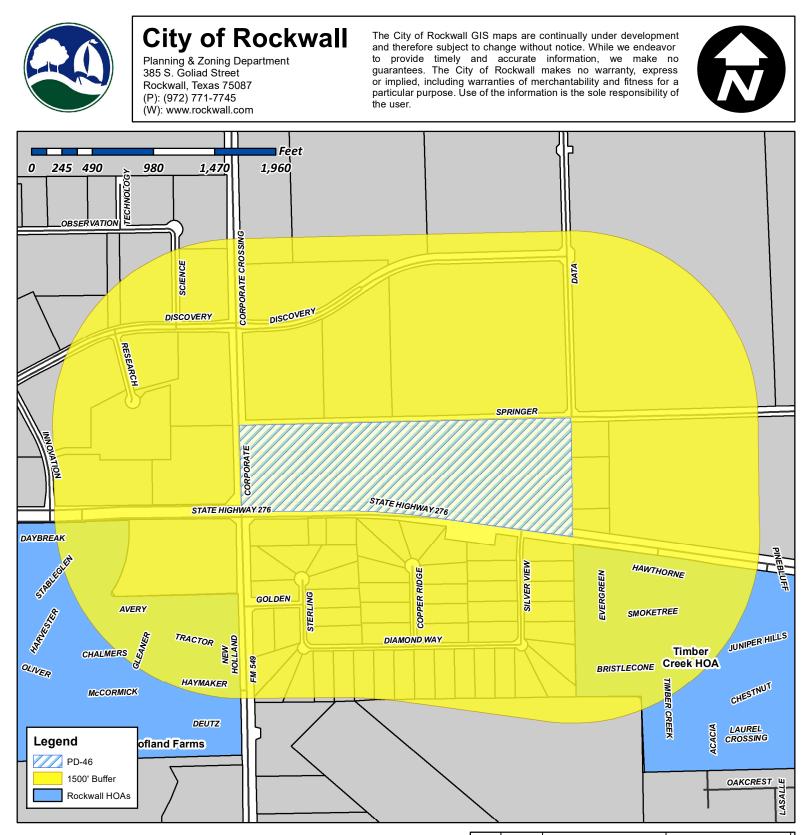




### **City of Rockwall**

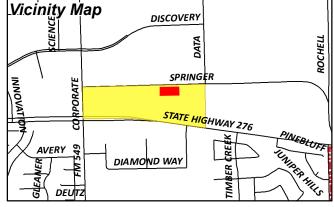
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:	Z2021-024
Case Name:	Amendment to PD-46
Case Type:	Zoning
Zoning:	Planned Development District 46
-	(PD-46)
Case Address:	South of Springer Road &
	East of Corporate Crossing

Date Created: 6/23/2021 For Questions on this Case Call (972) 771-7745

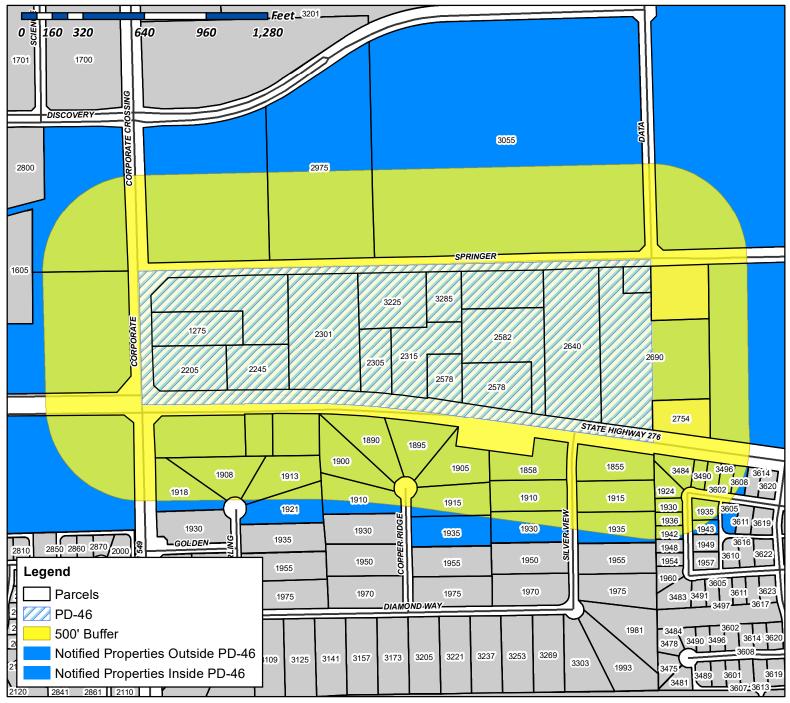


**City of Rockwall** 



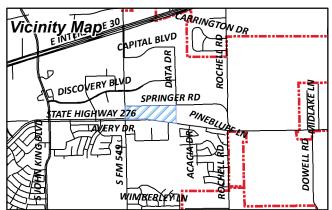
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2021-024Case Name:Amendment to PD-46Case Type:ZoningZoning:Planned Development District 46<br/>(PD-46)Case Address:South of Springer Road and<br/>East of Corporate Crossing

Date Created: 6/23/2021 For Questions on this Case Call (972) 771-7745



CONNOLLY SQUARED LLC **1122 N FLORENCE ST** BURBANK, CA 91505

ALMO INVESTMENT II LTD 2205 HWY 276 ROCKWALL, TX 75032

CONNOLLY SQUARED LLC 2305 HWY276 ROCKWALL, TX 75032

ROCKHEAD HOLDINGS LLC 2578 STATE HIGHWAY 276 ROCKWALL, TX 75032

COLIN-G PROPERTIES INC 2690 HWY276 ROCKWALL, TX 75032

**5 SHARP REAL ESTATE LLC** 3021 RIDGE RD #159 ROCKWALL, TX 75032

**5 SHARP REAL ESTATE LLC** 3285 SPRINGERRD ROCKWALL, TX 75032

> **KELLER JACQUELYN** 8522 GARLAND RD DALLAS, TX 75218

ALMO INVESTMENT II LTD PO BOX 2599 WAXAHACHIE, TX 75168

**KELLER JACQUELYN** 1275 CORPORATE CROSSING ROCKWALL, TX 75032

PRBS PROPERTIES LLC 2245 HWY276 ROCKWALL, TX 75032

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC 2315 STATE HIGHWAY 276 ROCKWALL, TX 75032

> AGREE LIMITED PARTNERSHIP 2582 HWY276RD ROCKWALL, TX 75032

SHARP RICK 2740 STATE HWY 276 SUITE 100 ROCKWALL, TX 75032

> 3216 HUNTER LANE PLANO, TX 75093

PRISM LEASING LTD A TEXAS LIMITED PTNRSHP 625 SUNSET HILL DR ROCKWALL, TX 75087

BLACKLAND WATER CORP ATTN ADA JO PHILLIPS **PO BOX 215** FATE, TX 75132

MAK SPOT REAL ESTATE LLC PO BOX 496585 GARLAND, TX 75049

NBN COMMERCIAL GROUP LLC 2040 N BELT LINE RD STE 400 MESQUITE, TX 75150

PRISM LEASING LTD A TEXAS LIMITED PTNRSHP 2301 HWY276 ROCKWALL, TX 75032

> SHARP RICK 2578 HWY276 ROCKWALL, TX 75032

LATTIMORE MATERIALS COMPANY LP 2640 HWY276 ROCKWALL, TX 75032

SHARP RICK 2740 STATE HWY 276 SUITE 100 ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC 3225 SPRINGERLN ROCKWALL, TX 75032

AGREE LIMITED PARTNERSHIP 70 EAST LONG LAKE **BLOOMFIELD HILLS, MI 48304** 

LATTIMORE MATERIALS COMPANY LP PO BOX 2469 ADDISON, TX 75001

> COLIN-G PROPERTIES INC **PO BOX 847** ROCKWALL, TX 75087

PRBS PROPERTIES LLC



City of Rockwall 2021 Planning and Zoning Department Ryan Miller Re: Sharp Office/Warehouse June 18, 2021,

### LETTER OF ZONING AMMENDMENT

We respectfully request an amendment to the current PD 46 zoning to allow an Office/Warehouse building. This use is not included in the PD 46 zoning; however the use is typical for this area.

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND WHICH IS MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL CLASSIFICATION TO PLANNED DEVELOPMENT ZONING "PD- 46 PLANNED DEVELOPMENT NUMBER 46; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in the classification of a zoning district has been initiated by the City of Rockwall for the property more specifically described in Exhibit "A" attached hereto; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give "Planned Development District No.46 classification to the tract of land described in Exhibits "A" and "B"attached hereto and made part of.

SECTION 2. That the property described in Exhibit "A" shall be used only in the manner and for the purposes provided for in Exhibit "B" and the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future. The granting of this zoning classification for the property as described in Exhibit "A" is subject to the following special conditions:

A. The use of the property shall be regulated by the following requirements:

1. The uses, area requirements and development standards of the Commercial zoning category of the Comprehensive Zoning ordinance as currently adopted, or as revised in the future, and Exhibit "B" except as otherwise provided for in this ordinance.

B. Those tracts with existing buildings will be allowed to use the same exterior materials currently shown in Exhibit "B"for any new buildings that are built. However, if an existing building is expanded to an amount that equals 50% of the appraised tax value of that building, the requirements of the commercial zoning district exterior materials shall be met.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this lst day of <u>March</u>, 1999.

ATTEST: etarv

2/15/99 1st reading

2nd reading <u>3/1/</u>99

APPROVED: Mayor <u> Éeorqe</u> R. Hatfield



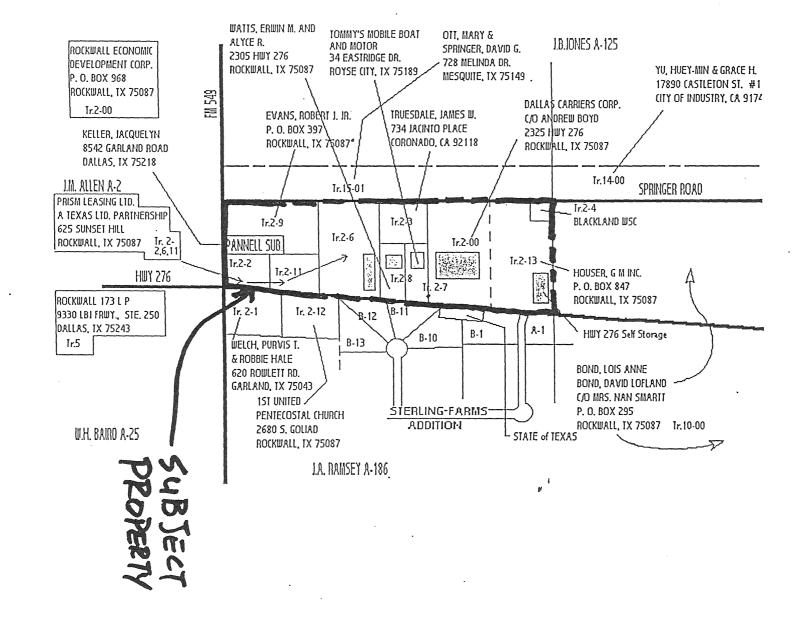


EXHIBIT .

#### J. A Ramsey A-186

Track 2, Lot 00 - 10.001 Acres Ownership: Continental Express (As of Jan. 1, 1999) 2325 Hwy 276 Rockwall, Texas 75087 Property Use: Trucking/Freight Carrier Company - Outside Storage of Trucks and Trailers - Limited Outside Storage of Pallets

- Metal Buildings

#### Proposed Zoning

#### Commercial

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance and trucking operation and associated uses.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

#### Track 2, Lot 2 - 2.00 Acs.

Ownership: Prism Leasing Ltd. A Texas Limited Partnership 625 Sunset Hill Rockwall, Texas 75087 Property Use: Rockwall Tire & Battery Proprietor: Roland Cobb

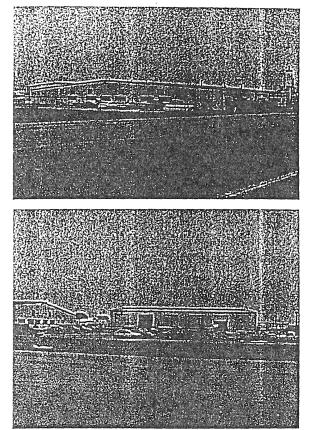
- Minor Auto Repair
- Limited Outside Storage
- Metal Building

#### Proposed Zoning

#### Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and minor auto repair and associated uses

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



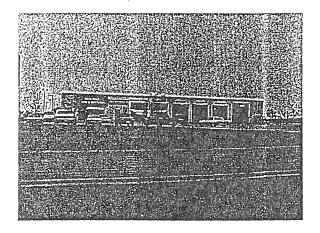


EXHIBIT "B" / OF6

1

Track 2, Lot 3 - 2.5 Acs. Ownership: James W. Truesdale 734 Jacinto Place Coronado, Calif. 92118 Property Use: Existing Vacant Building

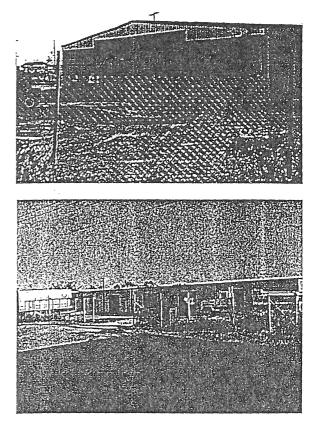
- Possibly a Contractor's Yard
- Outside Storage of Equipment
- Metal Building

#### Proposed Zoning

#### Commercial

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance and contractor yard and equipment yard.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



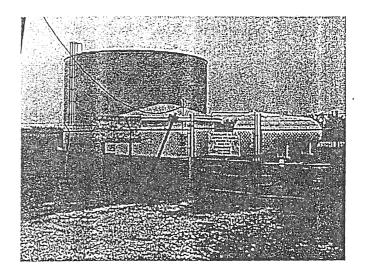
Track 2, Lot 4 - 0.436 Acs. Ownership: Blackland WSC Property Use: Water Station

#### Proposed Zoning

#### Commercial

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.





Track 2, Lot 6 - 5.00 Acs. Ownership: Prism Leasing Ltd. A Texas Limited Partnership 625 Sunset Hill Rockwall, Texas 75087 Property Use: Self Storage Facility

- No Outside Storage
- Metal Building with Some Brick Accents along SH 276

#### Proposed Zoning

#### <u>Commercial</u>

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and mini-warehouses with no overhead doors facing the street.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

#### Track 2, Lot 7 - 1.5 Acs.

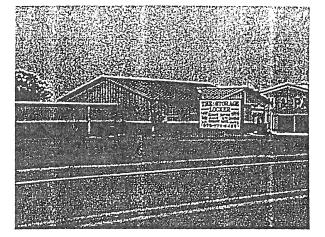
- Ownership: Tommy's Mobile Boat and Motor 34 Eastridge Drive Royse City, Texas 75189 Property Use: Boat Motor Repair Facility
- Limited Outside Storage of Boats
- Metal Building
- Outside Display for Boat Sales

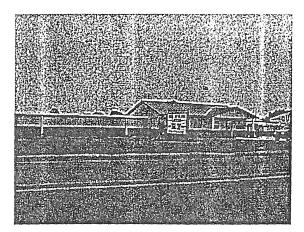
#### Proposed Zoning

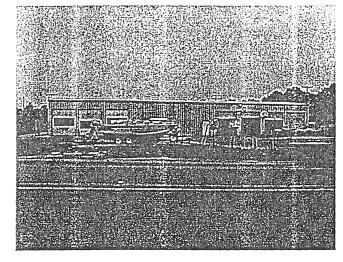
#### Commercial

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance and boat repair with accessory sales.

\*Conditional uses -. those uses in the conditional use section of the zoning ordinance.







Track 2, Lot 8 - 1 Ac. Ownership: Erwin M. and Alyce R. Watts 2305 Hwy 276 Rockwall, Texas 75087 Property Use: Watt's Gun and Pawn

- No Outside Storage

- Tilt Wall Construction
- On-Site Security Live-In

#### Proposed Zoning

#### **Commercial**

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance and pawn shop with On-Site Security Live-In

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 9 - 3.07 Acs. Ownership: Robert J. Evans, Jr. P. O. Box 397 Rockwall, Texas 75087 Property Use: Vacant

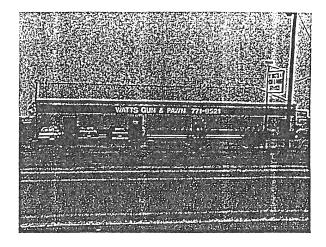
Dirt StockpilesConcrete StockpilesAssortment of Junk and Refuse

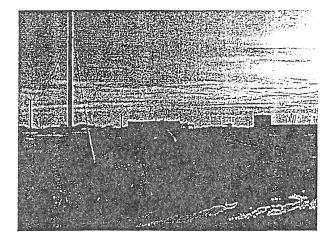
#### Proposed Zoning

#### Commercial

\*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.





## EXHIBIT "B" 4 OF 6

Track 2, Lot 11 - 2.00 Acs. Ownership: Prism Leasing Limited A Texas Limited Partnership 625 Sunset Hill Rockwall, Texas 75087 Property Use: Vacant

1 5

#### Proposed Zoning

<u>Commercial</u> \*Permitted uses - those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.

Track 2, Lot 13 - 10.003 Acs. Ownership: Houser, G.M Inc.

P. O. Box 847 Rockwall, Texas 75087 Property Use: Concrete-Ready Mixed Company/Self Storage

- Brick Office Building
- Metal Self-Storage Buildings
- Metal Shop Buildings
- Concrete Batch Plant

#### **Proposed Zoning**

#### **Commercial**

\*Permitted uses - those uses in the permitted use section of the zoning ordinance and concrete batch plants, associated uses, and mini-warehouses with no overhead doors facing the street.

\*Conditional uses - those uses in the conditional use section of the zoning ordinance.



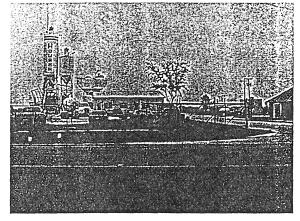
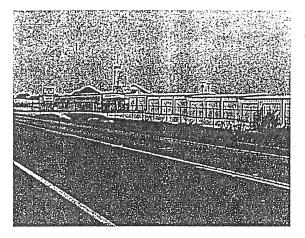
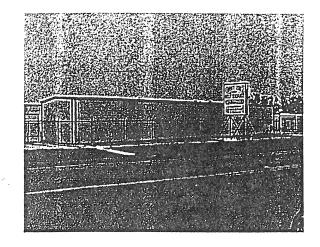


EXHIBIT "B"

5 of 6

## Track 2, Lot 13 - Houser, G. M. (continued)





#### Pannell Subdivision 2.00 Acs.

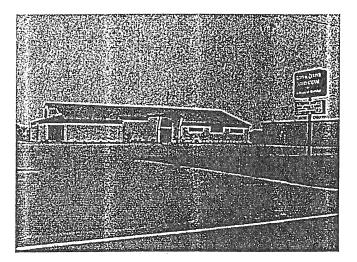
- Ownership: Jacquelyn Keller 8542 Garland Road Dallas, Texas 75218 Property Use: Church
- Building with Vinyl Siding

#### Proposed Zoning

#### Commercial

\***Permitted uses -** those uses in the permitted use section of the zoning ordinance.

\*Conditional uses - those uses in the conditional use section of the zoning.



## EXHIBIT "B" GOFG

#### **Planned Development No. 46**

**BEING** 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**COMMENCING** at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (*NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet*) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING;* 

**BEGINNING** at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

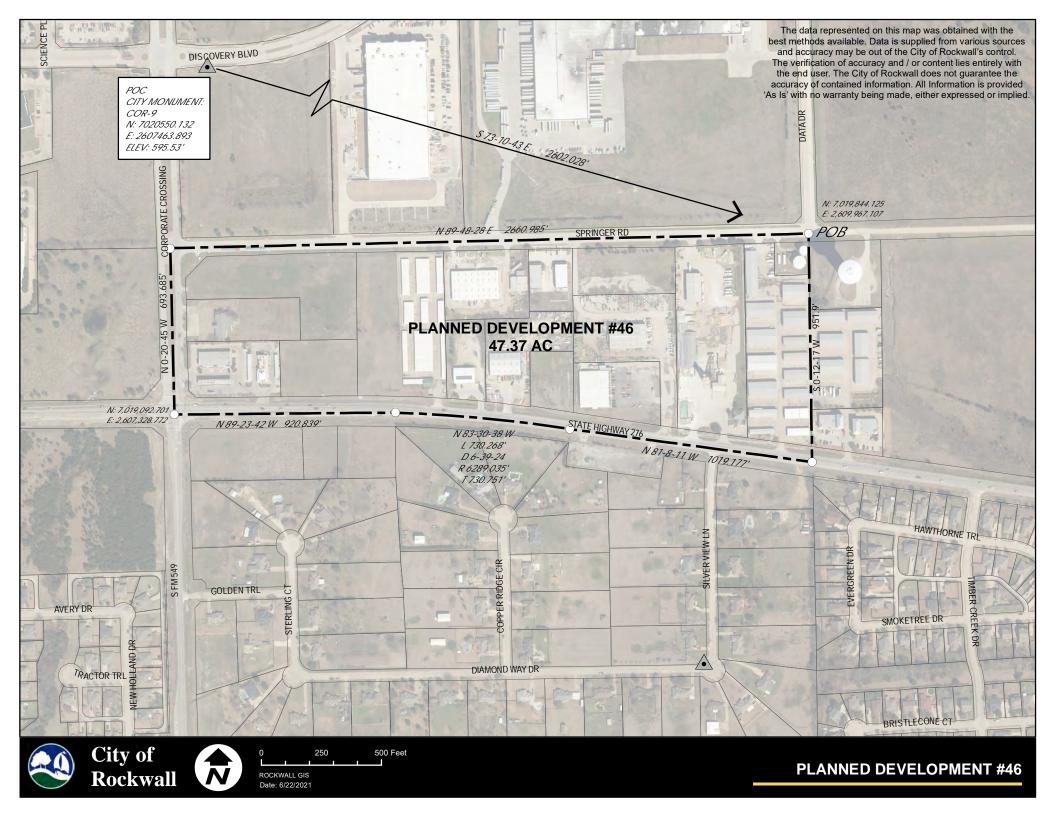
**THENCE** South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

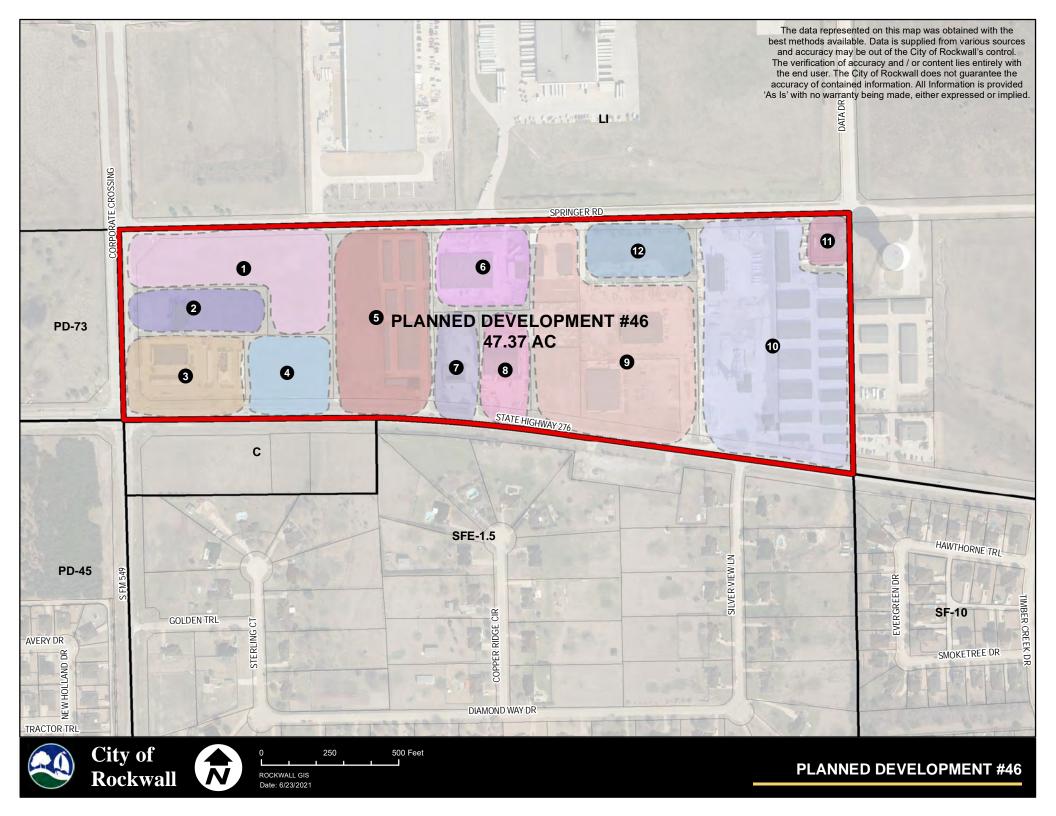
**THENCE** North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

**THENCE** North 89° 48 28" East, a distance of 2,660.985 feet, to the POINT OF BEGINNING AND CONTAINING 47.37 acres of land (2,063,262.886 square feet) more or less.





#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 99-05] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO (\$2,000.00) THOUSAND DOLLARS FOR EACH **OFFENSE:** PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A **REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.** 

WHEREAS, the City has received a request from Greg Wallis of Mershawn Architects on behalf of Kris Sharp for the approval of an amendment Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] for the purpose of allowing a *Warehouse* as a permitted land use on a 1.90-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [*Ordinance No. 99-05*], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [*Ordinance No. 99-05*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

### NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 99-05*;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit* 'C' of this ordinance, attached hereto and incorporated herein by reference as *Exhibit* 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*], and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF AUGUST, 2021.

ATTEST:

Kristy Cole, City Secretary

#### **APPROVED AS TO FORM:**

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: <u>July 19, 2021</u> 2<sup>nd</sup> Reading: <u>August 2, 2021</u>

Z2020-024: Planned Development District 46 (PD-46) Page | 2 Ordinance No. 21-XX; PD-46 Kevin Fowler, Mayor

#### EXHIBIT 'A':

#### Legal Description and Survey

**BEING** 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**COMMENCING** at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (*NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet*) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the POINT OF BEGINNING;

**BEGINNING** at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

**THENCE** South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

**THENCE** North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

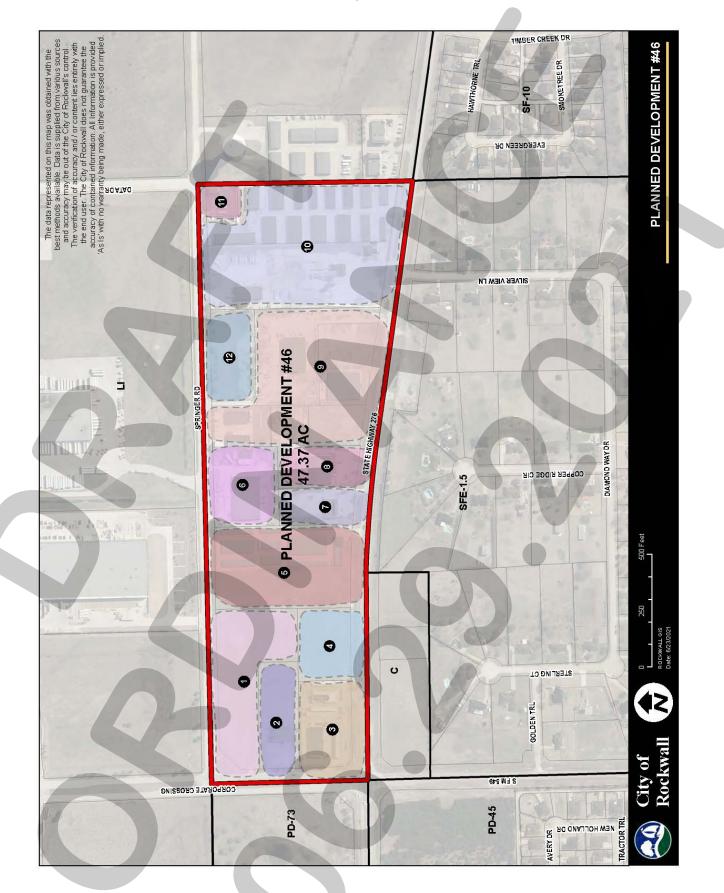
THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

**THENCE** North 89° 48 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

**EXHIBIT** 'A': Legal Description and Survey



Z2020-024: Planned Development District 46 (PD-46) Page | 4 Ordinance No. 21-XX; PD-46 **EXHIBIT 'B':** Concept Plan



Z2020-024: Planned Development District 46 (PD-46) Page | 5 Ordinance No. 21-XX; PD-46 City of Rockwall, Texas

#### EXHIBIT 'C':

#### PD Development Standards

- (A) <u>Purpose.</u> The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede Ordinance No. 99-05; however, this ordinance does not change the intent, restrictions, or land uses established in Ordinance No. 99-05 with the exception of adding the Warehouse land use to Tract 12 as depicted in Exhibit 'B' of this ordinance.
- (B) <u>Permitted Land Uses</u>. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:
  - (1) Tract 3 [Tract 2, Lot 02].
    - ☑ Minor Automotive Repair Garage
  - (2) Tract 5 [Tract 2, Lot 06].
    - ☑ Mini-Warehouse
  - (3) Tract 6 [Tract 2, Lot 03].
    - ☑ Heavy Construction/Trade Yard
  - (4) Tract 7 [Tract 2, Lot 08].
    - Pawn Shop
  - (5) Tract 8 [Tract 2, Lot 07].
    - ☑ New or Used Boat Dealership
  - (6) Tract 9 [A Portion of Tract 2, Lot 00].
    - ☑ Trucking Company
  - (7) <u>Tract 10 [Tract 2, Lot 13]</u>.
    - ☑ Concrete Batch Plant
    - ☑ Mini-Warehouse
  - (8) Tract 12 [A Portion of Tract 2, Lot 00].
    - ☑ Warehouse
- (C) <u>Dimensional Requirements</u>. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (D) <u>Legal Non-Conforming Status</u>. All properties within the boundaries of this Planned Development District as depicted in *Exhibit* 'B' of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the

#### EXHIBIT 'C':

PD Development Standards

Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

Z2020-024: Planned Development District 46 (PD-46) Page | 7 Ordinance No. 21-XX; PD-46

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: Z2021-025 SUP for Residential Infill at 154 Lynne Drive 154 LYNNE DR, ROCKWALL, 75032

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

DEPARTMENT         REVIEWER         DATE OF REVIEW         STATUS OF PROJECT           Henry Lee         06/25/2021         Approved w/ Comments		
Henry Lee 06/25/2021 Approved w/ Comments	 DATE OF REVIEW STATUS OF PROJECT	RTMENT REVIEWER
	06/25/2021 Approved w/ Comments	Henry Lee

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a

0.1650-acre parcel of land identified as Lot 908A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive.

1.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com

M.3 For reference, include the case number (Z2021-025) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which is 90% or more developed and has been in existence for more than 10 years.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Include the proposed home on the Plot Plan so I may verify the setbacks. Front Setback - 20 feet, Side Yard Setback - 5 feet, Rear Setback - 10 feet.

I.7 According to the Unified Development Code front facing garages must be set back 20' behind the front façade of the home. In this case the garage is set 14'-6.5" in front of the front façade. This will require a waiver to the garage setback requirement, which is a discretionary decision for the Planning and Zoning Commission and City Council.
 M.8 Please review the attached Draft Ordinance prior to the July 13, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later

than July 6, 2021.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Mork Session Meeting for this case will be held on June 29, 2021.

I.10 The projected City Council meeting dates for this case will be July 19, 2021 [1st Reading] and August 2, 2021 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review

#### 06/23/2021: M - Will need a grading plan that shows how the house will fit on the property.

I - Will require engineering driveway culvert design to meet City requirements

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No Comments				

PROJECT COMMENTS: Z2021-025: SUP for Residential Infill at 154 Lynne Drive

	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	TION	STAFF USE ONLY PLANNING & ZONING CASE NO. ZZOZI DZG <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE AF	PPROPRIATE BOX BELOW TO INDICATE THE TYPE OF	DEVELOPME	NT REQUEST [SELECT ONLY ONE BOX]:
☐ PRELIMINARY PL ☐ FINAL PLAT (\$300 ☐ REPLAT (\$300.00 ☐ AMENDING OR M ☐ PLAT REINSTATE SITE PLAN APPLICA ☐ SITE PLAN (\$250.	100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 0.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> INOR PLAT (\$150.00) MENT REQUEST (\$100.00) I <b>TION FEES:</b>	□ ZON □ SPE □ PD 0 OTHER □ TRE □ VAR NOTES: 1: IN DI MULTIPL	G APPLICATION FEES: ING CHANGE (\$200.00 + \$15.00 ACRE) 1 CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1 APPLICATION FEES: E REMOVAL (\$75.00) IANCE REQUEST (\$100.00) ETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN YING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE DUND UP TO ONE (1) ACRE.
	RMATION [PLEASE PRINT]		
ADDRESS	154 Linne Dr Ro	chwal	1 TX 75032
SUBDIVISION	Dockwall Lake		LOT QOE-4 BLOCK
GENERAL LOCATION			
ZONING, SITE PL	AN AND PLATTING INFORMATION (PLEASE	PRINT]	
CURRENT ZONING		CURREN	IT USE
PROPOSED ZONING		PROPOSE	DUSE
ACREAGE	LOTS [CURRENT]		LOTS [PROPOSED]
REGARD TO ITS AF	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH	IAT DUE TO TH	E PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH INTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
	NT/AGENT INFORMATION [PLEASE PRINT/CHE	CK THE PRIMA	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
	Kevin Osornio		CANT
CONTACT PERSON	win Osomia	CONTACT PER	RSON
ADDRESS	220 Crawford Lu	ADD	RESS
CITY, STATE & ZIP	Loyse city TX 75189	CITY, STATE	
24-957	PERIODELLE LEVELED		IONE
7984 E-MAIL 1	wenterprise 78 Yahoo. com	E	MAIL
	ATION [REQUIRED] SIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED N ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE I		OSDINIO [OWNER] THE UNDERSIGNED, WHO
SUBMITTED IN CONTAINED SUBMITTED IN CONJUNCTION GIVEN UNDER MY HAND A NOTARY PUBLIC IN AND F	, TO COVER THE COST OF THIS APPLICATION, HAS 20 BY SIGNING THIS APPLICATION, I AGREL WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS DN WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOC ND SEAL OF OFFICE ON THIS THE DAY OF TU OWNER'S SIGNATURE OR THE STATE OF TEXAS	S BEEN PAID TO E THAT THE CIT ALSO AUTHORIZ CIATED OR IN RE	Y OF ROCKWALL (I.E. <u>"CITY") IS AUTHOBIZED AND PERMITTED TO PROVIDE</u>





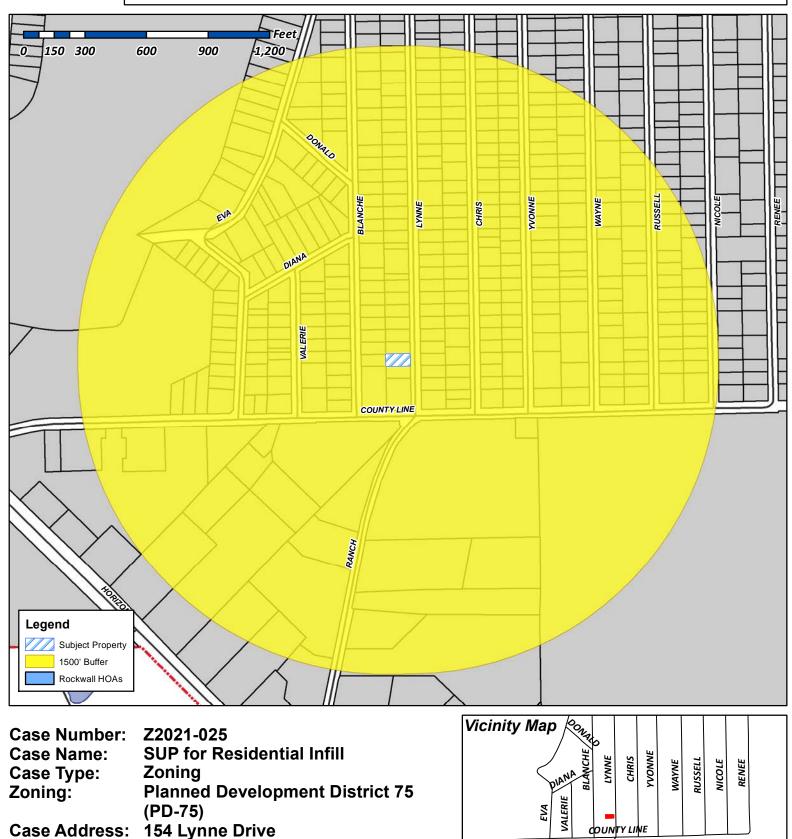
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





HORITON

RANCH

Date Created: 6/19/2021 For Questions on this Case Call (972) 771-7745

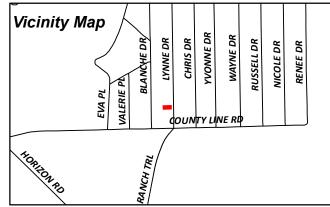
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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187 <b>1</b> 78	175	178		175	178	LYNNE	179	166	CHRIS	173			
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367 Legend Parcels Subject Property 500' Buffer 305 305 305 305 305 305 305 305													
Notified Pr	operties			382 June									

Case Number: Z2021-025 Case Name: SUP for Residential Infill Case Type: Zoning Zoning: Planned Development District 75 (PD-75) Case Address: 154 Lynne Drive

Date Created:6/19/2021For Questions on this Case Call (972) 771-7745



SALAS HECTOR JABIER & CAROLINA ORTIZ 1000 W YELLOWJACKET LANE APT 2507 ROCKWALL, TX 75087

ROCKWALL HOUSING DEVELOPMENT CORPORATION 112 CHRIS DR ROCKWALL, TX 75032

> GALLEGOS JOSE GUADALUPE 118 BLANCHE DR ROCKWALL, TX 75032

ARCHIBALD L D & CARLA R REVOCABLE LIVING TRUST 121 LYNNE DR ROCKWALL, TX 75032

> FERNANDEZ URBANO 124 LYNNE DR ROCKWALL, TX 75032

> ESPARZA JUANA 12622 SE 27TH AVE PORTLAND, OR 97222

FLORES DAYANARA & JAMES GLEASON 132 BLANCHE DR ROCKWALL, TX 75032

HILTON THOMAS 135 CHRIS DRIVE ROCKWALL, TX 75032

HOLGUIN CECILIA 140 YVONNE DRIVE ROCKWALL, TX 75032

GARCIA MARTIN 144 BLANCHE DR ROCKWALL, TX 75032 VARGAS RICARDO 109 BLANCHE DR ROCKWALL, TX 75032

PEREZ GILBERTO AND JUANITA PEREZ 112 LYNNE DR ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES 120 BLANCHE DR ROCKWALL, TX 75032

> FERNANDEZ URBANO 1235 VZ CR3425 WILLS POINT, TX 75169

JIMENEZ RICARDO 124 YVONNE DR ROCKWALL, TX 75032

LICEA JOSE DELFINO 130 CHRIS DR ROCKWALL, TX 75032

PAVON MARISOL 132 VALERIE PL ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR 137 VALERIE PL ROCKWALL, TX 75032

> LOC PHU AND VINCENT TONG 1414 BUFFALO WOODS CT KATY, TX 77494

MBA CUSTOM HOMES LLC 144 LYNNE DR ROCKWALL, TX 75032 SALAS ALBERTO R & ADELA A 109 VALERIE PL ROCKWALL, TX 75032

CANIZALES ELIDA VILLAREAL 115 CHRIS DR ROCKWALL, TX 75032

> OLIVARES JAIME 1209 QUAIL DR GARLAND, TX 75040

ROCKWALL HOUSING DEVELOPMENT CORPORATION 124 CHRIS DR ROCKWALL, TX 75032

> RANGEL ADELA 125 CHRIS DR ROCKWALL, TX 75032

> LICEA JOSE DELFINO 131 LYNNE DR ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT 134 YVONNE DR ROCKWALL, TX 75032

> SANCHEZ ROSA & ISMAEL PALACIOS 140 CHRIS DR ROCKWALL, TX 75032

> LICEA JOSE DELFINO 143 LYNNE DR ROCKWALL, TX 75032

BETETA RUTH E 1452 GREENBROOK DR ROCKWALL, TX 75032 ALMARAZ JUAN V DIAZ **147 CHRIS LANE** ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT 149 VALERIE PL ROCKWALL, TX 75032

> VAZQUEZ RAMON LOPEZ 156 BLANCHE DR ROCKWALL, TX 75032

**BETETA RUTH E** 159 CHRISDR ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA 160 YVONNE DR ROCKWALL, TX 75032

> LOREDO SUSANA 166 CHRIS DR ROCKWALL, TX 75032

> CITY OF ROCKWALL 168 VALERIE PL ROCKWALL, TX 75032

> CARRILLO JORGE 173 CHRIS DR ROCKWALL, TX 75032

> **OLIVARES JAIME** 178 BLANCHE DR ROCKWALL, TX 75032

CRUZ IGNACIO 179 LYNNE DR ROCKWALL, TX 75032 VALDEZ MARY ESTHER 148 VALERIE PL ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S 150 CHRIS DR ROCKWALL, TX 75032

> PEREZ GILBERTO AND JUANITA PEREZ 157 LYNNE DR ROCKWALL, TX 75032

**TEPOX FABIOLA DOMINGUEZ** 159 VALERIE PL ROCKWALL, TX 75032

> VARGAS RICARDO 163 BLANCHE DR ROCKWALL, TX 75032

**167 LYNNE DRIVE** 

1705 HIGH MEADOW DR GARLAND, TX 75040

175 BLANCHE DR

PALACIOS ARIEL 178 LYNNE DR

181 CHRIS DR ROCKWALL, TX 75032

VARGAS RICARDO 149 BLANCHE DR ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC 154 LYNNE DR ROCKWALL, TX 75032

> **KUO DANIEL** 1580 COASTAL DRIVE ROCKWALL, TX 75087

> **DURAN ROCIO** 160 VALERIE PL ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR AND JESUS HERNANDEZ SALAZAR 164 LYNNE DR ROCKWALL, TX 75032

> PALICIOS MARIA 168 BLANCHE DR ROCKWALL, TX 75032

HERNANDEZ BENJAMIN AND MARIANA SIFUENTES **172 VALERIE PL** ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG 175 VALERIE PL ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I **178 VALERIE PL** ROCKWALL, TX 75032

**GUTIERREZ DONATILO & BLANCA** 185 BLANCHE DR ROCKWALL, TX 75032

LOZANO ISIDRO

GOMEZ ALEJANDRO

ROCKWALL, TX 75032

ROCKWALL, TX 75032

CHEPETLA ANTHONY ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ

ESQUIVEL ZAIDA 186 CHRIS DRIVE ROCKWALL, TX 75032

ALVAREZ FRANCISCO J 190 BLANCHE DR ROCKWALL, TX 75032

LOZANO ISIDRO 192 VALERIE PL ROCKWALL, TX 75032

CARMONA JOEL 196 CHRIS DR ROCKWALL, TX 75032

ARROYO MARGARITO & LUCIA ARROYO-ESPINOSA 202 BLANCHE DR ROCKWALL, TX 75032

REYES MARIA ISABEL AND RAMIRO M 204 CHRIS DR ROCKWALL, TX 75032

> URBINA ARACELI C 209 BLANCHE DR ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE 212 LYNNE DR ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J 215 LYNNE DR ROCKWALL, TX 75032

> RUIZ JOSE C 219 VALERIE PL ROCKWALL, TX 75032

RETANA JOSE L 187 LYNNE DR ROCKWALL, TX 75032

SANCHEZ ALEJANDRO & KARLA CAMACHO 190 YVONNE DR ROCKWALL, TX 75032

RANGEL JUAN 193 CHRIS DR ROCKWALL, TX 75032

MELENDEZ HOPE 199 DIANA DR ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL 203 CHRIS DR ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 204 LYNNE DR ROCKWALL, TX 75032

> CANADY JERRY ANN 209 VALERIE PL ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA 213 CHRIS DR ROCKWALL, TX 75032

> QUEVEDO OSCAR F 216 CHRIS DR ROCKWALL, TX 75032

CARMONA JOEL 221 NICOLE DR ROCKWALL, TX 75032 CARMONA JOSE ROBERTO & MARIA BLANCA RESENDIZ 187 VALERIE PL ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA 192 LYNNE DR ROCKWALL, TX 75032

> GARCIA JOSE 195 BLANCHE DR ROCKWALL, TX 75032

> CANADY JERRY ANN 199 VALERIE PL ROCKWALL, TX 75032

WILSON JAMES F AND TAMMY M UNDERWOOD AND CAITLIN A DAVIS-WILSON 203 LYNNE DRVE ROCKWALL, TX 75032

> MEDINA MARIA V AND MARITZA ALONSO 204 YVONNE ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D 212 LYNNE DR ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ 214 BLANCHE DR ROCKWALL, TX 75032

> GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 219 BLANCHE DR ROCKWALL, TX 75032

ESPARZA JUANA 225 LYNNE DR ROCKWALL, TX 75032 MENDOZA ERICK CRUZ 226 BLANCHE DRIVE ROCKWALL, TX 75032

YANEZ MARIA TERESA 230 CHRIS DR ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA 231 CHRIS DRIVE ROCKWALL, TX 75032

> RAMIREZ MARTHA E 235 LYNNE DRIVE ROCKWALL, TX 75032

> CARRILLO JAIME 242 CHRIS DR ROCKWALL, TX 75032

> RAMIREZ MARTHA E 254 LYNNE DR ROCKWALL, TX 75032

> QUEVEDO OSCAR F 293 YVONNE ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S 3778 PR 3843 QUINLAN, TX 75474

> LOZANO ISIDRO 420 COUNTY LINE RD ROCKWALL, TX 75032

RANGEL JUAN 4427 FM 550 ROYSE CITY, TX 75187 GUADALUPE JOSE AND ANGELA ANN GUTIERREZ 229 BLANCHE DR ROCKWALL, TX 75032

PEREZ FERMIN 230 LYNN DRIVE ROCKWALL, TX 75032

UGALDE VICENTE R 234 BLANCHE DR ROCKWALL, TX 75032

MILESTONE ELECTRIC INC 2360 CRIST ROAD SUITE B900 GARLAND, TX 75040

> TONG VINCENT 247 BLANCHE DR ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE 263 LYNNE DR ROCKWALL, TX 75032

> MAZARIEGOS EDGAR & SONIA I 3248 BLACKLAND RD ROYSE CITY, TX 75189

BIG BUCK PROPERTIES LLC 382 RANCH TRL ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC 430 RENEE DRIVE ROCKWALL, TX 75032

LICEA JOSE DELFINO 448 LYNNE DR ROCKWALL, TX 75032 KUO DANIEL 229 VALERIE PL ROCKWALL, TX 75032

CONFIDENTIAL 230 LYNNE DR ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR 235 LYNNE DR ROCKWALL, TX 75032

> UGALDE VICENTE R 238 BLANCHE DR ROCKWALL, TX 75032

> CARMONA EVELIA 249 LYNNE DR ROCKWALL, TX 75032

JIMENEZ RICARDO 2847 TANGLEGLEN DR ROCKWALL, TX 75032

PALICIOS MARIA 365 LYNNE DR ROCKWALL, TX 75032

CARMONA JOSE ROBERTO & MARIA BLANCA RESENDIZ 397 CHRIS DR ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL 4427 FM 550 ROYSE CITY, TX 75189

BIG LEAGUE SPORTS ACADEMY INC 505 COUNTY LINE RD ROCKWALL, TX 75032

#### BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230

ROCKWALL LAKE PROPERTIES 5713 SECREST CT GOLDEN, CO 80403 REYES MARIA ISABEL AND RAMIRO M 603 S CREEK DR ROYSE CITY, TX 75189

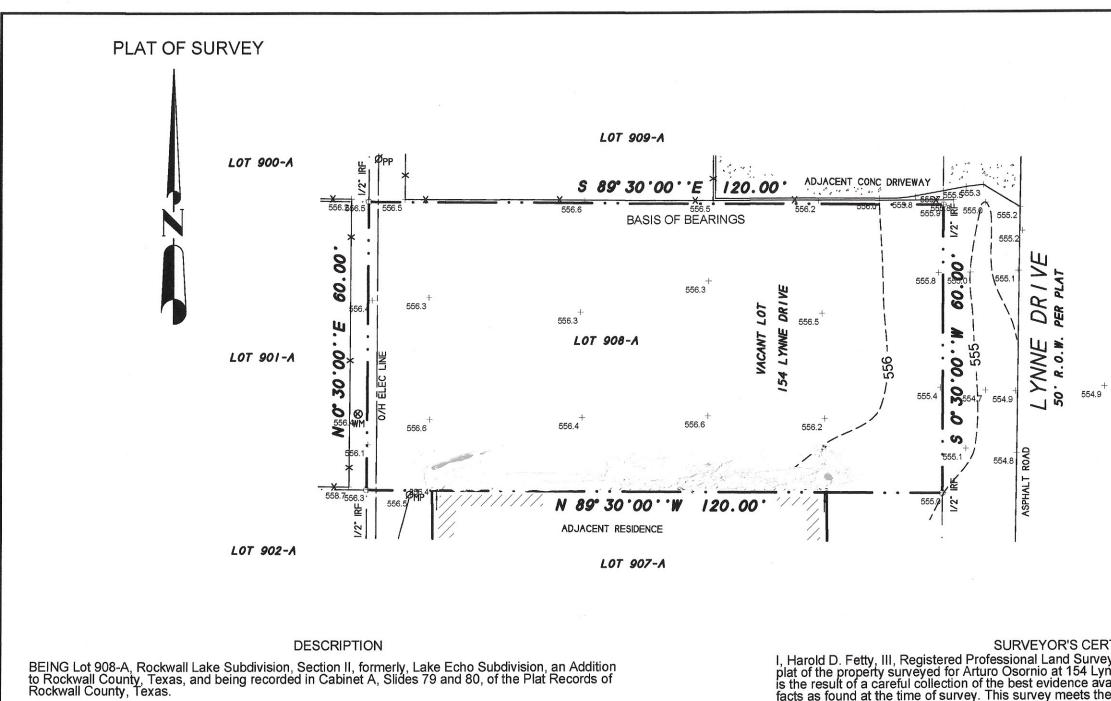
FLORES DAYANARA & JAMES GLEASON 611 MEADOW DR ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT CORPORATION 787 HAIL DRIVE ROCKWALL, TX 75032

> BIG BUCK PROPERTIES LLC PO BOX 2107 ROCKWALL, TX 75087

MOONEY GERALD M & JEWELL F REV LIV TR 6379 KLONDIKE RD RIPLEY, NY 14775 GUTIERREZ DONATILO & BLANCA 6514 BUNKER HILL CT ROWLETT, TX 75089

PAVON MARISOL 810 E. DOUGHERTY DR GARLAND, TX 75041 GARCIA MARTIN 852 ROSE LANE ROCKWALL, TX 75087



NOTES

1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

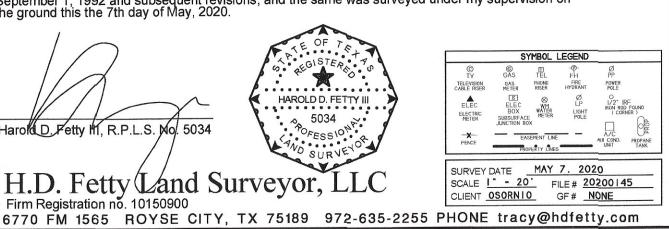
2) BEARING SOURCE: RECORDED PLAT.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVE	Y ACCEPTED BY:
 n a stad for the day degraded of	DATE
 	DATE

SURVEYOR'S CERTIFICATE I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Arturo Osornio at 154 Lynne Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 7th day of May, 2020.

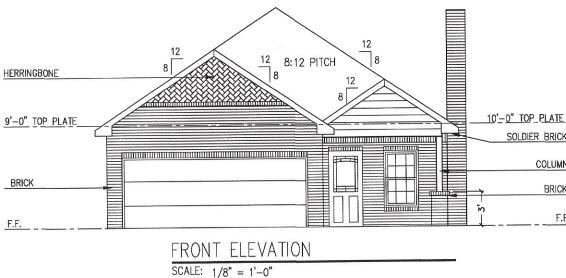
HAROLD D. FETTY III 5034 NO SURVEY M1, R.P.L.S. No. 5034 Harold D. Fetty SURVE H.D. Fetty Land Surveyor, LLC Firm Registration no. 10150900

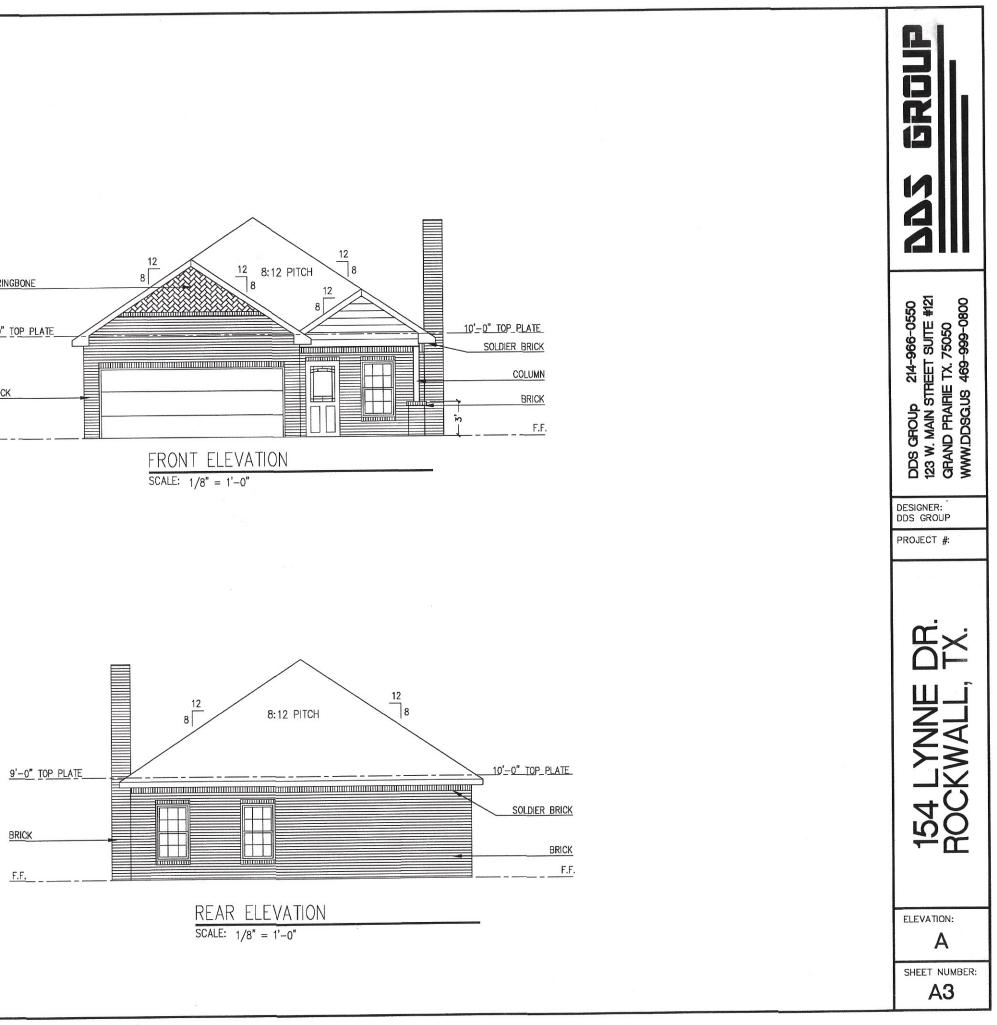


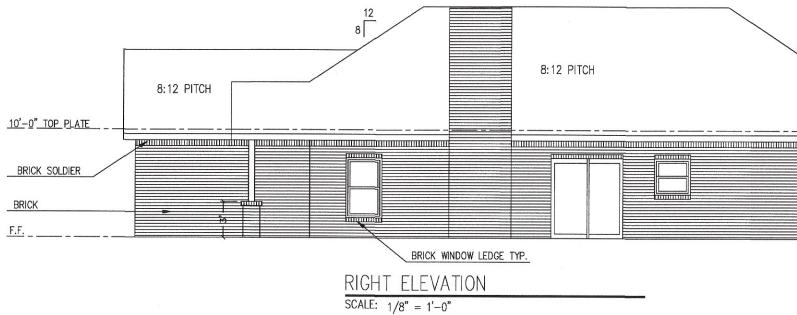


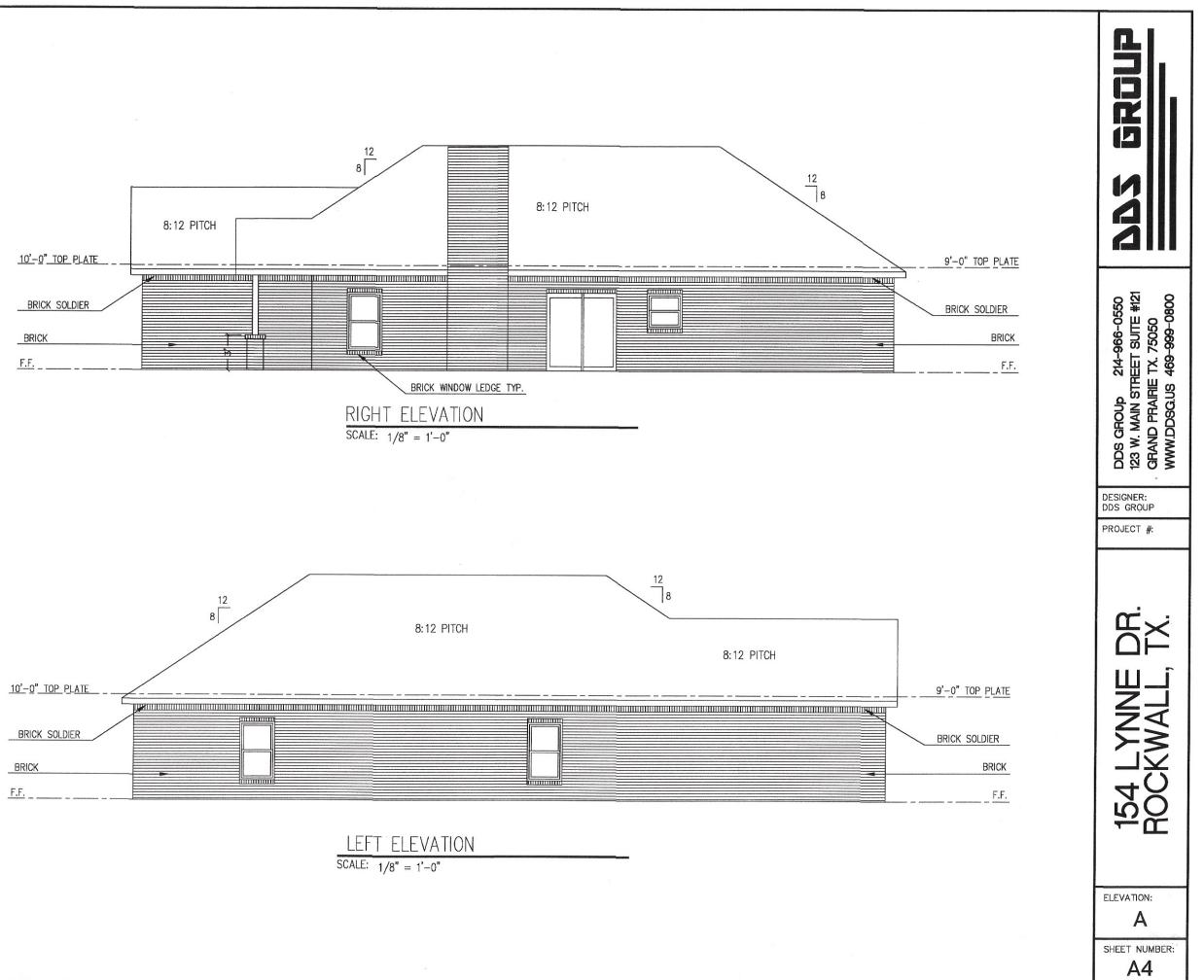
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REV B New Residence 425 Bass Drive Rockwall, Texas DRAWN BY: vg ISSUED ON: PLAN NAME: SHEET A1 1 of 5

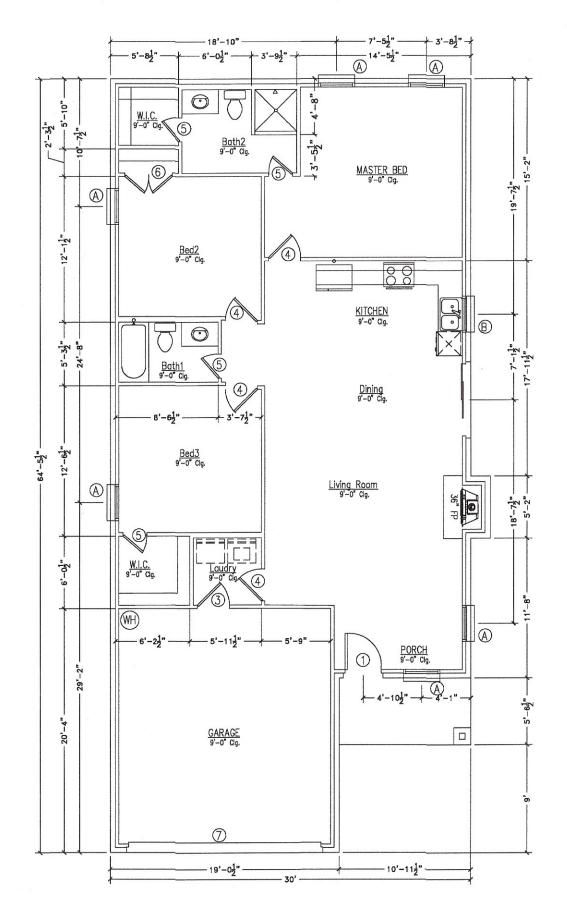








<u>Bed1</u> 11'--0" Clg.

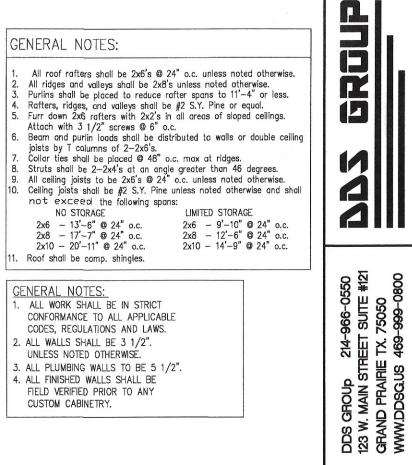


AREA CALCULA	TIONS	
1ST FLOOR LIVING PATIO GARAGE	1400 60 384	S.F.
TOTAL UNDER ROOF	1844	S.F.

	DOOR	SHEDULE	
SYMBOL	SIZE	TYPE	QTY.
1	3068	EXT.	1
2	6068	EXT. SLIDING	1
3	2868	INT. METAL	1
(4)	2868	INT.	4
(5)	2068	INT.	4
6	2-2068	INT.	1
$\overline{O}$	16070	GARAGE	1

Ν	INDOW	SF	IEDI	JLE	
SYMBOL	SIZE		TYPE		QTY.
A	3060	SH.	TAN	VINYL.	6
B	3030	SH.	TAN	VINYL.	1

 $\frac{1 \text{ st FLOOR PLAN}}{\text{SCALE: } 1/8" = 1'-0"}$ 



CUSTOM CABINETRY.

DESIGNER: DDS GROUP PROJECT #: Ц Ц Ц UNN.

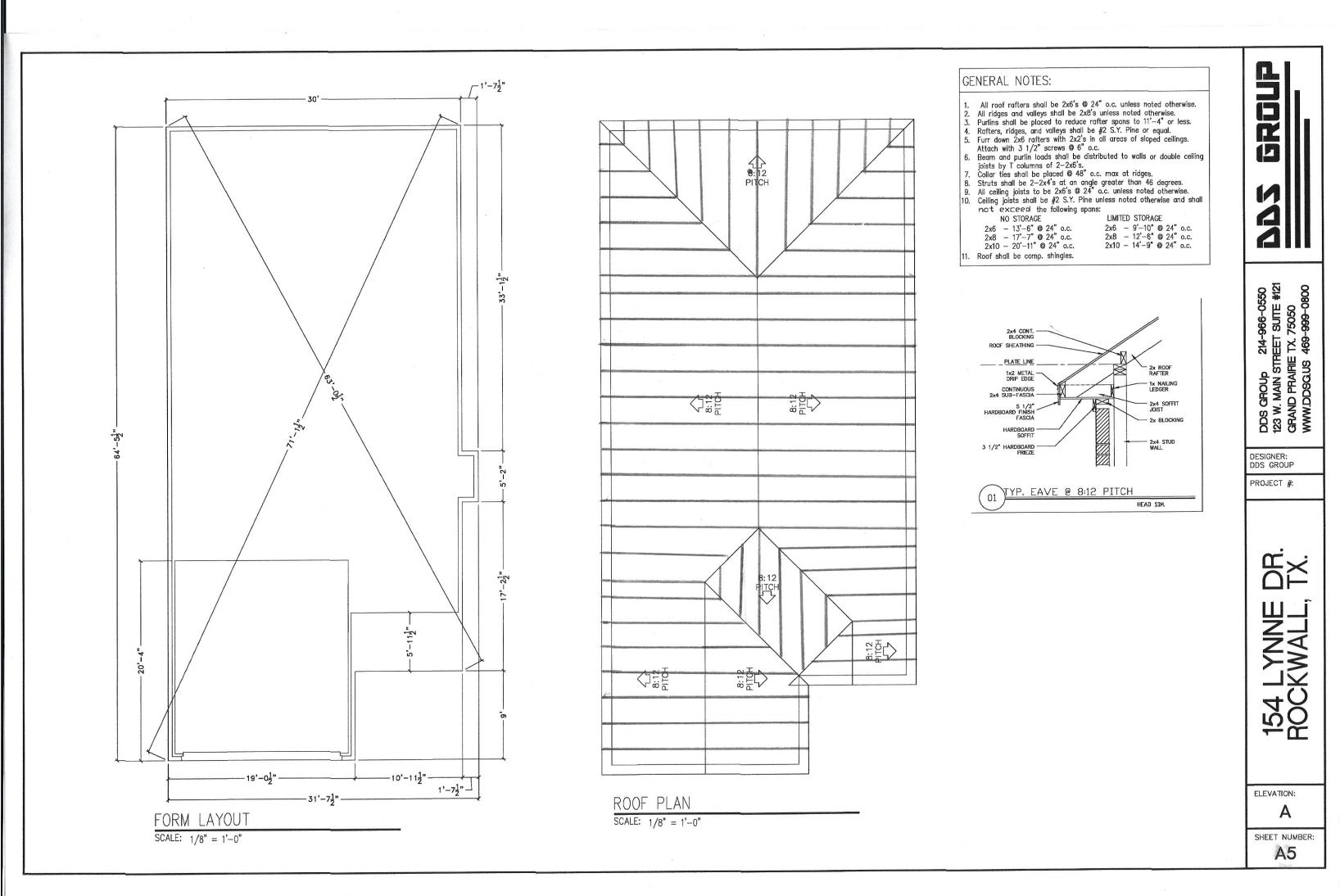
**KWALL** 

154 L ROCK

ELEVATION:

A

SHEET NUMBER: A2



#### **CITY OF ROCKWALL**

#### ORDINANCE NO. 21-XX

#### SPECIFIC USE PERMIT NO. <u>S-2XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-021 OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN **ESTABLISHED** SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.165-ACRE TRACT OF LAND, IDENTIFIED AS LOT 908A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE: **PROVIDING FOR AN EFFECTIVE DATE.** 

**WHEREAS**, the City has received a request from Kevin Osornio for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.165-acre tract of land identified as Lot 908A, Rockwall Lake Properties Development #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 154 Lynne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision to allow the construction of a single-family home in an established subdivision in accordance with Article 04, Permissible Uses, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

Z2021-025: SUP for 154 Lynne Drive Ordinance No. 21-XX; SUP # S-2XX **SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family* 7 (*SF-7*) *District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* - and with the following conditions:

#### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the <u>Residential Plot Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

#### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Revision Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

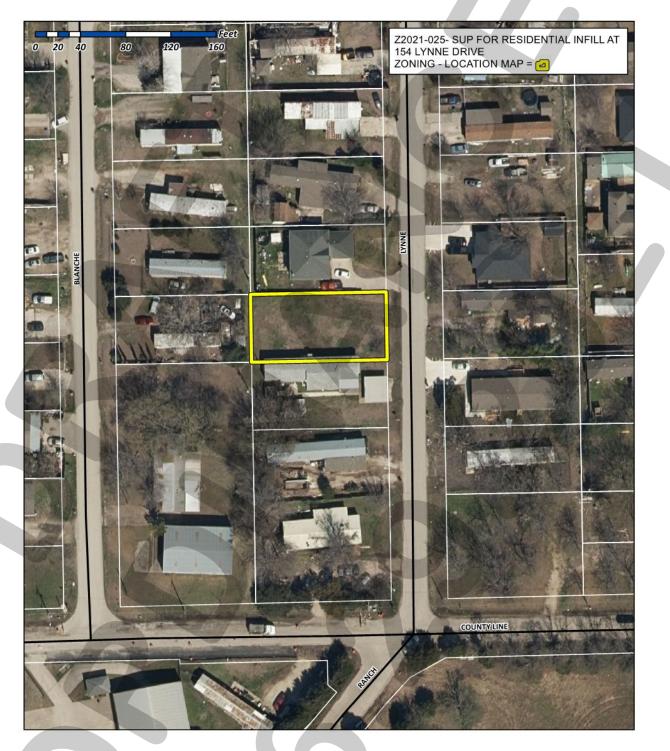
## PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $2^{\rm TH}$ DAY OF AUGUST, 2021.

	Kevin Fow	vler, <i>Mayor</i>
ATTEST:		
Kristy Cole, City Secretary		
APPROVED AS TO FORM:		
Frank J. Garza, City Attorney		
1 <sup>st</sup> Reading: <u>July 19, 2021</u>		
2 <sup>nd</sup> Reading: <u>August 2, 2021</u>		
	$\mathbf{G}$	
Z2021-025: SUP for 154 Lynne Drive	Page   3	City of Rockwall, Texas

Ordinance No. 21-XX; SUP # S-2XX

#### Exhibit 'A' Location Map

<u>Address:</u> 154 Lynne Drive <u>Legal Description:</u> Lot 908A, Rockwall Lake Estates #2 Addition



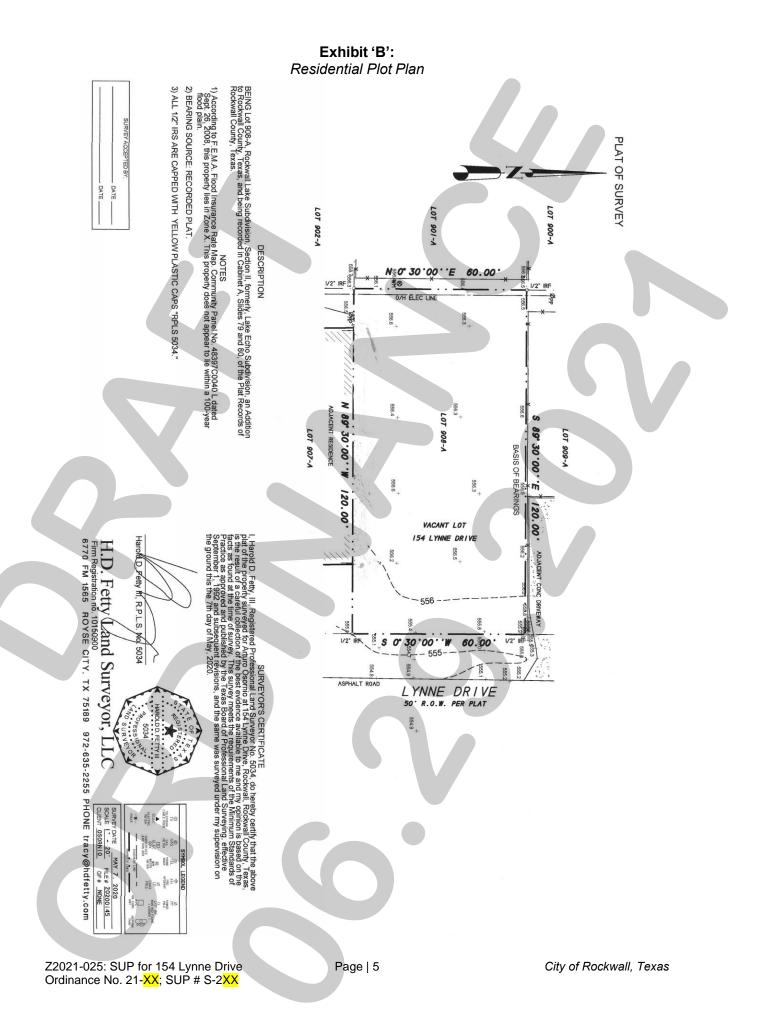
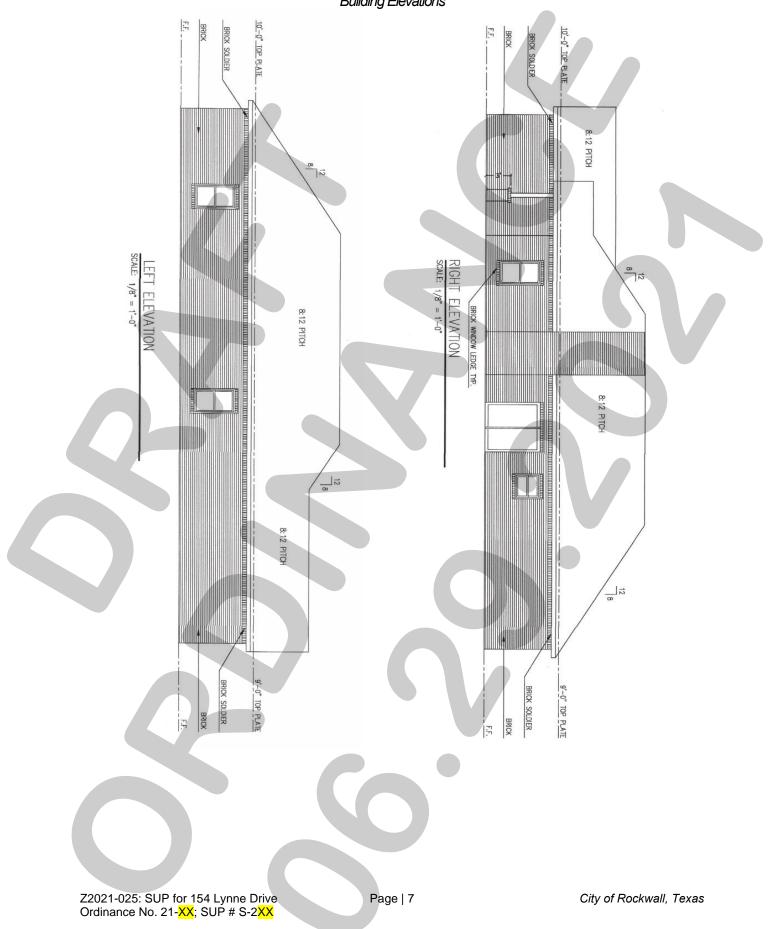




Exhibit 'C': Building Elevations



## **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER:
PROJECT NAME:
SITE ADDRESS/LOCATIONS:

Z2021-026 Amendment to PD-08

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Ryan Miller 972-772-6441 rmiller@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
	Ryan Miller	06/25/2021	Approved w/ Comments	

06/25/2021: Z2021-026; Zoning Amendment to PD-8

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This request is for the approval of an approval of an Zoning Change to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] for the purpose of allowing townhomes on a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located south on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

1.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2021-026) in the lower right-hand corner of all pages on future submittals.

1.4 The Future Land Use Map contained in the OURHometown Comprehensive Plan shows the subject property as being located in the Marina District and being designated for Medium Density Residential land uses. The proposed development being greater than 3.50 dwelling units per acre will necessitate a change from Medium Density Residential to High Density Residential. This is a discretionary decision for the City Council.

1.5 Please note the following policies contained in the OURHometown Vision 2040 Comprehensive Plan and how the proposed request conforms:

(1) Townhome developments should differ in appearance through the use of varying entry features, architectural features, materials, articulation and building setbacks.

Conformance: Staff has included minimal anti-monotony standards in the Planned Development District, which help this request better conform to this requirement; however, these could be increased to bring the request into better conformance with the Comprehensive Plan.

(2) Townhomes should incorporate rear entry garages accessible from mews or alleyways, and provide direct pedestrian access to the street from the front of each unit.

Conformance: This request -- only incorporating flat front entry garage product -- does not conform to this requirement.

(3) Niche parking should be provided adjacent to the street in the front of any townhome developments to provide sufficient visitor parking.

Conformance: Additional niche parking could be provided to bring this request better into conformance with this requirement.

(4) When more than ten (10) units are proposed, townhome developments should be highly amenitized and incorporate a mix of lifestyle amenities that can justify the density of the development, and provide these residents with similar levels of amenities that are enjoyed in a master planned community.

Conformance: This request does not appear to provide any amenities beyond open space.

(5) Townhome developments should incorporate trails and sidewalks and be designed to have a focus on walkability and connectivity of adjacent land uses.

Conformance: This request does not appear to incorporate trails and/or sidewalks. These could be incorporated to meet this requirement.

I.6 Please review the attached Draft Ordinance prior to the June 29, 2021 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 6, 2021.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on June 29, 2021.

1.8 The projected City Council meeting dates for this case will be July 19, 2021 (1st Reading) and August 2, 2021 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review	

06/23/2021: M - Driveway spacing on Henry M Chandler needs to be 200' or a driveway variance will be required.

M - Must show the 15' easement on the lake side property line and the back of this property. (see markup)

The following items are informational for the engineering design process.

- General Items:
- Must meet City of Rockwall Standards of Design.
- 4% Engineering Inspection Fees
- Impact Fees

- No structures in easements. Min. easement width is 20'.
- Required 10' utility easement required along all street frontage.
- No vertical walls are allowed in detention easements.
- Retaining walls 3' and taller must be designed by a structural engineer.
- All walls must be rock or stone face. No smooth concrete walls.
- Show all existing and proposed utilities
- Show and label all existing easements

#### Paving Items:

- Must install a 5' sidewalk along Henry Chandlers Drive.
- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.
- Alleys to be 20' ROW, 12' wide paving.
- All parallel parking must be 22'x9' and head in parking to be 20'x9'
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- Are these streets public or private (need to label)? If these are public streets, no parking is allowed except for parallel parking.

#### Utility Items:

- Must loop water line on site. No dead-end lines allowed. Loop into Spyglass Phase 3 line.

<sup>-</sup> Engineering plan review fees apply.

Drainage Items:

- No detention is required as long as the site drains to the lake. Pipe storm sewer to Lake Ray Hubbard, City of Dallas permit is required.

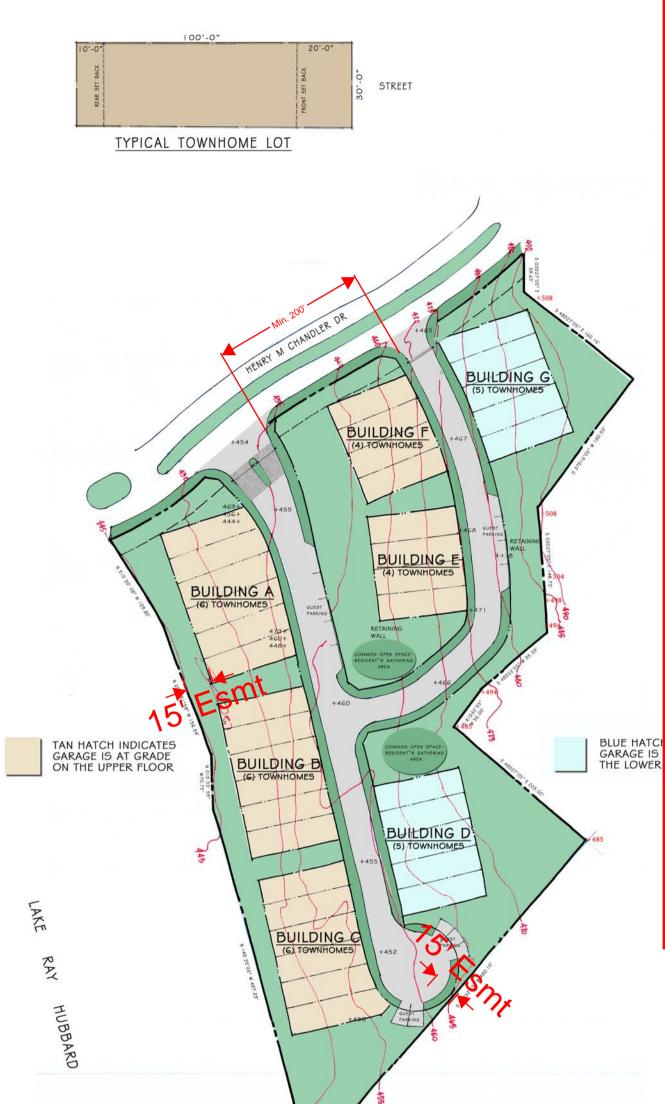
- City of Dallas storm sewer easement is required.

#### Landscaping Items:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Ryan Miller	06/25/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	

06/21/2021: No Comments



8

#### **General Items:**

- Must meet City of Rockwall
- Standards of Design.
- 4% Engineering Inspection Fees - Impact Fees
- Engineering plan review fees
- apply.
- No structures in easements. Min.
- easement width is 20'.
- Required 10' utility easement

required along all street frontage. - No vertical walls are allowed in

detention easements.

- Retaining walls 3' and taller must be designed by a structural
- engineer. - All walls must be rock or stone
- face. No smooth concrete walls.

- Show all existing and proposed utilities

- Show and label all existing easements

#### **Paving Items:**

- Must install a 5' sidewalk along Henry Chandlers Drive. - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets. - Alleys to be 20' ROW, 12' wide paving.

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#### Landscaping Items:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger. - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



**36 CUSTOM TOWNHOMES** ON LAKE RAY HUBBARD

**CONCEPT PLAN** 

SAGE GROUP, INC. Master Planning Urban Design Architecture Landscape Architecture 5 Constant Action Constant

	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		PLANN <u>NOTE:</u> CITY U SIGNEL DIRECT CITY EI	USE ONLY ING & ZONING CASE NO THE APPLICATION IS NO NTIL THE PLANNING DIF D BELOW. TOR OF PLANNING: NGINEER:	DT CONSIDE RECTOR AND	RED ACCEP	
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE OF			ATION FEES:	UNE BUXJ:		
□ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup> □ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>		Ø ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup>					
G FINAL PLAT (\$300.	00 + \$20.00 ACRE) 1		D PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1				
REPLAT (\$300.00 +	5		OTHER APPLICATION FEES:				
AMENDING OR MINOR PLAT (\$150.00)  PLAT REINSTATEMENT REQUEST (\$100.00)			□ TREE REMOVAL (\$75.00) □ VARIANCE REQUEST (\$100.00)				
SITE PLAN APPLICAT		MULTIPL	YING BY T	g the fee, please he per acre amount. 'O one (1) acre.	USE THE E FOR REQUE	XACT ACRE STS ON LES	AGE WHEN S THAN ONE
	MATION			- 112 ( ) - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -			
	MATION [PLEASE PRINT]						
ADDRESS	Prop ID 452487 & A0207 E Teal, Tra	ct 134-12					
SUBDIVISION	Spyglass Hill #4			LOT	4	BLOCK	А
GENERAL LOCATION	Adjacent to Chandler's Landing Marina						
ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]							
CURRENT ZONING	PD-08, Zero Lot Line Residential	CURREN	IT USE	Undeveloped			
PROPOSED ZONING	Amend PD-08, Attached Townhomes	PROPOSE	D USE	Residential			
ACREAGE	6.88 LOTS [CURRENT]	36	5	LOTS [PRC	POSED]	36	
SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.							
OWNER/APPLICAN	TAGENT INFORMATION IPLEASE PRINT/CHE	ECK THE PRIMA	RY CONT.	ACT/ORIGINAL SIGNATI	JRES ARE R	EQUIRED]	
OWNER			CANT	Newstream Cap	ital Partne	ers	
CONTACT PERSON		CONTACT PER	RSON	Troy Lewis			
ADDRESS		ADD	RESS	311 South Oak	St. #250		

CITY, STATE & ZIP	CITY, STATE & ZIP	Roanoke, TX 76262	
PHONE	PHONE	817-602-0578	
E-MAIL	E-MAIL	14rockwater@gmail.com	

#### NOTARY VERIFICATION [REQUIRED]

	Tilia		
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _	DIIP	Shan	[OWNER] THE UNDERSIGNED, WHO
STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FO			

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HER	REIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF
\$, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROL	
lupe, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL	(I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE
JUDE, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMI	
SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A RI	EQUEST FOR PUBLIC INFORMATION."
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE IT DAY OF JUNE 2021. OWNER'S SIGNATURE AND JUNE 10	BECKY POWERS My Notary ID # 128754980 Expires September 29, 2023
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS	MY COMMISSION EXPIRES 9/29/23

DEVELOPMENT APPLICATION « CITY OF ROCKWALL « 385 SOUTH GOLIAD STREET » ROCKWALL, 1X 75087 » [P] (972) 771-7745 « [F] (972) 771-7745





### City of Rockwall Planning & Zoning Department 385 S. Goliad Street

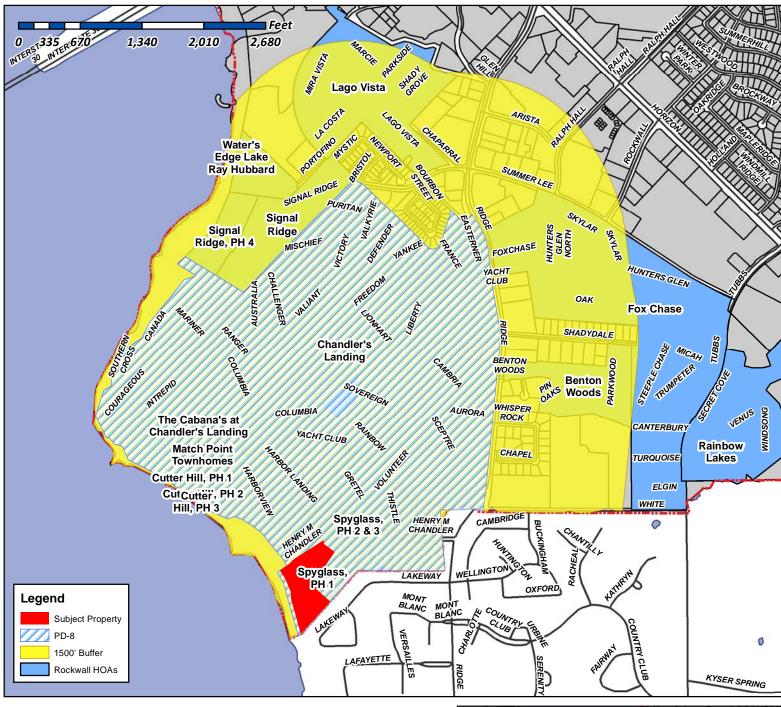
Rockwall, Texas 75032

(P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2021-026Case Name:Amendment to PD-8Case Type:ZoningZoning:Planned Development District 8<br/>(PD-8)Case Address:Adjacent to 1 Harborview Drive

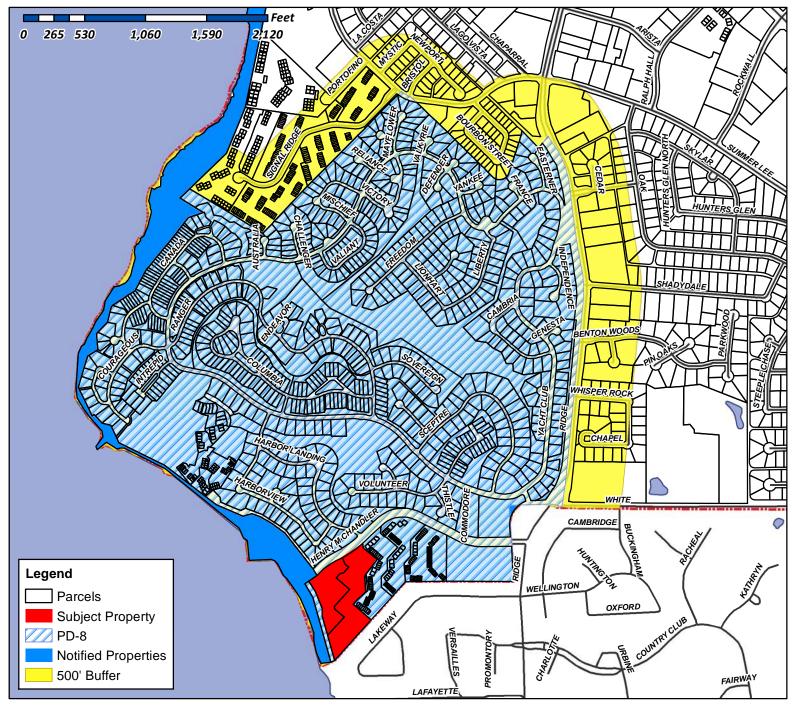


Date Created: 6/23/2021 For Questions on this Case Call (972) 771-7745

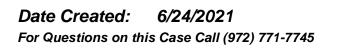


Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2021-026Case Name:Amendment to PD-8Case Type:ZoningZoning:Planned Development District 8<br/>(PD-8)Case Address:Adjacent to 1 Harborview Drive





CORDILLERA INTERNATIONAL LLC 1 EASTSHORE ROAD HEATH, TX 75032

PATON FAMILY CHARITABLE TR 10 INTREPID CIR ROCKWALL, TX 75032

> VOLKMAN DOLORES A 10057 SURREY OAKS DR DALLAS, TX 75229

> ROTH JEFFREY STEPHEN 101 EASTERNER PL ROCKWALL, TX 75032

IWAI AKIO C/O OPEN HOUSE CO LTD, 11TH FLOOR 10-1 GINZA 6-CHOME CHUO-KU, TOKYO 104-0061, JAPAN,

> LANGSTON JOHN AND FRIEDA 101 MAYFLOWER CT ROCKWALL, TX 75032

ARNOLD MICHAEL J & KATHY RENEE 101 SCEPTRE DR ROCKWALL, TX 75032

> ROTH JEFFREY STEPHEN 10-10 166 ST WHITESTONE, NY 11357

THOMAS BRETT JORDAN & CASSIDY BO 102 CLIPPER CT ROCKWALL, TX 75032

BRIGHT WILLIAM MARK AND SHERRYL J 102 EASTERNER PLACE ROCKWALL, TX 75032 LOVEJOY ROMA DIANE HUMPHREYS 1 INTREPID CIRCLE ROCKWALL, TX 75032

> BAUMANN HARRY EDWARD 10 WATERS EDGE CT HEATH, TX 75032

> > SEELEY LISA JONI 101 AURORA CIR ROCKWALL, TX 75032

FRANCE COURT PROPERTIES LLC 101 FRANCE CT ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY COMPANY 101 HENRY M CHANDLER DR ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R 101 RELIANCE CT ROCKWALL, TX 75032

> WELCH JANIS M 101 VALKYRIE PL ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC 1017 NATIVE TR HEATH, TX 75032

HUNTER STEVEN R AND KAREN J 102 DAME PATTIE DRIVE ROCKWALL, TX 75032

WARREN JEFFREY DWAYNE ETUX 102 GENESTA PL ROCKWALL, TX 75032 PATON BRUCE R & DR DARIAH L MORGAN 10 INTREPID CIR ROCKWALL, TX 75032

PRICE JASON ALAN 10041 W DUBLIN DR FORNEY, TX 75126

MAFFEI DIEGO R & GERTRAUD A 101 DAME PATTIE DR ROCKWALL, TX 75032

> CONFIDENTIAL 101 GENESTA PL ROCKWALL, TX 75032

GOODWIN DALE & DEBORAH 101 INDEPENDENCE PL ROCKWALL, TX 75032

MCHARGUE SCOTT W & PATRICIA L 101 RESOLUTE LN ROCKWALL, TX 75032

> KJT FLYING PROPERTIES LLC 101 YANKEE CT ROCKWALL, TX 75032

> > NORTHCUTT LEIGH 102 AURORA CIR ROCKWALL, TX 75032

KELLY DONNA 102 E MOORE AVE STE 245 TERRELL, TX 75160

HAYS DANNY W AND JOAN A 102 HENRY M CHANDLER DR ROCKWALL, TX 75032 GARDNER PAUL S AND CINDY **102 INDEPENDENCE PL** ROCKWALL, TX 75032

> HALL JASON & CORI 102 MISCHIEF LN ROCKWALL, TX 75032

> SRP SUB, LLC **102 RESOLUTE LN** ROCKWALL, TX 75032

GALLAGHER CHRISTOPHER **102 YANKEE CT** ROCKWALL, TX 75032

THOMAS VELIA **103 DAME PATTIE** ROCKWALL, TX 75032

**BARR JOHNATHAN & CHRISTY 103 FRANCE COURT** ROCKWALL, TX 75032

SHIVERS MARGARET ANN 103 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SINCLAIR SUE AND JEREMY LEE SINCLAIR **103 RELIANCE CT** ROCKWALL, TX 75032

> FISHER TED Y 103 THISTLE PL ROCKWALL, TX 75032

TRANSOU ARMANDA L **103 YANKEE CT** ROCKWALL, TX 75032

**RINK HEIDI MARIE 102 JESSICA DRIVE** BELLE CHASSE, LA 70037

FARRAR ROBERT CARY & NANCY N 102 MUSTANG DR FATE, TX 75087

TOMPKINS JAMES MICHAEL & LAURIE CARLENE GARVIN 102 THISTLE PL ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH **1029 SILVERTHORN CT** MESQUITE, TX 75150

> CEPAK JANET BAIN **103 DEFENDER COURT** ROCKWALL, TX 75032

**GAY JEFFREY & TAMI** 103 FREEDOM CT ROCKWALL, TX 75032

UNDERHILL TERESA D AND STEPHEN **103 INDEPENDENCE PL** ROCKWALL, TX 75032

> HARPER DANIEL **103 RESOLUTE LN**

103 VALKYRIE PL ROCKWALL, TX 75032

**O'BRIEN PATRICIA C 104 AURORA CIRCLE** ROCKWALL, TX 75032 HARRELL STEVEN R AND ROBERTA J **102 MAYFLOWER CT** ROCKWALL, TX 75032

**CHENAULT JOSH & NATHALIE 102 RELIANCE COURT** ROCKWALL, TX 75032

> NECAS KEVIN J **102 WEATHERLY CIRCLE** ROCKWALL, TX 75032

RAMSEY TERESA GALE AND LORI RAMSEY 103 AURORA CIR ROCKWALL, TX 75032

> MORENO SUSAN C **103 EASTERNER PL** ROCKWALL, TX 75032

> WEEKS MARY 103 GENESTA PL ROCKWALL, TX 75032

2019-1 IH BORROWER LP **103 MAYFLOWER CT** ROCKWALL, TX 75032

SELL KIMBERLEE Z **103 SCEPTRE DR** ROCKWALL, TX 75032

ARNOLD GEORGE **103 WEATHERLY CIR** ROCKWALL, TX 75032

FAYAD HUSSAIN **104 DAME PATTIE DRIVE** ROCKWALL, TX 75032

ROCKWALL, TX 75032

HALAMA STEFAN & ANN

**MORRIS GARY GLEN & SANDRA J 104 FREEDOM CT** ROCKWALL, TX 75032

> MCKIBBEN KATHLEEN D **104 INDEPENDENCE PL** ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC **104 RELIANCE CT** ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL **104 VALKYRIE PLACE** ROCKWALL, TX 75032

LANCASTER RONALD R & BRENDA R 105 AURORA CIR ROCKWALL, TX 75032

> SCHUBERT LAURIE LEE **105 EASTERNER PLACE** ROCKWALL, TX 75032

SELZER DEANNA 105 HENRY M CHANDLER DR ROCKWALL, TX 75032

> OCONNOR MICHAEL **105 MAYFLOWER CT** ROCKWALL, TX 75032

MCMAHON PATRICK AND CHERYL **105 SCEPTRE DR** ROCKWALL, TX 75032

> ROGERS RYAN J 105 YANKEE CT ROCKWALL, TX 75032

NEWMAN DONALD T **104 FRANCES CT** ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L **REVOCABLE LIVING TRUST** 104 HENRY M CHANDLER DR ROCKWALL, TX 75032

> CARR LORI **104 MISCHIEF LN** ROCKWALL, TX 75032

JONES ANGELA DENISE **104 THISTLE PLACE** ROCKWALL, TX 75032

HOWARD KATALIN J **104 YANKEE CT** ROCKWALL, TX 75032

105 CLIPPER CT ROCKWALL, TX 75032

> TURNER CATHERINE 105 GENESTA PL ROCKWALL, TX 75032

WILLIAMS WILLIAM BROCK AND MARIA CRISTINA 105 LIBERTY LANE ROCKWALL, TX 75032

> HAYES BRANDON **105 RELIANCE CT** ROCKWALL, TX 75032

HOUSER JOSHUA AND SOMMER **105 WEATHERLY CIR** ROCKWALL, TX 75032

WRAY ENTERPRISES LLC 104 EASTERNER PL ROCKWALL, TX 75032

GARZA ROY A & DULCE R **104 GENESTA PLACE** ROCKWALL, TX 75032

YATES KIMBERLY **104 MAYFLOWER COURT** ROCKWALL, TX 75032

TODD HOLLY J **104 RESOLUTE LN** ROCKWALL, TX 75032

HAM EDWARD C & BRENDA **104 WEATHERLY CIR** ROCKWALL, TX 75032

> SPOKES JULIE **105 CLIPPER COURT** ROCKWALL, TX 75032

**CROOKS JOHN O & PATRICIA K** 105 FRANCE CT ROCKWALL, TX 75032

SHORT MELISSA HUDSON AND CORY WAYNE **105 INDEPENDENCE PL** ROCKWALL, TX 75032

> JOHNSON ROBERT & DOLORES 105 MISCHIEF LN ROCKWALL, TX 75032

> > **RAY LAURA MATTESON 105 THISTLE PLACE** ROCKWALL, TX 75032

KNEEDLER BRADLEY HARRISON

NEUROHR KIM D 106 CLIPPER COURT ROCKWALL, TX 75032

DUGAN ADAM TL AND WHITNEY C 106 FRANCE CT ROCKWALL, TX 75032

> THACKER IKE AND MARY 106 LIBERTY LANE ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE 106 RELIANCE CT ROCKWALL, TX 75032

HENKEMEYER MARK & SANDRA 106 WEATHERLY CIR ROCKWALL, TX 75032

ALVARENGA OSWALDO JR & JUDITH 107 EASTERNER PL ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC 107 INDEPENDENCE PLACE ROCKWALL, TX 75032

> ROPER JOHN & JENNIFER 107 MAYFLOWER CT ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D 107 VALKYRIE PL ROCKWALL, TX 75032

> BROWN JEAN M TRUST 108 FREEDOM CT ROCKWALL, TX 75032

SELLERS JAMES L AND AMI A 106 DEFENDER CT ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE & MANDY E YNIGUEZ 106 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO LLC 106 MAYFLOWER CT ROCKWALL, TX 75032

> HATFIELD GAROLD SCOTT 106 SCEPTRE DR ROCKWALL, TX 75032

HENSON KIM A & REBECCA H 106 YANKEE CT ROCKWALL, TX 75032

> ALLEN REGINALD 107 FREEDOM CT ROCKWALL, TX 75032

CHAD J HUDSON PROPERTIES INC 107 INDEPENDENCE PLACE ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-GILBREATH 107 RELIANCE CT ROCKWALL, TX 75032

> WASSERMAN JENNIFER CLAIRE 107 YANKEE CT ROCKWALL, TX 75032

KEITH BENJAMIN AND SHERYL KEITH 108 HENRY M CHANDLER DR ROCKWALL, TX 75032 AZORES ROBERT AND KELLEY 106 EASTERNER PLACE ROCKWALL, TX 75032

MURRAY DAVID T II & AMBER 106 INDEPENDENCE PLACE ROCKWALL, TX 75032

> GRAF DANIEL & JESSICA 106 MISCHIEF LANE ROCKWALL, TX 75032

VAN WEY DONALD L 106 VALKYRIE PL ROCKWALL, TX 75032

ROARK BOBBIE ETAL 107 DEFENDER CT ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE IRENE 107 HENRY M CHANDLERDR ROCKWALL, TX 75032

> HUDSON CHAD J & LINDSAY B 107 INDEPENDENCE PLACE ROCKWALL, TX 75032

GEORGE JOHN SAMUEL 107 SCEPTRE DR ROCKWALL, TX 75032

HUMBLE BRIAN 108 EASTERNER PLACE ROCKWALL, TX 75032

LONG JOHN AND LINDSAY 108 MAYFLOWER CT ROCKWALL, TX 75032

D J HUDSON PROPERTIES

ALLEN REGINALD

CARRILLO VICTOR G 108 MISCHIEF LN ROCKWALL, TX 75032

VECCHIARELLO RICHARD & MELISSA A **108 VALKYRIE PLACE** ROCKWALL, TX 75032

ALLYSON VAN OS RESIDENCE TRUST 07-05-87 ALLYSON VAN OS - SUCCESSOR TRUSTEE 109 DREW LANE HEATH, TX 75032

> CHAD J HUDSON PROPERTIES INC **109 INDEPENDENCE PL** ROCKWALL, TX 75032

> > HAGIN GARY L & W ANNE 109 MISCHIEF LN ROCKWALL, TX 75032

HOVEY EMERSON & CATHERINE SMITH HOVEY 110 CLIPPER CT ROCKWALL, TX 75032

> MAXWELL CAROLE AND GARY 110 EASTERNER PL ROCKWALL, TX 75032

> > COOPER ELI T & RIKKI J **110 MAYFLOWER CT** ROCKWALL, TX 75032

CARRUCCI ANTHONY JR 110 YANKEE CT ROCKWALL, TX 75032

**STEBBINS GREGORY & KRISTEN 111 DEFENDER CT** ROCKWALL, TX 75032

PETERSEN CARL S & WENDY **108 RELIANCE CT** ROCKWALL, TX 75032

SAATCI YESIM **108 YANKEE CT** ROCKWALL, TX 75032

ANDREWS LEWIS E AND LINDA **109 EASTERNER PL** ROCKWALL, TX 75032

THOMAS CARLA RENE AND BRIAN ALLEN **109 LIBERTY LANE** ROCKWALL, TX 75032

> REED ANGEL **109 SCEPTRE DRIVE** ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN 110 CODY CIR N SULPHUR SPRINGS, TX 75482

> PARNES ALEXANDRA 110 HENRY M CHANDLER DR ROCKWALL, TX 75032

> > **110 MISCHIEF LN** ROCKWALL, TX 75032

> > **1102 HERITAGE DRIVE** GARLAND, TX 75043

HEBERT EARL T & LANA G 111 FREEDOM CT ROCKWALL, TX 75032

STARNES KIMBERLY DAWN **108 SCEPTRE DR** ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E 109 CLIPPER CT ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN 109 HENRY M CHANDLER DR ROCKWALL, TX 75032

> LYONS ELIZABETH **109 MAYFLOWER COURT** ROCKWALL, TX 75032

**ELCHANAN DANIEL & NANCY B 11 INTREPID CIR** ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC **110 DEFENDER CT** ROCKWALL, TX 75032

SOLOMONS DONALD B 110 LIBERTY LN ROCKWALL, TX 75032

HOWES JAN **110 SCEPTRE DR** ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR 1105 51ST ST W BRADENTON, FL 34209

> RATCLIFFE KATHLEEN C **111 MAYFLOWER CT** ROCKWALL, TX 75032

**DILOV VANIO** 

COOK JEAN QUILL

MILLER DIXIE E AND MILDRED AND LARRY W STARLING **111 SCEPTRE DRIVE** ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR 112 HENRY M CHANDLER DR ROCKWALL, TX 75032

PRITCHETT THOMAS AARON **112 SCEPTRE DR** ROCKWALL, TX 75032

PARTEN PAUL E & PATRICIA M 113 LIBERTY LN ROCKWALL, TX 75032

MARRIOTT RUSSELL D AND LISA D 114 CLIPPER CT ROCKWALL, TX 75032

FAIRCHILD CARL F & TONI A TRUSTEES FAIRCHILD JOINT REVOCABLE LIVING TRUST **114 MAYFLOWER CT** ROCKWALL, TX 75032

> WEBSTER PROPERTIES LTD 115 DEFENDER C ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK 115 FREEDOM CT ROCKWALL, TX 75032

SMITH KURTIS 115 SCEPTRE DR ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A 116 OLD VINEYARD LN ROCKWALL, TX 75032

HARMON JIMMY R **112 EASTERNER PL** ROCKWALL, TX 75032

FAIRCHILD REVOCABLE LIVING TRUST **112 MAYFLOWER CT** ROCKWALL, TX 75032

> SMITH THOMAS M **113 CLIPPER COURT** ROCKWALL, TX 75032

> CASTRO CRISTINA **113 MAYFLOWER CT** ROCKWALL, TX 75032

WEAVER C R & KAREN REV LIVING TR **114 DEFENDER CT** ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J **114 MISCHIEF LANE** ROCKWALL, TX 75032

> WEBSTER LIDIA **115 DEFENDER CT**

**115 HENRY M CHANDLERDR** ROCKWALL, TX 75032

TIMOTHY J AND LAURA D DRAELOS TRUST TIMOTHY J DRAELOS AND LAURA D DRAELOS TRUSTEES 116 HENRY M CHANDLER DR ROCKWALL, TX 75032

> **BRELAND JULIA AND** BARRY W YOUNG **116 SCEPTRE DR** ROCKWALL, TX 75032

RUSSELL DEBORA J AND JOSEPH A JR & EDNA J JERMAN **112 FREEDOM COURT** ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K **112 MISCHIEF LANE** ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E **113 HENRY M CHANDLER DRIVE** ROCKWALL, TX 75032

> STAMPS GAYLON JR 113 SCEPTRE DR ROCKWALL, TX 75032

BENSON CARROLL AND GLENDA **114 LIBERTY LANE** ROCKWALL, TX 75032

> **RIERA CRISTINA 114 SCEPTRE DR** ROCKWALL, TX 75032

> WEBSTER MARY ANN **115 DEFENDER CT** ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J **115 MAYFLOWER CT** ROCKWALL, TX 75032

> LETT LORNA 116 MISCHIEF LN ROCKWALL, TX 75032

PALMER TONY & JUDY 117 CLIPPER CT ROCKWALL, TX 75032

ROCKWALL, TX 75032

SALT PROPERTIES LLC

## HAYWORTH DEVON A 117 HENRY M CHANDLER DR UNIT 117, BLDG E ROCKWALL, TX 75032

BAUMANN HARRY EDWARD 118 CLIPPER CT ROCKWALL, TX 75032

WEBSTER KATHLEEN ANN 118 LIBERTY LN ROCKWALL, TX 75032

MOORE DOOR PROPERTIES LLC 119 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SANCHEZ RAMSES S 120 APPIAN WAY DALLAS, TX 75216

COOK NATHAN & COURTNEY 120 MISCHIEF LN ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC 120 S RIVERSIDE PLZ STE 2000 CHICAGO, IL 60606

PINSON REGINALD A & CAROL S 121 CLIPPER CT ROCKWALL, TX 75032

> MONIER SHANNON K 121 SCEPTRE DRIVE ROCKWALL, TX 75032

JOHNSON TREVOR R & DANA J 122 CLIPPER CT ROCKWALL, TX 75032 BEARD DAVID & SANDY 117 LIBERTY LANE ROCKWALL, TX 75032

JASTER FAMILY LIVING TRUST EMIL EDWARD & MARGARET O JASTER TRUSTEES 118 FREEDOM COURT ROCKWALL, TX 75032

> JASIN PAUL A 118 SCEPTRE DR ROCKWALL, TX 75032

DAVIS JOHN M AND THERESA Y 119 SCEPTRE DRIVE ROCKWALL, TX 75032

> JUDD MANO 120 BLUE HERON LN HEATH, TX 75032

GONZALEZ KEITH R & DEANNA J 120 PURITAN CT ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC 120 SCEPTRE DR ROCKWALL, TX 75032

STOCKS DENISE K 121 HENRY M CHANDLER DR ROCKWALL, TX 75032

ELLISTON DANIEL MARK 121 YACHT CLUB DRIVE ROCKWALL, TX 75032

HPA II TEXAS SUB 2019-1 LLC 122 FREEDOM CT ROCKWALL, TX 75032 PHAN NGAN VAN 117 SCEPTRE DR ROCKWALL, TX 75032

LESLIE RANDY 118 HENRY M CHANDLER DR ROCKWALL, TX 75032

> JONES FELICIA M 119 FREEDOM COURT ROCKWALL, TX 75032

BOWEN JAMES E AND SANDRA ALVES VALADAO BOWEN 12 INTREPID CIRCLE ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR 120 HENRY M CHANDLER DR ROCKWALL, TX 75032

HPA US1 LLC 120 RIVERSIDE PLZ STE 2000 CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC 120 SOUTH RIVERSIDE PLAZA SUITE 2000 CHICAGO, IL 60606

IRIZARRY ALBERTO R & TERESA E 121 LIBERTY LANE ROCKWALL, TX 75032

> MCCONNELL MICHAEL J C/O LINDA M DUGO 12123 DRUJON LN DALLAS, TX 75244

RAGLE VICKIE 122 HENRY M CHANDLER DR ROCKWALL, TX 75032 KELLEY CYNTHIA JANE IRREVOCABLE FAMILY TRUST 122 LIBERTY LN ROCKWALL, TX 75032

> CAMIEL JEFFREY M 122 SCEPTRE DR ROCKWALL, TX 75032

HAYS DANNY W AND JOAN A 123 HENRY M CHANDLER DR ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L 124 MISCHIEF LANE ROCKWALL, TX 75032

> CASHMAN GINA L AND JOEY L RIVER 125 CLIPPER CT ROCKWALL, TX 75032

STEWART BEVERLY AND JAMES 125 SHEPHERDS GLEN ROCKWALL, TX 75032

KEITH BENJAMIN AND SHERYL KEITH 126 HENRY M CHANDLER DR ROCKWALL, TX 75032

WINKLES GARY AND KRISTY 126 PURITAN CT ROCKWALL, TX 75032

JONES JONATHAN 127 HENRY M CHANDLER DR ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN 128 HENRY M CHANDLER DR ROCKWALL, TX 75032 ROGINA FAMILY TRUST SERGIO A LOPEZ-ROGINA AND SUSAN D VIDAL-ROGINA- TRUSTEES 128 LIBERTY LANE ROCKWALL, TX 75032

LOWREY COLT A AND LEO WISE 122 MISCHIEF LN ROCKWALL, TX 75032

WILLIS PATRICIA D 12218 GLADWICK DR HOUSTON, TX 77077

HPA US1 LLC 123 YACHT CLUB DR ROCKWALL, TX 75032

POTISKA PATRICIA 124 PURITAN CT ROCKWALL, TX 75032

ESTRERA AARON S ETUX 125 HENRY M CHANDLER DR ROCKWALL, TX 75032

THACKER N FAMILY TRUST AND SHEEGOG FAMILY TRUST 126 CLIPPER CT ROCKWALL, TX 75032

REILLY CHRISTOPHER P & MEGAN L 126 LIBERTY LN ROCKWALL, TX 75032

COLONIAL ESTATE IRREVOCABLE TRUST TERRY L BROWN & BARRY R BROWN TRUSTEES 126 SCEPTRE DR ROCKWALL, TX 75032

TOWNEND DAVID WILLIAM AND JEANMARIE

**127 LIBERTY LANE** 

ROCKWALL, TX 75032

MARTIN NAN YI 127 MICHIEF LANE ROCKWALL, TX 75032

HALAMA STEVEN 128 MISCHIEF LN ROCKWALL, TX 75032

HOLDER TOM 122 PURITAN CT ROCKWALL, TX 75032

THOMAS ALAN AND DANA 123 FREEDOM COURT ROCKWALL, TX 75032

CGN SPYGLASS LLC 124 HENRY M CHANDLER DR ROCKWALL, TX 75032

WELCH JERL R & ANNE E 124 SCEPTRE DR ROCKWALL, TX 75032

ODOM LACEY AND JOSH 125 MISCHIEF LN ROCKWALL, TX 75032

BOLES ALAN L & DANA M 126 FREEDOM CT ROCKWALL, TX 75032

HUIE LANDON DARNELL AND KRISTIN NOEL 126 MISCHIEF LANE ROCKWALL, TX 75032

SNIDER MICHAEL AND CASSANDRA 127 FREEDOM CT ROCKWALL, TX 75032

## 1 LLC CLUB DR TX 75032

SULLIVAN MORTIMER M & CAROLYN B REV LIVING TRUST AGREEMENT 128 PURITAN CT ROCKWALL, TX 75032

> MANSFIELD PHYLLIS J 129 MISCHIEF LANE ROCKWALL, TX 75032

HAYS DANNY W & JOAN 130 HENRY M CHANDLER DR ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR 1307 GUN CLUB CR RICHARDSON, TX 75081

CHURY JENNIFER LEIGH & BRIAN D 131 MISCHIEF LANE ROCKWALL, TX 75032

ZIELINSKI THOMAS ROBERT 132 LIBERTY LN ROCKWALL, TX 75032

ASHMORE KEITH C & JENNIFER 133 LIBERTY LN ROCKWALL, TX 75032

ROBISON BRUCE EMERSON 135 FREEDOM COURT ROCKWALL, TX 75032

> LISTER WILLIAM 136 LIBERTY LN ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA 138 FREEDOM CT ROCKWALL, TX 75032 SAINT-MU PATRICIA 128 SCEPTRE DR ROCKWALL, TX 75032

LUCKEY CAROL MALATICH 13 INTREPID CIRCLE ROCKWALL, TX 75032

HARGROVE PATRICIA ANN 130 MISCHIEF LANE ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN 131 FREEDOM CT ROCKWALL, TX 75032

TIMOTHY J AND LAURA D DRAELOS TRUST TIMOTHY J DRAELOS AND LAURA D DRAELOS TRUSTEES 13117 SANDSTONE PLACE NE ALBUQUERQUE, NM 87111

> ROSHAN KC 132 MISCHIEF LN ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P 134 FREEDOM CT ROCKWALL, TX 75032

CGN SPYGLASS LLC 135 HENRY M CHANDLER DR ROCKWALL, TX 75032

CGN SPYGLASS LLC 137 HENRY M CHANDLER DR ROCKWALL, TX 75032

CGN SPYGLASS LLC 138 HENRY M CHANDLER DR ROCKWALL, TX 75032 ROCKWALL HOMES LLC C/O SAUNDRA HOLLAND 129 HENRY M CHANDLER DR ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER 130 FREEDOM CT ROCKWALL, TX 75032

> ZUK ELIZABETH 130 SCEPTRE DR ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH 131 HENRY M CHANDLER DR ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST JERRY C NELSON AND MARIBETH NELSON-TRUSTEES 132 HENRY M CHANDLER DR ROCKWALL, TX 75032

> WRIGHT RHONDA 133 HENRY M CHANDLER DR ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST JERROLD F AND KATHLEEN A CROUCH TRUSTEES 134 HENRY M. CHANDLER DR. ROCKWALL, TX 75032

> SANCHEZ RAMSES S 136 HENRY M CHANDLER DR ROCKWALL, TX 75032

> > LOGAN PAULINE K 137 LIBERTY LN ROCKWALL, TX 75032

RIAZ SUMERA 1385 RIDGE ROAD APT 484 ROCKWALL, TX 75087 HENDRICKS LORI L 139 FREEDOM CT ROCKWALL, TX 75032

BOHORQUEZ DAVID 1397 GLENWICK DRIVE ROCKWALL, TX 75032

CURRENS ARLENE & WAYNE TRUSTEES BUCHNER/CURRENS FAMILY TRUST 140 LIBERTY LN ROCKWALL, TX 75032

> BRADLEY JAMES & DEBRA 141 LIBERTY LN ROCKWALL, TX 75032

> > LEEDS JULIE 1423 ROLLINS DR ALLEN, TX 75013

WEBSTER PROPERTIES LTD 144 HENRY M CHANDLER DR ROCKWALL, TX 75032

> GKD PROPERTIES LLC 145 LIBERTY LN ROCKWALL, TX 75032

WEAM MONAWAR AND TAHANI MUNAWAR 1471 ENGLEWOOD DR ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE 148 OXFORD DR HEATH, TX 75032

GLENDINNING ANTHONY AND CHRISTI BOYD 15 INTREPID CIR ROCKWALL, TX 75032 CGN SPYGLASS LLC 139 HENRY M CHANDLER DR ROCKWALL, TX 75032

VISWANATH RABINDRANATH AND SHANNON 14 INTREPID CIRCLE ROCKWALL, TX 75032

> RIVERA ENRIQUE JR AND SAHARA AGUIRRE 1403 BIRMINGHAM DR ARLINGTON, TX 76012

STEWART BEVERLY AND JAMES 142 HENRY M CHANDLER DR ROCKWALL, TX 75032

CGN SPYGLASS LLC 143 HENRY M CHANDLER DR ROCKWALL, TX 75032

> MORRIS NORMA 144 LIBERTY LANE ROCKWALL, TX 75087

LEWIS COLIN BRAD 146 HENRY M CHANDLER DR ROCKWALL, TX 75032

DAVIS GEORGE 148 HENRY M CHANDLER DR ROCKWALL, TX 75032

FARRAR ROBERT CARY & NANCY N 149 HENRY M CHANDLER DR ROCKWALL, TX 75032

PARNES ALEXANDRA & DROR 15 KESTREL COURT ROCKWALL, TX 75032 CHADCO INVESTMENTS LLC 13914 OVERLOOK LN FORNEY, TX 75126

ENGEL MARIA 140 HENRY M CHANDLER DR ROCKWALL, TX 75032

WALKER SHERRIE G LIFE ESTATE CYNTHIA SEELY & STEVEN WALKER 141 HENRY M CHANDLER DR ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY COMPANY 1420 PICKWICK LANE DENTON, TX 76209

> SOON HERALD 14300 CERVANTES AVE GERMANTOWN, MD 20874

TORRES PAULITA T 145 HENRY M CHANDLER DR ROCKWALL, TX 75032

LEWIS COLIN BRAD 147 HENRY M CHANDLER DR ROCKWALL, TX 75032

SUTHERLAND ETHAN JOHN 148 LIBERTY LN ROCKWALL, TX 75032

CATANIA ANTHONY J 14915 WILLOW HEARTH DR HOUSTON, TX 77084

> 48 MKS LTD 15 WINDING LAKE DR DALLAS, TX 75230

GARDNER DAVID L REV LIV TR 150 HENRY M CHANDLER DR ROCKWALL, TX 75032

ROBERTS JOSHUA & CHRISTINA 151 LIBERTY LANE ROCKWALL, TX 75032

CONFIDENTIAL 152 SHEPHERDS GLEN RD ROCKWALL, TX 75032

BALLARD AMANDA L & MATTHEW WEST BALLARD 155 HENRY M CHANDLER DR ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD 157 HENRY M CHANDLER DR ROCKWALL, TX 75032

> DEVILL HOMES INC 16 INTREPID CIR ROCKWALL, TX 75032

> SHELTON CRAIG 160 LIBERTY LN ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 163 HENRY M CHANDLER DR ROCKWALL, TX 75032

> PARNES ALEXANDRA 166 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SKR INVESTMENTS 168 HENRY M CHANDLER DR ROCKWALL, TX 75032

CITY OF DALLAS 1500 MARILLA ST ROOM 5D SOUTH DALLAS, TX 75201

WOOLDRIDGE ALMA J 152 HENRY M CHANDLER DR ROCKWALL, TX 75032

HUGHES LUANN LYTLE AND RICHARD ANDREW 153 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 156 HENRY M CHANDLER DR ROCKWALL, TX 75032

> WEBSTER PROPERTIES LTD 158 HENRY M CHANDLER DR ROCKWALL, TX 75032

CURRENS ARLENE & WAYNE TRUSTEES BUCHNER/CURRENS FAMILY TRUST 16 LAKEWAY DR HEATH, TX 75032

AMERICAN CONDO CORP OF HOUSTON 161 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SKR INVESTMENTS 164 HENRY M CHANDLER DR ROCKWALL, TX 75032

> GOODWIN DALE & DEBORAH 1667 SWAN TER N FT MYERS, FL 33903

> > SKR INVESTMENTS 1682 CHOTEAU CIR GRAPEVINE, TX 76051

BURNS LORRAINE 151 HENRY M CHANDLER DR ROCKWALL, TX 75032

KNOTT STEPHEN D & SUSAN C 152 LIBERTY LN ROCKWALL, TX 75032

STEWART JAMIE 154 HENRY M CHANDLER DR ROCKWALL, TX 75032

OURSLER JIM & BETTY L 156 LIBERTY LN ROCKWALL, TX 75032

RICKLEFS MARY E 159 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 160 HENRY M CHANDLER DR ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS 162 HENRY M CHANDLER DRIVE UNIT 162 ROCKWALL, TX 75032

> PARNES ALEXANDRA & DROR 165 HENRY M CHANDLER DR ROCKWALL, TX 75032

MCHALE JOHN D JR 167 HENRY M CHANDLER DR ROCKWALL, TX 75032

SKR INVESTMENTS 169 HENRY M CHANDLER DR ROCKWALL, TX 75032 WILKE PATRICIA LYTLE 17 INTREPID CIR ROCKWALL, TX 75032

PHAN NGAN VAN 1701 WOODSBORO CT. ALLEN, TX 75013

WEBSTER PROPERTIES LTD 172 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 174 HENRY M CHANDLER DR ROCKWALL, TX 75032

> FERNANDEZ RENEE LINDA 177 HENRY M CHANDLER DR ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE IRENE 18208 PRESTON RD SUITE D9-408 DALLAS, TX 75252

> THE POTTS-REAGIN HOUSE LLC 1856 SW AVE Q WINTER HAVEN, FL 33880

> CASSAR JEFFREY AND JENNIFER 193 ELVIS PRESLEY LN ROCKWALL, TX 75032

KOLLECK THOMAS A AND TAMARA DESIERTO 20 INTREPID CIR ROCKWALL, TX 75032

> MAXCEY THOMAS AND KIRSTEN 201 FREEDOM CT ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 170 HENRY M CHANDLER DR ROCKWALL, TX 75032

> WEBSTER PROPERTIES LTD 171 HENRY M CHANDLER DR ROCKWALL, TX 75032

CLARK JASON 173 HENRY M CHANDLER DRIVE ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 175 HENRY M CHANDLER DR ROCKWALL, TX 75032

SIDDIQI NAVEED & TAMARA ABDUL WAHAB 178 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SLATE CRAIG M & TANYA 185 S AVENIDA DEL SEMBRADOR TUSCON, AZ 85745

BALLARD CARLEY E JR & CHLOE 1907 LAKEVIEW DR ROCKWALL, TX 75087

SIDDIQI NAVEED AND TAMARA ABDULWAHAB 194 BURNS ST FOREST HILLS, NY 11375

> VINES GREGORY S 200 VZCR 3710 EDGEWOOD, TX 75117

MCKNIGHT MARY D 201 HARBOR LANDING DR ROCKWALL, TX 75032 D'ALISO CHRISTOPHER J 1701 HICKORY CHASE CIR KELLER, TX 76248

2019-1 IH BORROWER LP 1717 MAIN SST SUITE 2000 DALLAS, TX 75201

RAY HUBBARD SMI JV LLC 17330 PRESTON ROAD SUITE 220A DALLAS, TX 75252

WEBSTER PROPERTIES LTD 176 HENRY M CHANDLER DR ROCKWALL, TX 75032

JACKSON STEVEN J AND BARBARA A 18 INTEPRID CIR ROCKWALL, TX 75032

> PONDER KENNETH & ELMA 1850 ASHBOURNE DR ROCKWALL, TX 75087

> > MGBOOMER LLC 1912 KINGS PASS HEATH, TX 75032

5 TO 1 LIVING TRUST 2 INTREPID CIRCLE ROCKWALL, TX 75032

VINES AMY 200 VZCR 3710 EDGEWOOD, TX 75117

COOK JEAN QUILL 201 HENRY M CHANDLER DR ROCKWALL, TX 75032 ROJAS SAMUEL AND SANDRA ELIZABETH MORALES LEDESMA 201 RAINBOW CIRCLE ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST VICTOR B & THADERINE D MACFARLANE TRUSTEES 201 YACHT CLUB DR ROCKWALL, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB 202 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SELZER DEANNA 202 RAINBOW DR ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP 203 HENRY M CHANDLER DR ROCKWALL, TX 75032

> GARLAND BELOTE III 2038 SIGNAL RIDGE PL ROCKWALL, TX 75032

SHORT KATHRYN FARLEY 204 HENRY M CHANDLER DRIVE ROCKWALL, TX 75088

FITZSIMMONS LIVING TRUST MARY ANN AND STEPHEN J FITZSIMMONS -TRUSTEE 20414 W 98TH STREET LENEXA, KS 66220

> SRP SUB, LLC 205 HARBOR LANDING DR ROCKWALL, TX 75032

FODGE JEFF & GLENDA 205 RAINBOW CIR ROCKWALL, TX 75032 MCCONNELL MICHAEL J C/O LINDA M DUGO 201 SOVEREIGN CT ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN 202 GRETEL PL ROCKWALL, TX 75032

> LAZYDALE PARTNERS LLP 202 N SAN JACINTO ROCKWALL, TX 75087

CARTER DAVID F & CYNTHIA W 202 SOVEREIGN CT ROCKWALL, TX 75032

> ARMSTRONG JOHN D 203 RAINBOW CIR ROCKWALL, TX 75032

BRUMMETT JOHN W 204 GRETEL PLACE ROCKWALL, TX 75032

YOUNGBLOOD JOLYNN AND TERRY DON 204 RAINBOW CIR ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST MICHAEL D KNABLE TRUSTEE 205 BENTON DRIVE APT 1202 ALLEN, TX 75013

> GARDNER DAVID L REV LIV TR 205 HENRY M CHANDLER DR ROCKWALL, TX 75032

ROSELL LOYD MICHAEL 205 SOVEREIGN COURT ROCKWALL, TX 75032 MACFARLANE VICTOR L TRUST VICTOR B & THADERINE D MACFARLANE TRUSTEES 201 SPEAR ST STE 1000 SAN FRANCISCO, CA 94105

> WILSON SEAN 202 HARBOR LANDING DR ROCKWALL, TX 75032

> SELZER RICHARD M ET UX 202 RAINBOW CIR ROCKWALL, TX 75032

PETERSON LELAND D & JANET 203 HARBOR LANDING DR ROCKWALL, TX 75032

> RYAN BETTY & JAMES 203 YACHT CLUB DR ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND CARLOS AUGUSTO MOSQUERA 204 HARBOR LANDING ROCKWALL, TX 75032

> ALLEN FRANCIS CONRAD 204 SOVEREIGN CT ROCKWALL, TX 75032

FRITZ AND KATHY MCKINSTRY LIVING TRUST 205 FREEDOM CT ROCKWALL, TX 75032

> YNIGUEZ THOMAS WAYNE & MANDY E YNIGUEZ 205 MAGIC LN SUNNYVALE, TX 75182

> > GOODCHILD ROBERT R 205 YACHT CLUB DR ROCKWALL, TX 75032

SCHROEPFER BRADLEY ROBERT & TAMMY LYNN 206 GRETEL PLACE ROCKWALL, TX 75032

CHOATE ELAINE MARGARET REVOCABLE LIVING TRUST 206 RAINBOW CIR ROCKWALL, TX 75032

> GROVE JERRY DAVID 207 YACHT CLUB DR ROCKWALL, TX 75032

E C LIVING LLC 208 HENRY M CHANDLER DR ROCKWALL, TX 75032

SLATE CRAIG AND TANYA 208 S AVENIDA DEL SEMBRADOR TUSCAN, AZ 85745

> THEO SHEILA L 209 RAINBOW CIRCLE ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND SARAH MARIE GOOCH 210 FREEDOM CT ROCKWALL, TX 75032

> CROSS KIMBERLY CULLINS 210 RAINBOW CR ROCKWALL, TX 75032

COOKE MELANIE 211 YACHT CLUB DRIVE ROCKWALL, TX 75032

ESCH JUDD D & CHRISTINE E 212 SOVEREIGN COURT ROCKWALL, TX 75032 D'AMBROSIA DEAN AND MUSTAFA OMAR 206 HARBOR LANDING DR ROCKWALL, TX 75032

> HENZEN CARLA 207 HENRY M CHANDLER DR ROCKWALL, TX 75032

> MOYER JOHN R ETUX CINDY 208 GRETEL PL ROCKWALL, TX 75032

BOESCH PATRICE RENEE 208 LIONHART PL ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B 209 FREEDOM COURT ROCKWALL, TX 75032

> FROST KIMBERLY 209 SOVEREIGN CT ROCKWALL, TX 75032

TAYLOR MARY 210 HENRY M CHANDLER DR ROCKWALL, TX 75032

STELTE NICHOLAS & CHELSEA 210 SOVEREIGN CT ROCKWALL, TX 75032

WILKERSON DARYL R & LYNN 212 LIONHART PL ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D 213 FREEDOM CT ROCKWALL, TX 75032 CHOATE ELAINE MARGARET REVOCABLE LIVING TRUST 206 HENRY M CHANDLER DR ROCKWALL, TX 75032

> BARTO GARY J & TERRI 207 RAINBOW CIRCLE ROCKWALL, TX 75032

MORRISON CAMERON AND DANIELLE 208 HARBOR LANDING DRIVE ROCKWALL, TX 75032

FISHER FRANK C JR & CHRISTINE K KYLE 208 RAINBOW CR ROCKWALL, TX 75032

> GARDNER DAVID L REV LIV TR 209 HENRY M CHANDLER DR ROCKWALL, TX 75032

SUMMEY JOSHUA L AND AMANDA L 209 YACHT CLUB DRIVE ROCKWALL, TX 75032

COLLICHIO KIMBERLY CULLINS 210 RAINBOW CIR ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC 211 HENRY M CHANDLER DR ROCKWALL, TX 75032

GIBBS ERIC D & CECILIA M 212 RAINBOW CIR ROCKWALL, TX 75032

E C LIVING LLC 213 HENRY M CHANDLER DR ROCKWALL, TX 75032

ARMSTRONG JOHN D 213 SOVEREIGNCT ROCKWALL, TX 75032

MOORE DOOR PROPERTIES LLC 2140 PORTOFINO DR ROCKWALL, TX 75032

> YU HEQING & YIN YANG 216 LIONHART PLACE ROCKWALL, TX 75032

N & S PROPERTIES LLC 217 HENRY M CHANDLER DR ROCKWALL, TX 75032

O'CONNOR GLORIA J 219 HENRY M CHANDLER DR #219 ROCKWALL, TX 75032

> MCCASKILL KRISTOFER 221 FREEDOM COURT ROCKWALL, TX 75032

NICHOLLS HARRY E JR 222 FREEDOM CT ROCKWALL, TX 75032

**CROWELL ROBERT J AND POLLY** 223 SOVEREIGN CT ROCKWALL, TX 75032

AUSBURN CHARLES NEAL 224 SOVEREIGN CT ROCKWALL, TX 75032

THORNE ROGER J 226 CREEK CROSSING LN ROYSE CITY, TX 75189

GENTZEL DUSTIN AND SHANA 214 FREEDOM COURT ROCKWALL, TX 75032

CHADCO INVESTMENTS LLC 215 HENRY M CHANDLER DR ROCKWALL, TX 75032

> KIRK MARY 216 SOVEREIGN CT ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET 218 FREEDOM CT ROCKWALL, TX 75032

COOK JEAN QUILL 220 HENRY M CHANDLER DR ROCKWALL, TX 75032

FLORES EMILY RODELA 221 HENRY M CHANDLER DRIVE ROCKWALL, TX 75032

E C LIVING LLC 222 HENRY M CHANDLER DR ROCKWALL, TX 75032

LOAN RANGER CAPITAL INVESTMENTS LLC 2235 E 6TH STREET SUITE 103 AUSTIN, TX 78702

> **DICKERSON PAUL L & LISA** 225 FREEDOM CT ROCKWALL, TX 75032

226 FREEDOM CT ROCKWALL, TX 75032

DAVIS NITA 214 HENRY M CHANDLER DR ROCKWALL, TX 75032

TYBONE PROPERTIES LLC 216 HENRY M CHANDLER DR ROCKWALL, TX 75032

> NORRISS KIMBERLY S 217 FREEDOM CT ROCKWALL, TX 75032

LEARY TERENCE 218 HENRY M CHANDLER DR ROCKWALL, TX 75032

MANNS FAMILY LIVING TRUST C/O RALPH E MANNS & PHYLLIS 220 LIONHART PL ROCKWALL, TX 75032

**ARCHER MAX & HELEN MANAGEMENT TRUST** MAX EARL & HELEN GAETA ARCHER CO TRUSTEES 221 SOVEREIGN COURT ROCKWALL, TX 75032

> NEAL LC JR AND CARLA R 222 SOVEREIGN CT ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E 224 LIONHART PLACE ROCKWALL, TX 75032

> ARMSTRONG JOHN D 225 SOVEREIGN CT ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J 228 HENRY M CHANDLER DR ROCKWALL, TX 75032

HOLLIS CODY JONATHAN 228 LIONHART PLACE ROCKWALL, TX 75032

TULK SHARON K 229 HENRY M CHANDLER DR ROCKWALL, TX 75032

LEWIS COLIN BRAD 2311 NORWICH DR CARROLLTON, TX 75006

ARMSTRONG D 236 HENRY M CHANDLER DR ROCKWALL, TX 75032

STRANN MICHAEL RAY 237 HENRY M CHANDLER DRIVE ROCKWALL, TX 75087

JOHNSON BRENT & LINDA 240 HENRY M CHANDLER DR ROCKWALL, TX 75032

MORALE PATRICIA L 241 HENRY M CHANDLER DR ROCKWALL, TX 75032

CGN SPYGLASS LLC 249 HENRY M CHANDLER DR ROCKWALL, TX 75032

WEAM MONAWAR AND TAHANI MUNAWAR 251 HENRY M CHANDLER DR ROCKWALL, TX 75032

RINK HEIDI MARIE 252 HENRY M CHANDLER DR ROCKWALL, TX 75032 DYER STACY D 228 SOVEREIGN COURT ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY COMPANY 230 HENRY M CHANDLER DR ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR 232 LIONHART PL ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R 236 LIONHART PL ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST MICHAEL D KNABLE TRUSTEE 238 HENRY M CHANDLER DR ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA 2400 TRINITY COURT HEATH, TX 75032

> PARRISH WENDY R 246 VICTORY LN ROCKWALL, TX 75032

CGN SPYGLASS LLC 250 HENRY M CHANDLER DR ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE 251 VICTORY LN ROCKWALL, TX 75032

TOMPKINS JAMES MICHAEL & LAURIE CARLENE GARVIN 2521 BOUNTIFUL COURT HEATH, TX 75126 TONICK MICHAEL D & JANET A 229 FREEDOM CT ROCKWALL, TX 75032

KEITH BENJAMIN AND SHERYL KEITH 231 HENRY M CHANDLER DR ROCKWALL, TX 75032

BAKKAL RENE & MESUT 232 SOVEREIGN CT ROCKWALL, TX 75032

SARA M FRANKEL TRUST SARA M FRANKEL - TRUSTEE 2366 FAYETTEVILLE AVE HENDERSON, NV 89052

LIECHTY FAMILY PARTNERSHIP LP 239 HENRY M CHANDLER DR ROCKWALL, TX 75032

> ODOM LACEY AND JOSH 2402 YACHT CLUB DR ROCKWALL, TX 75032

GATZKE LISA AND JAMES 247 VICTORY LANE ROCKWALL, TX 75032

RAINS DAVID & BILLIE 2500 DISCOVERY BLVD SUITE 300 ROCKWALL, TX 75032

KIM SEOK H 2516 WOODHAVEN DR FLOWER MOUND, TX 75028

JOHNSON BRENT B & LINDA 253 HENRY M CHANDLER DR ROCKWALL, TX 75032 LASANCE RICHARD & SHIRLEY 253 VICTORY LN ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST 257 VICTORYLN ROCKWALL, TX 75032

> BLASSINGAME KENNETH E ETUX 260 HENRY M CHANDLER DR ROCKWALL, TX 75032

CARNEY DON 262 HENRY M CHANDLER DR ROCKWALL, TX 75032

LEARY TERENCE 2622 MICHIGAN AVE FORT MYERS, FL 33916

2019-1 IH BORROWER LP 264 VICTORY LN ROCKWALL, TX 75032

STUBBLEFIELD SUSAN AND JACK ALLEN 268 VICTORY LN ROCKWALL, TX 75032

BALLARD M WEST & AMANDA B 271 HENRY M CHANDLER DR ROCKWALL, TX 75032

KEITH BENJAMIN AND SHERYL KEITH 272 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 274 HENRY M CHANDLER DR ROCKWALL, TX 75032 48 MKS LTD 254 HENRY M CHANDLER DR ROCKWALL, TX 75032

VOLKMAN DOLORES 259 HENRY M CHANDLER DR ROCKWALL, TX 75032

WILLIAMS FAMILY TRUST LARRY/TERESA WILLIAMS TRUSTEE 261 HENRY M CHANDLER DR ROCKWALL, TX 75032

> FORSYTHE LESLEY K AND PETER J HOLLY 262 MEADOWPARK ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 263 HENRY M CHANDLER DR ROCKWALL, TX 75032

> KLINE LINDA ANN MULLANE 267 HENRY M CHANDLER DR ROCKWALL, TX 75032

> GARLAND BELOTE III 269 HENRY M CHANDLER DR ROCKWALL, TX 75032

MADSON RICHARD ARLEN 2710 ROUTH CREEK PKWY APT 3202 RICHARDSON, TX 75082

FRANCISCO CAROLYN ELLISON 272 VICTORY LN ROCKWALL, TX 75032

MASON JANIS E 275 HENRY M CHANDLER DR UNIT 3 ROCKWALL, TX 75032 TONA CHAD J & MARTI 256 VICTORY LANE ROCKWALL, TX 75032

LESLIE RANDY 2595 WINCREST DR ROCKWALL, TX 75032

THOMAS VELIA 2612 GULL LAKE DRIVE PLANO, TX 75025

HANSEN J D & PATRICIA 262 VICTORY LN ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 264 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 268 HENRY M CHANDLER DR ROCKWALL, TX 75032

> MCCLOY STEPHANIE JOAN 270 HENRY M CHANDLER DR ROCKWALL, TX 75032

> > DILOV VANIO 2717 LAKEWOOD DR ROWLETT, TX 75088

SKR INVESTMENTS 273 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 276 HENRY M CHANDLER DR ROCKWALL, TX 75032 GALLANT ENTERPRISE LLC 2765 ROKI DELL LANE ROCKWALL, TX 75032

**BALLARD CARLEY E JR & CHLOE** 278 HENRY M CHANDLER DR ROCKWALL, TX 75032

> CGN SPYGLASS LLC 2807 EASTGROVE LN HOUSTON, TX 77027

**BALLARD AMANDA L &** MATTHEW WEST BALLARD 28106 WHISPERING MAPLE WAY SPRING, TX 77386

> **BROWN TERRI LYNN** 285 VICTORY LN ROCKWALL, TX 75032

TRAYAHIIC 2897 S NELSON ST LAKEWOOD, CO 80227

AMERSON GARY W AND DEBRA J 293 HARBORVIEW DR ROCKWALL, TX 75032

> SEEDS DAVID R 2961 S CHERRY WAY **DENVER, CO 80222**

SLATE CRAIG M & TANYA 299 HARBORVIEW DR ROCKWALL, TX 75032

JONES CHRISTOPHER ASHLEY & LESLIE 300 SHAMROCK CIRCLE ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE 277 HENRY M CHANDLER DR ROCKWALL, TX 75032

> CGN SPYGLASS LLC 2807 EASTGROVE LN HOUSTON, TX 77027

AMERICAN CONDO CORP OF HOUSTON 2807 EASTGROVE LN HOUSTON, TX 77027

> HALL JASON M & CORI M 284 VICTORY LN ROCKWALL, TX 75032

**T & B FAMILY LIMITED PARTNERSHIP** 2879 LAGO VISTA DR ROCKWALL, TX 75032

> LYNN JASON AND DANIELLE 291 VICTORY LANE ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE 293 VICTORY LN ROCKWALL, TX 75032

ARA MANAGEMENT LLC 297 HABORVIEW DR ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE 299 VICTORY LN ROCKWALL, TX 75032

> **RIBAIL LEAH** 301 COLUMBIA DR ROCKWALL, TX 75032

WILLIAMS FAMILY TRUST LARRY/TERESA WILLIAMS TRUSTEE 27754 HIGH VISTA DRIVE ESCONDIDO, CA 92026

> NICKSON SPYGLASS LLC 2807 EASTGROVE LN HOUSTON, TX 77027

WILLIAMS ROBERT C 281 VICTORY LN ROCKWALL, TX 75032

HALL JASON & CORI 284 VICTORY LN ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L 289 VICTORY LN ROCKWALL, TX 75032

> BILLITER KENT A 291 VICTORY LN ROCKWALL, TX 75032

> ARCE JAIMY G 295 HARBORVIEW DR ROCKWALL, TX 75032

LYNN JASON AND DANIELLE 297 VICTORY LN ROCKWALL, TX 75032

> SPARKS PHILIP R **3 INTREPID CIR** ROCKWALL, TX 75032

YANES DAVID AND CHRISTIE MARIE SCRIBNER 301 HARBOR LANDING DR ROCKWALL, TX 75032

KIM SEOK H **301 HARBORVIEW DR** ROCKWALL, TX 75032

AL MUNAJID MOHD NAZIH & SALMA ALHEWANI **302 COLUMBIA DRIVE** ROCKWALL, TX 75032

> THACKER N FAMILY TRUST AND SHEEGOG FAMILY TRUST 3021 RIDGE RD SUITE 26 ROCKWALL, TX 75032

> > **MOVE IN & ON LLC 303 HARBORVIEW DR** ROCKWALL, TX 75032

> > WARD ANDREA N **303 VALIANT DRIVE** ROCKWALL, TX 75032

NICKSON SPYGLASS LLC 304 HENRY M CHANDLER DR ROCKWALL, TX 75032

POTISKA ANDREA 305 HARBOR LANDING DR ROCKWALL, TX 75032

DEAL ROBERT **305 VALIANT DRIVE** ROCKWALL, TX 75032

SCHUMANN SHERRY 306 COUNTY ROAD 1581 ALBA, TX 75410

MCCLOY STEPHANIE JOAN 306 HENRY M CHANDLER DR ROCKWALL, TX 75032

STOUFFER AMY JACKSON AND MITCH **301 VALIANT** ROCKWALL, TX 75032

> GENTLE BILL 302 HARBOR LANDING DR ROCKWALL, TX 75032

**RIBAIL RICHARD CHARLES 303 COLUMBIA DRIVE** ROCKWALL, TX 75032

303 HENRY M CHANDLER DR ROCKWALL, TX 75032

> THORNE ROGER J **304 COLUMBIA DR** ROCKWALL, TX 75032

LOAN RANGER CAPITAL INVESTMENTS LLC **304 SHAMROCK CIR** ROCKWALL, TX 75032

> CONFIDENTIAL **305 HARBORVIEW DR** ROCKWALL, TX 75032

LAM PROPERTY 3051 N GOLIAD ST

CLEATON JERRY LEE **306 HARBOR LANDING DRIVE** ROCKWALL, TX 75032

CONFIDENTIAL **306 SHAMROCK CIRCLE** ROCKWALL, TX 75032

**KEITH BENJAMIN AND** SHERYL KEITH 3011 BAYSIDE ROCKWALL, TX 75087

**RICHARDS ROBERT J & JOAN S 302 SHAMROCK CIR** ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA 303 HARBOR LANDING DR ROCKWALL, TX 75032

**BALLARD CHRISTOPHER WOLFGANG &** ANDREA NICOLE WARD-BALLARD 303 VALIANT ROCKWALL, TX 75032

> CRIDER MICHAEL & LINDA C 304 HARBOR LANDING DR ROCKWALL, TX 75032

CUNNINGHAM KERRI JON 305 COLUMBIA DR ROCKWALL, TX 75032

DOMINGUE JON 305 HENRY M CHANDLER DR UNIT 305 ROCKWALL, TX 75032

> DOTSON MICHAEL J 306 COLUMBIA DR ROCKWALL, TX 75032

CAMACHO MARC AND JARITA **306 HARBORVIEW DR** ROCKWALL, TX 75032

> MCMINN KIMBERLY 306 VICTORY LN ROCKWALL, TX 75032

ROCKWALL, TX 75087

ANDERSON MARK ANDREAS

AMERICAN HOMES 4 RENT PROPERTIES TWO LLC 30601 AGOURA ROAD SUITE 200 AGOURA HILLS, CA 91301

> CROMEENS SHAN 307 HARBORVIEW DR ROCKWALL, TX 75032

> MCNAIR KELLY 307 VICTORY LN ROCKWALL, TX 75032

KAPRANTZAS ENTERPRISES LLC 308 HARBORVIEW DR ROCKWALL, TX 75032

> MCKINNEY NANCY C 309 COLUMBIA DR ROCKWALL, TX 75032

WEBSTER MARY ANN 309 HENRY M CHANDLER DR ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA 310 HARBOR LANDING DR ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC 310 VICTORY LN ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA 311 HARBORVIEW DR ROCKWALL, TX 75032

WHATLEY JEFF W AND DIANE 312 COLUMBIA DR ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC 30601 AGOURA RD SUITE 200 AGOURA HILLS, CA 91301

CARRINGTON BRADLEY T AND KARI 307 HARBOR LANDING DR ROCKWALL, TX 75032

> MADSON RICHARD ARLEN 307 VALIANT DR ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE 308 HARBOR LANDING DR ROCKWALL, TX 75032

FRY RANOR C AND NORMA L 308 SHAMROCK CIRCLE ROCKWALL, TX 75032

RENTFROW CHRISTOPHER 309 HARBORVIEW DR ROCKWALL, TX 75032

BRIDGES MICHAEL AND DEBRA 310 COLUMBIA DR ROCKWALL, TX 75032

CGN SPYGLASS LLC 310 HENRY M CHANDLER DR ROCKWALL, TX 75032

WIZMANN ERIC & DALE 311 HARBOR LANDING DR ROCKWALL, TX 75032

KOZEL ALEXANDER & KIMBERLY 3110 FARM ROAD 195 PARIS, TX 75462

MORALES JOSE 306 WILLIAMS ST ROCKWALL, TX 75087

RIBAIL MAUREEN A 307 COLUMBIA DR ROCKWALL, TX 75032

NICKSON SPYGLASS LLC 307 HENRY M CHANDLER DR ROCKWALL, TX 75032

> SHANKS SAMUEL S 308 COLUMBIA DRIVE ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND DONNA L WINDSOR 308 HENRY M CHANDLER DR ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX 309 HARBOR LANDING DR ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B 309 VALIANT DR ROCKWALL, TX 75032

> TCHAKAROV SVENTLIN 310 HARBORVIEW DR ROCKWALL, TX 75032

JONES JEFFERY S & SHERIDAN D 311 COLUMBIA DR ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B 311 VALIANT DR ROCKWALL, TX 75032

**OIWA TAKAAKI** C/O OPEN HOUSE CO LTD 312 HARBOR LANDING DR ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND **ROSSITZA I POPOVA** 313 HARBOR LANDING DRIVE ROCKWALL, TX 75032

PHILLIPS ROBERT M AND ANNIE A 314 COLUMBIA DR ROCKWALL, TX 75032

> SMITH JOSHUA AND MAEGAN HOLLOWAY 314 VALIANT DR ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A **315 HARBOR LANDING DRIVE** ROCKWALL, TX 75032

> ARCE JAIMY G 315 VICTORY LN ROCKWALL, TX 75032

JUDD MANO 316 HARBOR LANDING DR ROCKWALL, TX 75032

HENDRICKSON PATSY A **317 HARBOR LANDING DR** ROCKWALL, TX 75032

BYRD PATRICIA ANN TERRY **IRREVOCABLE TRUST** 318 COLUMBIA DR ROCKWALL, TX 75032

FONTANA APRIL SHIRATSUKI 319 COLUMBIA DR ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L **312 PORTVIEW PL** ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R 313 HARBORVIEW DR HEATH, TX 75032

**TURCHI ARLENE S 314 HARBOR LANDING DRIVE** ROCKWALL, TX 75032

MAY DEBRA AND RODNEY **314 VICTORY LN** ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE **315 HARBORVIEW DR** ROCKWALL, TX 75032

LOREDO SARAHI 315 VICTORY LN ROCKWALL, TX 75032

**COFFEY JAMES & DEBORAH 316 PORTVIEW PL** ROCKWALL, TX 75032

**317 HARBORVIEW DR** ROCKWALL, TX 75032

FITZSIMMONS LIVING TRUST MARY ANN AND STEPHEN J FITZSIMMONS -TRUSTEE 318 HARBOR LANDING DR ROCKWALL, TX 75032

**REYNOLDS MARVIN C JR & CLARE D** 319 HARBOR LANDING DR ROCKWALL, TX 75032

RUDOLPH CLIFFORD CHARLES 313 COLUMBIA DR ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H 313 VALIANT DR ROCKWALL, TX 75032

PENCE DENNIS AND DIANNA **314 PORTVIEW PL** ROCKWALL, TX 75032

> NOE NATALIE 315 COLUMBIA DR ROCKWALL, TX 75032

JOHNSTON CAROLINE 315 VALIANT DR ROCKWALL, TX 75032

HPA TEXAS SUB 2017-1 LLC 316 COLUMBIA DR ROCKWALL, TX 75032

MAHAFFEY BARBARA L 317 COLUMBIA DR ROCKWALL, TX 75032

2019-1 IH BORROWER LP **317 VALIANT DR** ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA **318 VALIANT DRIVE** ROCKWALL, TX 75032

> **SELF SCOTT & JANET 319 HARBORVIEW DR** ROCKWALL, TX 75032

**COFFEY JAMES & DEBORAH** 

CZECH JOSHUA AND SHARONA **319 HENRY M CHANDLER DR** ROCKWALL, TX 75032

> SINCLAIR SUE AND JEREMY LEE SINCLAIR 32 LAKEWAY DRIVE HEATH, TX 75032

GARDNER DAVID L REV LIV TR 320 HENRY M CHANDLER DR ROCKWALL, TX 75032

PARKHILL ESTATES LLC 3205 TALON DR RICHARDSON, TX 75082

SELF BILLY & KATIE 321 HARBORVIEW DR ROCKWALL, TX 75032

WEBSTER ALAN T 322 COLUMBIA DR ROCKWALL, TX 75032

**KAPILEVICH LEONID & ANNA ZABARSKAYA** KAPILEVICH LEONID & ANNA KAPILEVICH FAMILY TRUST 323 COLUMBIA DR ROCKWALL, TX 75032

> DERIDDER CASPAR L 323 YACHT CLUB DR ROCKWALL, TX 75032

GALLANT ENTERPRISE LLC 325 COLUMBIA DR ROCKWALL, TX 75032

**GUNDERSON BLAKE AND** CASEY MARIE VICKERS 325 VALIANT DR ROCKWALL, TX 75032

**COPPLER GERALD** 319 VALIANT DR

STURGEON WILLIAM C & BETTY E 320 COLUMBIA DR ROCKWALL, TX 75032

> POTTS JASON AND ANNA 320 PORTVIEW PLACE ROCKWALL, TX 75032

CARRILLO JOHNNY 321 COLUMBIA DR ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHIN 321 VALIANT DR ROCKWALL, TX 75032

> WOOD GEORGE & EVELYN 322 HARBOR LANDING DR ROCKWALL, TX 75032

323 HARBOR LANDING DR ROCKWALL, TX 75032

**324 COLUMBIA DRIVE** ROCKWALL, TX 75032

GRAY RUSSELL LEE 325 HARBOR LANDING DR ROCKWALL, TX 75032

SIVILS BOB R & LINDA LUDDEN SIVILS 325 YACHT CLUB DR ROCKWALL, TX 75032

THORESON MARK R & VICTORIA L 319 YACHT CLUB DR ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P 320 HARBOR LANDING DR ROCKWALL, TX 75032

> HANSEN JOSH AND RACHEL THORNQUIST **320 VALIANT DRIVE** ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY 321 HARBOR LANDING DR ROCKWALL, TX 75032

> CATHEY MARVA WALKER 321 YACHT CLUB DR ROCKWALL, TX 75032

CONDIT TINA **322 VALIANT DRIVE** ROCKWALL, TX 75032

**OWENS MICHAEL V** 323 VALIANT DR ROCKWALL, TX 75032

**BRADSHAW MARCKUS LEWIS AND** VANESSA RIZZARI 324 HARBOR LANDING DRIVE ROCKWALL, TX 75032

**CULLEN GREGORY L & JEAN C** 325 HARBORVIEW DR ROCKWALL, TX 75032

HUGHES RONALD LYNN AND RITA 326 COLUMBIA DRIVE ROCKWALL, TX 75032

LIKE LARRY D & MELISA L

**IMRIE DONALD M & CHERYL K** 

ROCKWALL, TX 75032

DENIKE SARAH 326 HARBOR LANDING DR ROCKWALL, TX 75032

KORTES KAREN L 327 COLUMBIA DR ROCKWALL, TX 75032

ABOU-HAIDAR ISSA S & LAMORA 327 YACHT CLUB DR ROCKWALL, TX 75032

> WHETSELL BETTY R 328 HARBOR LANDING DR ROCKWALL, TX 75032

BOHORQUEZ DAVID 329 HARBORVIEW DR ROCKWALL, TX 75032

OLEKSINSKI MICHAEL A 330 COLUMBIA DR ROCKWALL, TX 75032

BOOKHOUT JAMES C AND NICOLE 331 COLUMBIA DRIVE ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN 331 YACHT CLUB DRIVE ROCKWALL, TX 75032

> VOSPER ALAN AND SHIRLEY 333 HARBORVIEW ROCKWALL, TX 75032

MANASCO MARTIN E AND LISA M 335 HARBORVIEW DR ROCKWALL, TX 75032 LUCIA LODEMA S TRUSTEE LUCIA REVOCABLE INTER-VIVOS TRUST 326 HARBORVIEW DR ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES 327 HARBORVIEW DR ROCKWALL, TX 75032

HAIDAR LAMORA LUCIA AND ISSA ABOU 327 YACHT CLUB DR ROCKWALL, TX 75032

VELASCO ALEJANDRO PORTOCARRERO AND STEPHANIE G ARAMAYO 328 HARBORVIEW DR ROCKWALL, TX 75032

> IMBURGIA JAMES 329 VALIANT DR ROCKWALL, TX 75032

MATTES JOHN AND TONG 330 HARBOR LANDING DR ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D 331 HARBORVIEW DR ROCKWALL, TX 75032

HURST RANDY L & CAROL J 332 COLUMBIA DR ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I 333 VALIANT DR ROCKWALL, TX 75032

DANIEL SANDRA SUE 335 VALIANT DR ROCKWALL, TX 75032 JOHNSON TIFFANY MICHELLE 326 VALIANT DR ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN 327 VALIANT DR ROCKWALL, TX 75032

BREEDLOVE STEPHEN WENN & NEITA P 328 COLUMBIA DRIVE ROCKWALL, TX 75032

> ANDERS LYNN M 329 COLUMBIA DRIVE ROCKWALL, TX 75032

BOOKHOUT JAMES M & KATHRYN C 329 YACHT CLUB DR ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA HENDLER 330 HARBORVIEW DR ROCKWALL, TX 75032

> STORY BRIAN K AND LANA K 331 VALIANT DRIVE ROCKWALL, TX 75032

> > BISHOP J PHIL 333 COLUMBIA DR ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN 333 YACHT CLUB DR ROCKWALL, TX 75032

JOHNSON DAVID LEO AND LINDA J JOHNSON 337 HARBORVIEW DRIVE ROCKWALL, TX 75032 HARMON H VICTOR 337 VALIANT DR ROCKWALL, TX 75032

THOMPSON PAIGE ELIZABETH 340 HENRY M CHANDLER ROCKWALL, TX 75032

WEBSTER MARY ANN 341 HENRY M CHANDLER DR ROCKWALL, TX 75032

GASSNER CECELIA ANN AND WILLIAM ADAM PARK 352 HENRY M CHANDLER DR ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE 3543 VANCOUVER DRIVE DALLAS, TX 75229

KLINE LINDA ANN MULLANE 373 HENRY M CHANDLER DR ROCKWALL, TX 75032

FLEMING JOYCE MARIE 4 INTREPID CIR ROCKWALL, TX 75032

KORTEMIER WILLIAM F 401 YACHT CLUB DR ROCKWALL, TX 75032

BURNS LORRAINE 403 WEST WASHINGTON ROCKWALL, TX 75087

HEIN PRISCILLA 404 ENDEAVOR CT ROCKWALL, TX 75032 JOHNSON FAMILY TRUST 338 HENRY M CHANDLER DR ROCKWALL, TX 75032

> N & S PROPERTIES LLC 3402 ANTHONY CIR ROWLETT, TX 75088

MOHAN KENNETH 3415 WATERVIEW TRL ROCKWALL, TX 75087

VOLKMAN DOLORES A 353 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 371 HENRY M CHANDLER DR ROCKWALL, TX 75032

> M & H PROPERTIES INC 374 HENRY M CHANDLER DR ROCKWALL, TX 75032

LEPARD RICHARD L 400 ENDEAVOR CT ROCKWALL, TX 75032

MOULEDOUS ALFRED E JR 402 COLUMBIA DR ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY 403 YACHT CLUB DR ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING TRUST 4048 ROBIN ST BAY ST LOUIS, MS 39520 VIERLING DENNIS & LISA 339 HENRY M CHANDLER DR ROCKWALL, TX 75032

CAMACHO MARC AND JARITA 3409 BERMUDA DR ROWLETT, TX 75088

GARDNER DAVID L REV LIV TR 351 HENRY M CHANDLER DR ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR 354 HENRY M CHANDLER DR ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON 372 HENRY M CHANDLER DR ROCKWALL, TX 75032

> JOHNSON BRENT B & LINDA 3810 COVE RD ROWLETT, TX 75088

BAXTER STEVE & KARAN 401 COLUMBIA DR ROCKWALL, TX 75032

BAXTER STEVE & KARAN 403 COLUMBIA DR ROCKWALL, TX 75032

EZEROSKY BRENNA KERI 404 COLUMBIA DR ROCKWALL, TX 75032

CENSULLO FRANCIS 405 COLUMBIA DR ROCKWALL, TX 75032

FULLER JULIE 405 YACHT CLUB DR ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A 407 COLUMBIA DR ROCKWALL, TX 75032

> TULK SHERRY 408 COLUMBIA DR ROCKWALL, TX 75032

SCHREIBER JIMMY D & INEZ 409 COLUMBIA DR ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST JERRY C NELSON AND MARIBETH NELSON-TRUSTEES **410 COLUMBIA DRIVE** ROCKWALL, TX 75032

> WATSON JARRETT A 411 YACHT CLUB DR ROCKWALL, TX 75032

COMPTON WILLIAM H & JAYNE 412 ENDEAVOR CT ROCKWALL, TX 75032

KERR DALE LESLIE AND SUSAN ALLEN **414 COLUMBIA DRIVE** ROCKWALL, TX 75032

> WHITTEN DON AND PATRICE 415 COLUMBIA DR ROCKWALL, TX 75032

> > JORDAN PAMELLA W 419 COLUMBIA DR ROCKWALL, TX 75032

HUGHES THOMAS AND MADISON 406 COLUMBIA DR ROCKWALL, TX 75032

ARNAIZ REVOCABLE TRUST OF AUGUST 3, 2017 ANTHONY GENE ARNAIZ AND LANA MICHELLE **ARNAIZ- TRUSTEES** 407 ISBEL DRIVE SANTA CRUZ, CA 95060

> TULK SHARON K 408 COLUMBIA DR ROCKWALL, TX 75032

409 YACHT CLUB DR ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S 4109 DESERT GARDEN DR PLANO, TX 75093

4118 NORMANDY AVE DALLAS, TX 75205

LILES MICHAEL AND JO ANN **414 ENDEAVOR CT** ROCKWALL, TX 75032

STEVENSON LARRY KEITH 416 COLUMBIA DR ROCKWALL, TX 75032

BREWER JAMES ASHLEY JR 420 COLUMBIA DR ROCKWALL, TX 75032

MEZA LUIS FELIPE AND LAURA P POHLS **406 ENDEAVOR COURT** ROCKWALL, TX 75032

> WISE RUTHANNE 407 YACHT CLUB DRIVE ROCKWALL, TX 75032

FARR MATTHEW & AMBER **408 ENDEAVOR COURT** ROCKWALL, TX 75032

**NELSON JERRY C & MARIBETH TRUSTEES** NELSON FAMILY LIVING TRUST 410 COLUMBIA DR ROCKWALL, TX 75032

CHRISTENSEN DAVID J & STACEY **411 COLUMBIA DRIVE** ROCKWALL, TX 75032

> MARTIN MAX E 412 COLUMBIA DR ROCKWALL, TX 75032

MACGILVARY ERIN 413 YACHT CLUB DRIVE ROCKWALL, TX 75032

SLATON CAREN M **4142 UNIVERSITY BLVD** DALLAS, TX 75205

**BRANDON CHRIS B & TINA MARIE** 417 COLUMBIA DR ROCKWALL, TX 75032

THOMPSON FRED AND LINDA 421 COLUMBIA DRIVE ROCKWALL, TX 75032

413 COLUMBIA DR

JONES KEITH R & TERESA K

VANDIGRIFF VICTORIA LYNN

HYDEMAN ROBERT B JR ROCKWALL, TX 75032

**#23 INVESTMENTS LLC** 422 COLUMBIA DR ROCKWALL, TX 75032

**O'BOYLE MICHAEL** 426 YACHT CLUB DR ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L 426 YACHT CLUB DRIVE APT D ROCKWALL, TX 75032

J&R HUNT INVESTMENTS LLC 427 PRIVATE ROAD 2939 PITTSBURG, TX 75686

> WRIGHT RHONDA 428C YACHT CLUB DR ROCKWALL, TX 75032

> **KELLY DONNA** 431 COLUMBIA DR ROCKWALL, TX 75032

DUDEK JOHN F AND JENNIFER H 432 COLUMBIA DR ROCKWALL, TX 75032

> MORRISON DEBRA 436 COLUMBIA DR ROCKWALL, TX 75032

HALL DEREK 436C YACHT CLUB DRIVE ROCKWALL, TX 75032

JAMES DEBRA SUE 438 YACHT CLUB DR APT D ROCKWALL, TX 75032

**BRIGHT CHRISTOPHER J JOHN** 423 COLUMBIA DR ROCKWALL, TX 75032

STENBERG BARBARA JANE 426 YACHT CLUB DR APT C ROCKWALL, TX 75032

WEEKLEY PATRICIA H 426 YACHT CLUB DRIVE #G UNIT C-3 ROCKWALL, TX 75032

> DUDEK PROPERTIES LLC 428 COLUMBIA DR ROCKWALL, TX 75032

**ROLAND JAMES & DEBRA JAN** 429 COLUMBIA DR ROCKWALL, TX 75032

BARRINGER VAN 4310 COCHRAN CHAPEL CIR **DALLAS, TX 75209** 

**GESSNER JOHN B** 433 COLUMBIA DR

436 YACHT CLUB DR APT A ROCKWALL, TX 75032

438 COLUMBIA DRIVE ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE 438 YACHT CLUB DR #G ROCKWALL, TX 75032

HANKINS MICHAEL L & VICKI S 425 COLUMBIA DR ROCKWALL, TX 75032

CONINE CHRISTOPHER T 426 YACHT CLUB DR UNIT B ROCKWALL, TX 75032

**YANGER MORRIS & DORIS** 427 COLUMBIA DR ROCKWALL, TX 75032

WRIGHT RHONDA LYNN 428 YACHT CLUB DR APT C ROCKWALL, TX 75032

KAY SUZANNE KAY 430E YACHT CLUB DRIVE ROCKWALL, TX 75032

DUDEK PROPERTIES LLC 432 COLUMBIA DR ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J 435 COLUMBIA DR ROCKWALL, TX 75032

> DAVIS KERRI 436 YACHT CLUB DR #G ROCKWALL, TX 75032

JOHNSTON CAROL RUTH 438 YACHT CLUB #E ROCKWALL, TX 75032

FISHER TED Y 4404 PLACIDIA AVE TOLUCA LAKE, CA 91602

ROCKWALL, TX 75032

BECK JOAN K

**BENSON CURT R** 

BRUNS BEVERLY LYNN 440B YACHT CLUB DR ROCKWALL, TX 75032

PAYNE JOHN R 444 COLUMBIA DR ROCKWALL, TX 75032

CARRIGAN DOROTHY 450 YACHT CLUB DR APT B ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND GINA L STRICKLIN 4501 YACHT CLUB DR ROCKWALL, TX 75032

MCCALISTER SHAWN D & RUSS W WILLIAMSON

& ELIZABETH R WILLIAMSON 456A YACHT CLUB DR ROCKWALL, TX 75032

AUSBURN CHARLES NEAL 4614 GILBERT AVE DALLAS, TX 75219

SEASONED STRUCTURES LLC SERIES B 4910 PORTOLA DR GARLAND, TX 75043

> N & S PROPERTIES LLC 3402 ANTHONY CIR ROWLETT, TX 75088

AURINGER JENNIFER & JONATHAN 5 INTREPID CIR ROCKWALL, TX 75032

> UDSTUEN STEPHENSON 502 COLUMBIA DR ROCKWALL, TX 75032

GREENBERG MARC K 442 COLUMBIA DR ROCKWALL, TX 75032

ARMSTRONG D 446 COLUMBIA DR ROCKWALL, TX 75032

ARMSTRONG MARK C 450 YACHT CLUB DRIVE UNIT C ROCKWALL, TX 75032

> XU JINGRU 4529 CROSSTIMBER DR PLANO, TX 75093

GREEN JOHN W JR 458 YACHT CLUB DR APT A ROCKWALL, TX 75032

ROCKWALL MARINA DEVELOPMENT LLC 4701 COPPER MOUNTAIN LANE RICHARDSON, TX 75082

> DAVIS GEORGE 5 DARR RD HEATH, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR JOHN C & ARLENE C FREDERIKSEN TRUSTEES 5518 CHALLENGER CT ROCKWALL, TX 75032

> UDSTUEN ERIKA ANN 501 COLUMBIA DRIVE ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP 502 TERRY LN HEATH, TX 75032 VREELAND DENISE AND DAN CALNON 442 YACHT CLUB DRIVE #B ROCKWALL, TX 75032

FODGE JEFF & GLENDA 448 WYNDEMERE BLVD HEATH, TX 75032

RUNYON FLOYD D AND DANA 450 YACHT CLUB DRIVE UNIT # A ROCKWALL, TX 75032

POWELL COQUEACE 454 S YACHT CLUB DRIVE A ROCKWALL, TX 75032

HILE CARLA J 4609 STEEPLE CHASE LN ROCKWALL, TX 75032

ALLEN FAMILY TRUST ROBERT E ALLEN AND ELEANOR I ALLEN-TRUSTEES 480 N WINCHESTER BLVD. #7 SANTA CLARA, CA 95050

> DAVIS NITA 5 DARR ROAD HEATH, TX 75032

ROMER ENTERPRISES LLC 2311 NORWICH DR CARROLLTON, TX 75006

CHANDLERS LANDING COMMUNITY ASSOC 501 YACHT CLUB DR ROCKWALL, TX 75032

> WOMBLE JOHN 503 COLUMBIA DRIVE ROCKWALL, TX 75032

## HUDSON REAL ESTATE HOLDINGS LLC 503 MARINER DR ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC 505 MARINER DR ROCKWALL, TX 75032

> **HIBBARD VIRGINIA 506 COLUMBIA DR** ROCKWALL, TX 75032

ALLYSON VAN OS RESIDENCE TRUST 07-05-87 ALLYSON VAN OS - SUCCESSOR TRUSTEE 508 MARINER DR ROCKWALL, TX 75032

> HONEYCUTT WELDON & LINDA 5102 YACHT CLUB DR ROCKWALL, TX 75032

SOUTHAM THOMAS & MELISSA **5106 YACHT CLUB DRIVE** ROCKWALL, TX 75032

DEBENDER RACHEL M AND MADELINE A GEARY 512 COLUMBIA DR ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M **514 COLUMBIA DR** ROCKWALL, TX 75032

> NIETO RENAY **519 E INTERSTATE 30** ROCKWALL, TX 75087

LAYENDECKER TIMOTHY P & SHAHLA 519 INTERSTATE 30 #629 ROCKWALL, TX 75087

KAHL STEPHEN M & KAREN E 504 MARINER DR ROCKWALL, TX 75032

**OIWA TAKAAKI** C/O OPEN HOUSE CO LTD 5050 QUORUM DRIVE SUITE 610 DALLAS, TX 75254

HUDSON REAL ESTATE HOLDINGS LLC 507 MARINER DR ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC 509 MARINER DR ROCKWALL, TX 75032

> 5103 YACHT CLUB DR ROCKWALL, TX 75032

5108 YACHT CLUBDR ROCKWALL, TX 75032

**512 MARINER DRIVE** ROCKWALL, TX 75032

LAQUEY DIANA HEATH, TX 75032

HARMON HOSEA VICTOR & ELIZABETH C 519 E INTERSTATE 30 PMB 212 ROCKWALL, TX 75087

> **THOMAS JERRY & MARSHA** 5202 YACHT CLUB DR ROCKWALL, TX 75032

TURSCHAK JAIME **505 COLUMBIA DRIVE** ROCKWALL, TX 75032

HIBBARD WILLIAM 506 COLUMBIA DR ROCKWALL, TX 75032

BLAKELY DENNIS DALE AND SARA ALLEN **508 COLUMBIA DRIVE** ROCKWALL, TX 75032

> **DEVINE GRAEME J & LORI 510 COLUMBIA DR** ROCKWALL, TX 75032

**BOUGHTON JANENE** MARK STUERTZ 5104 YACHT CLUB DR ROCKWALL, TX 75032

HUDSON REAL ESTATE HOLDINGS LLC 511 MARINER DR ROCKWALL, TX 75032

CASTER JAMES E JR AND MILINDA J 512 PRIVATE RD 52444 LEESBURG, TX 75451

HAMMOND HUDDLE LIVING TRUST EUGENE WESLEY HUDDLE AND JANE HAMMOND, TRUSTEES 519 E I-30 #704 ROCKWALL, TX 75087

SPYGLASS HILL CONDOMINIUMS PHASE II 519 1-30 #330 ROCKWALL, TX 75087

> COWAN AMY DAVID SPOENEMAN 5203 SCARBOROUGH LN DALLAS, TX 75287

516 LAS LOMAS DR

**BUSS LARRY D & KAREN K** 

**RIAZ SUMERA** 

HIGHT LINDA ANN

BARRY JOYCE 5204 YACHT CLUB DR ROCKWALL, TX 75032

TRAYAH LLC 522 YACHT CLUB DR ROCKWALL, TX 75032

SELZER DEANNA 528 YACHT CLUB DR ROCKWALL, TX 75032

NORTON JO ANN 5303 YACHT CLUB DR ROCKWALL, TX 75032

MARTIN CAREN 5305 YACHT CLUB DR ROCKWALL, TX 75032

VINES AMY 532 YACHT CLUB DR ROCKWALL, TX 75032

**TROTTER STEVEN DOUGLAS & LISA ANN** 534 YACHT CLUB DRIVE ROCKWALL, TX 75032

> **ULMEN PEGGY SUE** 538 YACHT CLUB DR ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST JENNIFER REBECCA BLUM- TRUSTEE 540 YACHT CLUB DR ROCKWALL, TX 75032

JANAK JUDY A AND MICHAEL K BOX 5403 RANGER DR ROCKWALL, TX 75032

ROCK SOUTH INVESTMENTS LTD. A TEXAS LIMITED PARTNERSHIP 5206 YACHT CLUB DR ROCKWALL, TX 75032

> **GUNTER MARGIE ANN** 524 YACHT CLUB DR ROCKWALL, TX 75032

> WILLIS PATRICIA D 530 YACHT CLUB DR ROCKWALL, TX 75032

HOLMGREN DENNIS M AND JO ANN **5303 YACHT CLUB DRIVE** ROCKWALL, TX 75032

ADRIAN AMANDA C AND MICHAEL S 5306 YACHT CLUB DR ROCKWALL, TX 75032

> ROSHAN KC 5335 BROADWAY BLVD #210 GARLAND, TX 75043

TYBONE PROPERTIES LLC 536 LOMA VISTA HEATH, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M 540 LOMA VIST HEATH, TX 75032

> **DUNCAN HAL & EILEEN** 5401 RANGER DR ROCKWALL, TX 75032

DEVINE LORI AND GRAEME 5405 RANGER DR ROCKWALL, TX 75032

METRY GREGORY K **5208 YACHT CLUB DRIVE** ROCKWALL, TX 75032

COLLICHIO KIMBERLY ANN 526 YACHT CLUB DR ROCKWALL, TX 75032

DAVIES DAVID B & HELEN J 5302 YACHT CLUB DR ROCKWALL, TX 75032

WILLIAMS VICTORIA L & DAVID B 5304 YACHT CLUB DR ROCKWALL, TX 75032

ADDISON MARAVIN G AND FAYE 5308 YACHT CLUB DR. ROCKWALL, TX 75033

> SALT PROPERTIES LLC 534 YACHT CLUB DRIVE ROCKWALL, TX 75032

PEARMAN JANICE 536 YACHT CLUB DR ROCKWALL, TX 75032

P V REAL ESTATE HOLDINGS SERIES LLC SERIES D 540 NANCE RD SUNNYVALE, TX 75182

ODOM JOSHUA D-WAYNE AND LACEY **AI FXANDRA** 5402 YACHT CLUB DRIVE ROCKWALL, TX 75032

MONTGOMERY WILLIAM C & DIANE 5406 YACHT CLUB DR ROCKWALL, TX 75032

DALTON PAMELA GAY 5407 RANGER DR ROCKWALL, TX 75032

RICH JEFFREY M 5411 RANGER DRIVE ROCKWALL, TX 75032

**HIBBARD VIRGINIA** 5413 RANGER DR ROCKWALL, TX 75032

**KUIPERS KATHY & ROY** 5418 RANGER DR ROCKWALL, TX 75032

OTTEN STEVEN E 5420 RANGER DR ROCKWALL, TX 75032

FULLER JULIE 5425 BYERS AVE FORT WORTH, TX 76107

CONFIDENTIAL 5433 RANGER DR ROCKWALL, TX 75032

LIKE JOHN MILES 5437 RANGER DR ROCKWALL, TX 75032

PIXLEY SUZANNE 5440 RANGER DR ROCKWALL, TX 75032

DEATON JOSHUA AND AMANDA 5446 RANGER DR ROCKWALL, TX 75032

COLEMAN WILL 5408 YACHT CLUB DR ROCKWALL, TX 75032

**RICH JEFFREY** 5411 RANGER DRIVE ROCKWALL, TX 75032

PIXLEY ENTERPRISES AND ANDREA PIXLEY 5414 RANGER DR ROCKWALL, TX 75032

KOMP STEPHEN J 5419 RANGER DRIVE ROCKWALL, TX 75032

JOHNSON LINDA AND DAVID 5421 RANGER DR ROCKWALL, TX 75032

LUND MICHAEL J AKA MICHAEL LUND AND CHIZUKO T LUND AKA CHIZUKO LUND 5425 RANGER DRIVE ROCKWALL, TX 75032

> **RAINEY JOEL A & PAULA N** 5434 RANGER DR ROCKWALL, TX 75032

**GINA STRICKLIN** 5438 RANGER DR ROCKWALL, TX 75032

HILL SAMUEL J 5441 RANGER DR ROCKWALL, TX 75032

GILL ATLANTA PROPERTIES LLC 545 KIRNWOOD DRIVE DALLAS, TX 75232

**RICH JEFFREY** 5409 RANGER DR ROCKWALL, TX 75032

THOMAS VICKI 5412 RANGER DR ROCKWALL, TX 75032

PETER GAIL M 5416 RANGER DR ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L 542 YACHT CLUB DR ROCKWALL, TX 75032

> LEEDS JULIE 5422 RANGER DR ROCKWALL, TX 75032

> THOMAS VICKIE SUE 5427 RANGER DR ROCKWALL, TX 75032

**DOVE JAMES & BARBARA** 5436 RANGER DR ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC 544 YACHT CLUB DR ROCKWALL, TX 75032

> PIXLEY SUZANNE M 5442 RANGER DR ROCKWALL, TX 75032

> GARCIA SERGIO 5453 RANGER DR ROCKWALL, TX 75032

RUBENSTEIN ALAN AND

HAIDAR LAMORA LUCIA AND ISSA ABOU 5501 CANADA CT ROCKWALL, TX 75032

IWAI AKIO C/O OPEN HOUSE CO LTD, 11TH FLOOR 5502 AUSTRALIA CT ROCKWALL, TX 75032

> DAVIS WILLIAM H & PATRICIA L 5502 YACHT CLUB DR ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-5504 AUSTRALIA COURT ROCKWALL, TX 75032

> HENRY SUE E 5504 YACHT CLUB DR ROCKWALL, TX 75032

WILSON STEPHEN L & JANPRAPHA T 5506 AUSTRALIA CT ROCKWALL, TX 75032

ANGELINE THOMPSON REVOCABLE LIVING TRUST ANGELA MICHELLE HORAK- TRUSTEE 5507 YACHT CLUB ROCKWALL, TX 75032

> ODIE CONNIE L 5508 CANADA COURT ROCKWALL, TX 75032

DESROSIERS RONALD J 5510 AUSTRALIA CT HEATH, TX 75032

TAYLOR JOE & CINDY 5511 AUSTRALIA CT ROCKWALL, TX 75032 SCHULTZ KATHY L & LARRY R 5501 RANGER DR ROCKWALL, TX 75032

SCHLETT KARLA AND SCOTT SHEPHERD 5502 CANADA CT ROCKWALL, TX 75032

> MGBOOMER LLC 5503 CANADA CT ROCKWALL, TX 75032

JAMES JUSTIN & LINDSEY 5504 CANADA COURT ROCKWALL, TX 75032

SEXTON SHAWN REVOCABLE TRUST 5505 RANGER DR ROCKWALL, TX 75032

> FELLERS CAROL 5506 CANADA CT ROCKWALL, TX 75032

YOUNG SHERRY WHITE 5508 AUSTRALIA CT ROCKWALL, TX 75032

NORTON ANGELA 5508 CHALLENGER CT ROCKWALL, TX 75032

FERGUSON KENNETH LEE 5510 CANADA CT ROCKWALL, TX 75032

GARCIA LUIS 5512 CANADA CT ROCKWALL, TX 75032 CULLEN SETH LAWRENCE AND GABRIELLE 5501 YACHT CLUB DR ROCKWALL, TX 75032

MARSHALL SAMUEL AND DIANA 5502 CHALLENGER CT ROCKWALL, TX 75032

> DENNEY ZACHARY LEWIS 5503 RANGER DR ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA 5504 CHALLENGER CT ROCKWALL, TX 75032

HAMMOND HUDDLE LIVING TRUST EUGENE WESLEY HUDDLE AND JANE HAMMOND, TRUSTEES 5505 YACHT CLUB DR ROCKWALL, TX 75032

> KJT FLYING PROPERTIES LLC 5506 CHALLENGER CT ROCKWALL, TX 75032

HOWELL STEVE & SHARON 5508 CAMBRIA DR ROCKWALL, TX 75032

LATIMER TAMMY & DONALD 5509 RANGER DR ROCKWALL, TX 75032

BRADSHAW ADRIAN & ANDRIELLE JONES 5510 CHALLENGER COURT ROCKWALL, TX 75032

> BEST JAMES AND DEBRA 5512 CHALLENGER CT ROCKWALL, TX 75032

LANCE DONNIE C & MARY 5514 AUSTRALIA CT ROCKWALL, TX 75032

CLARK TAWANA 5516 AUSTRALIA CT ROCKWALL, TX 75032

TORRES HECTOR EDUARDO LOPEZ AND LUIS FERNANDO LOPEZ 5518 AUSTRALIA CT ROCKWALL, TX 75032

> KING JON JOSHUA 5520 AUSTRALIA CT ROCKWALL, TX 75032

CONFIDENTIAL 5526 CHALLENGER COURT ROCKWALL, TX 75032

WILLIAMS MARLENE 5533 CANADA COURT ROCKWALL, TX 75032

KOZEL ALEXANDER & KIMBERLY 5536 CANADA CT ROCKWALL, TX 75032

SMOTHERMON DONNA GAIL 5539 CANADA COURT ROCKWALL, TX 75032

> MULLENIX DIANE 5541 CANADA COURT ROCKWALL, TX 75032

JONES KEITH R & TERESA K 5544 CANADA CT ROCKWALL, TX 75032 PETERS LEONARD R AND SANDY JO 5514 CANADA CT ROCKWALL, TX 75032

> SEAY JIMMY & CYNTHIA F 5516 CANADA CT ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR JOHN C & ARLENE C FREDERIKSEN TRUSTEES 5518 CHALLENGER CT ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR JOHN C & ARLENE C FREDERIKSEN TRUSTEES 5520 CHALLENGER CT ROCKWALL, TX 75032

> SHELTON ROBERT M 5528 CHALLENGER CT ROCKWALL, TX 75032

PRINE ROBERT HAROLD JR 5534 CANADA COURT ROCKWALL, TX 75032

E C LIVING LLC 5537 CANADA CT ROCKWALL, TX 75032

LOGAN PAULINE K 554 VZ COUNTY ROAD 2139 CANTON, TX 75103

MUNDO JOSEPH C & PAMELA J 5542 CANADA CT ROCKWALL, TX 75032

JONES KEITH AND TERESA K 5544 CHANDLERS COURT ROCKWALL, TX 75032 STARBIRD RYAN D AND LAUREN 5514 CHALLENGER CT ROCKWALL, TX 75032

> CABANISS CHAR CHERICE DAVID R DE LA CERDA 5516 CHALLENGER CT ROCKWALL, TX 75032

MORRISON MICHAEL S 552 YACHT CLUB DRIVE ROCKWALL, TX 75032

BUTLER MARY DELINA 5522 CHALLENGER COURT ROCKWALL, TX 75032

WATKINS JAMES & ELLEN 5530 CHALLENGER CT ROCKWALL, TX 75032

MAXCEY THOMAS CHRISTOPHER & KIRSTEN JOANN 5535 CANADA CT ROCKWALL, TX 75032

> CAVENDISH DENIS G 5538 CANADA CT ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST JENNIFER REBECCA BLUM, TRUSTEE 554 YACHT CLUB ROCKWALL, TX 75032

ALLEN FAMILY TRUST ROBERT E ALLEN AND ELEANOR I ALLEN-TRUSTEES 5543 CANADACT ROCKWALL, TX 75032

> OWEN JAMI HUBER 5546 CANADA COURT ROCKWALL, TX 75032

ATASHI TOWN HOMES LLC 5548 CANADA CT ROCKWALL, TX 75032

SCHOENEMAN JAMES B 5554 CANADA CT ROCKWALL, TX 75032

VAUGHAN SANDRA K 556 YACHT CLUB DR UNIT 1 ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M 5562 CANADA CT ROCKWALL, TX 75032

> STITES TOM 5568 CANADA CT ROCKWALL, TX 75032

> MILLER DIXIE 5571 CANADA CT ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A 5574 CANADA CT ROCKWALL, TX 75032

> **M & H PROPERTIES INC** 5575 CANADA CT ROCKWALL, TX 75032

SPEED STEVEN C AND KAYLA MARIE SPEED STEVEN C AND KAYLA MARIE 558 YACHT CLUBD R ROCKWALL, TX 75032

> HITT JAMES 5583 CANADA COURT ROCKWALL, TX 75032

FREEMAN STEPHEN M 5550 CANADA CT ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST JENNIFER REBECCA BLUM- TRUSTEE 5556 CANADA CT ROCKWALL, TX 75032

**PIXLEY SUZANNE M & ANDREA J** 5560 CANADA COURT ROCKWALL, TX 75032

> PIXLEY ANDREA AND SUZANNE PIXLEY 5564 CANADA CT ROCKWALL, TX 75032

PUSCH CHRISTA 5569 CANADA CT ROCKWALL, TX 75032

WATTERSON RONALD E & MICHAEL E SAMBOGNA 5572 CANADA CT ROCKWALL, TX 75032

> MCCLOY STEPHANIE JOAN 5575 CANADA CT ROCKWALL, TX 75032

**HETTINGER HAYS V & MARGARET A** 5576 CANADA CT ROCKWALL, TX 75032

HAWN LESLEE AND WILLIAM RUSSELL 5580 CANADA CT ROCKWALL, TX 75032

> SPEED JOE E 560 YACHT CLUB DR ROCKWALL, TX 75032

NIETO RENAY 5552 CANADA CT ROCKWALL, TX 75032

JORDAN RICHARD WAYNE 5558 CANADA COURT ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M 5560 CANADA CT ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M 5566 CANADA CT ROCKWALL, TX 75032

> **KRAVETZ STEVEN M ETUX** 5570 CANADA CT ROCKWALL, TX 75032

PIXLEY ANDREA 5573 CANADA CT ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN 5575 CANADA CT ROCKWALL, TX 75032

PALMER TODD P AND NEELIE HUFF 5579 CANADA CT ROCKWALL, TX 75032

AUBREY Q & YVONNE M PATTERSON **REVOCABLE LIVING TRUST** AUBREY Q & YVONNE M PATTERSON TRUSTEES 5581 CANADA COURT ROCKWALL, TX 75032

> MILLER DAVID W & GAIL M 5601 CAMBRIA DRIVE ROCKWALL, TX 75032

**MARTIN FREDERICK & SONJA** 5601 RANGER DR ROCKWALL, TX 75032

SEASONED STRUCTURES LLC SERIES B 5602 CAMBRIA DR ROCKWALL, TX 75032

> WITHROW CARON 5603 CAMBRIA DR ROCKWALL, TX 75032

FARIS CHARLES M AND DAWN M 5604 CANADA CT ROCKWALL, TX 75032

> CLEVENGER JOHN 5605 RANGER DRIVE ROCKWALL, TX 75032

2020 R K SANDKNOP REVOCABLE TRUST RYAN TERRANCE SANDKNOP AND KATIE ANNE SANDKNOP 5606 RANGER DRIVE ROCKWALL, TX 75032

> FEW TOMMY WAYNE 5607 RANGER DRIVE ROCKWALL, TX 75032

**BROWN IAN AND JESSICA** 5609 CAMBRIA DR ROCKWALL, TX 75032

LALONDE SCOTT M AND MEGAN B 5610 YACHT CLUB DRIVE ROCKWALL, TX 75032

> GARDNER MICHAEL J 5613 CAMBRIA DR ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC 5601 RANGER DR ROCKWALL, TX 75032

> BECK ANTHONY M 5602 CANADA CT HEATH, TX 75032

KING RONALD H AND DEBBIE D RENFROW 5603 YACHT CLUB DRIVE ROCKWALL, TX 75032

CASSAR JEFFREY AND JENNIFER 5604 YACHT CLUB DR ROCKWALL, TX 75032

> 5606 CAMBRIA DR ROCKWALL, TX 75032

5606 YACHT CLUB DR ROCKWALL, TX 75032

> **BUTTLES HOLLI M LOVELESS** 5608 CANADA CT ROCKWALL, TX 75032

5610 CAMBRIA DR ROCKWALL, TX 75032

5611 CAMBRIA DR ROCKWALL, TX 75032

SANCHEZ DIANA AND JERRY 5614 CAMBRIA DRIVE ROCKWALL, TX 75032

**BLOCKER LINDA SUE** 5601 YACHT CLUB DRIVE ROCKWALL, TX 75032

WOMACK NATALIE AND JACOB BAYS 5602 YACHT CLUB DRIVE ROCKWALL, TX 75032

DUDLEY KAREN 5604 CAMBRIA DRIVE ROCKWALL, TX 75032

WANDREY ERIN 5605 CAMBRIA DRIVE ROCKWALL, TX 75032

ZENGLER J R AND BARBARA 5606 CANADA COURT ROCKWALL, TX 75087

CHAVEZ JAIME AND SENONA 5607 CAMBRIA DR ROCKWALL, TX 75032

> **ROBERTSON JEANNINE** 5608 YACHT CLUB ROCKWALL, TX 75032

ROBISON AARON AND AMY M 5610 CANADA CT ROCKWALL, TX 75032

FUENTES GERARDO & GENISE 5612 CAMBRIA DRIVE ROCKWALL, TX 75032

> **ELLIOTT LARRY & MARY** 5616 CAMBRIA DR ROCKWALL, TX 75032

WHITE DAVID RANDALL

**T & B FAMILY LIMITED PARTNERSHIP** 

PROFFER PAUL D & CAROL W

AUSBURN CHARLES NEAL

BAILEY KENNETH R & DEBBIE A 5618 CAMBRIA DRIVE ROCKWALL, TX 75032

> COOPER NEAL B 5624 CAMBRIA DR ROCKWALL, TX 75032

WEST JAKE EDWARD AND RACHEL 5701 YACHT CLUB ROCKWALL, TX 75032

FERGUSON MICHEAL & DEBBIE 5703 RANGER DR ROCKWALL, TX 75032

NOLAN STEPHEN 5704 SOUTHERN CROSS DR ROCKWALL, TX 75032

SORENSEN DEBORAH R & ROBERT S 5705 SOUTHERN CROSS DR ROCKWALL, TX 75032

FURBAY CHARLES EUGENE & ANN ELIZABETH 5706 SOUTHERN CROSS DRIVE ROCKWALL, TX 75032

> GANDY JAMES BRADY & EDNA 5707 YACHT CLUB DRIVE ROCKWALL, TX 75032

PIXLEY SUZANNE AND ANDREA J 5709 SOUTHERN CROSS DR ROCKWALL, TX 75032

VILLAROMAN LEO D MD & MARIA E 5711 RANGER DRIVE ROCKWALL, TX 75032 WONG PAUL C & POLLY W 5620 CAMBRIA DR ROCKWALL, TX 75032

WALLACE JOSHUA RAY AND MANDI LYNN HEATHERLY 5626 CAMBRIA DRIVE ROCKWALL, TX 75032

MATA VICTOR H AND FILOMENA 5702 RANGER DR ROCKWALL, TX 75032

> LANG JOSEPH W III & LISA PAPANICOLAS-LANG 5703 YACHT CLUB DR ROCKWALL, TX 75032

RICHARD J MALAK AND BARBARA E MALAK REVOCABLE LIVING TRUST 5704 YACHT CLUB DRIVE ROCKWALL, TX 75032

> SCHUMANN SHERRY 5705 YACHT CLUB DR ROCKWALL, TX 75032

GARCIA NAVARRO ANA V 5707 RANGER DR ROCKWALL, TX 75032

LAM PROPERTY 5708 SOUTHERN CROSS DR ROCKWALL, TX 75032

WRIGHTSON DAVID J SR 5709 YACHT CLUB DR ROCKWALL, TX 75032

POESCHEL MARK & AURORA 5711 SOUTHERN CROSS DR ROCKWALL, TX 75032 UTHLAUT WILLIAM S 5622 CAMBRIA DR ROCKWALL, TX 75032

ARNOLD TIMOTHY S AND SHELLEY R 5700 RANGER DR ROCKWALL, TX 75032

> OWEN DONALD H 5702 SOUTHERN CROSS ROCKWALL, TX 75032

COGGESHALL LON CHRISTIAN 5704 RANGER DRIVE ROCKWALL, TX 75032

> LAROUX TONI D 5705 RANGER DR ROCKWALL, TX 75032

CROUCH DANIEL AND CHRISTINA 5706 RANGER DR ROCKWALL, TX 75032

KING SHILA 5707 SOUTHERN CROSS DRIVE ROCKWALL, TX 75032

> REYNOLDS TIM A 5709 RANGER DR ROCKWALL, TX 75032

DEFRANCO JOHN 5710 SOUTHERN CROSS ROCKWALL, TX 75032

WHITE GUY B AND JESSICA CANTON 5711 YACHT CLUB DRIVE ROCKWALL, TX 75032 LEMASTER MARK & JILL 5712 SOUTHERN CROSS DR ROCKWALL, TX 75032

CURTIN DENIS ELLIOT 5715 RANGER DR ROCKWALL, TX 75032

CHESNA THOMAS E & VICTORIA D CHESNA LIVING TR 5720 SOUTHERN CROSS DR ROCKWALL, TX 75032

COLLICHIO KIMBERLY CULLINS 5801 RANGER DR ROCKWALL, TX 75032

> LAQUEY DIANA 5803 RANGER DR ROCKWALL, TX 75032

2019-1 IH BORROWER LP 5804 YACHT CLUB DR ROCKWALL, TX 75032

INMAN CAROL AND DANNY REVOCABLE TRUST DANNY DALE INMAN & CAROL ANNETTE CO-TRUSTEES 5806 CONSTELLATION ROCKWALL, TX 75032

> CORDILLERA INTERNATIONAL LLC 5807 YACHT CLUB DR ROCKWALL, TX 75032

> > CAMPOS RUBEN 5809 RANGER DR ROCKWALL, TX 75032

MARTIN JEFFREY & SUSAN KENNEDY 5810 CONSTELLATION CIR ROCKWALL, TX 75032 BOWERS WILLIAM AND STEPHANIE 5713 RANGER DR ROCKWALL, TX 75032

JENNISON FAMILY HOMESTEAD TRUST JEROME R JENNISON AND NANCY E JENNISON-TRUSTEES 5716 SOUTHERN CROSS DRIVE ROCKWALL, TX 75032

> BRANCO ANTHONY J 5731 SOUTHERN CROSS DR ROCKWALL, TX 75032

> > BIXLER JOY S 5801 YACHT CLUB DR ROCKWALL, TX 75032

WRIGHTSON DAVID J SR 5803 YACHT CLUB DR ROCKWALL, TX 75032

MARQUES LILIAN 5805 RANGER DRIVE ROCKWALL, TX 75032

HUMES JENNIFER 5806 YACHT CLUB DRIVE ROCKWALL, TX 75032

RAINS DAVID & BILLIE 5808 CONSTELLATION CIR ROCKWALL, TX 75032

ROJAS SAMUEL AND SANDRA E MORALES LEDESMA 5809 YACHT CLUB DR ROCKWALL, TX 75032

> CATANIA ANTHONY J 5811 YACHT CLUB DR ROCKWALL, TX 75032

RUSHING ROGER D & DEBORAH C 5713 SOUTHERN CROSS DR ROCKWALL, TX 75032

FRANCE COURT PROPERTIES LLC 5720 SOUTHERN CROSS DR ROCKWALL, TX 75032

WITT CAROLINE L 5735 SOUTHERN CROSS DRIVE ROCKWALL, TX 75032

ALVARADO PAUL AND ELSA 5802 CONSTELLATION CIR ROCKWALL, TX 75032

WRIGHTSON DAVID J & LUCY S 5803 YACHT CLUB DR ROCKWALL, TX 75032

MINCKLER JOSEPH M & INGRID E 5805 YACHT CLUB DR ROCKWALL, TX 75032

> ARCE JEAN PAUL 5807 RANGER DR ROCKWALL, TX 75032

LANG NICOLE 5808 YACHT CLUB DR ROCKWALL, TX 75032

STROUD SUZETTE AND LINA NIKOLE SWIZE 581 LOUDER WAY FATE, TX 75087

SEALS SCOTT RYAN AND SHANNA LOUISE 5812 CONSTELLATION CIR ROCKWALL, TX 75032 DEMAGGIO ANNEMIEKE W & ANTHONY J 5813 CONSTELLATION CIR ROCKWALL, TX 75032

OLIVARES JAIRO R AND MARIBEL C **5816 CONSTELLATION CIRCLE** ROCKWALL, TX 75032

> PALMER VANDI 5901 RANGER DR ROCKWALL, TX 75032

> SLATON CAREN M 5902 YACHT CLUB DR ROCKWALL, TX 75032

HENDRICKS LORI L **5903 VOLUNTEER PLACE** ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA 5904 YACHT CLUB DR ROCKWALL, TX 75032

NEWCOMER JORDAN AND DARA 5905 VOLUNTEER PLACE ROCKWALL, TX 75032

> **BRYAN CARRIE WADE** 5907 SCEPTRE DR ROCKWALL, TX 75032

DAHL MICHAEL K & SHEILA **5908 SCEPTRE DRIVE** ROCKWALL, TX 75032

> ULMEN PEGGY SUE **5909 VOLUNTEER PL** ROCKWALL, TX 75032

RAND PARTNERS LP 5813 YACHT CLUB DR ROCKWALL, TX 75032

DICKSTEIN JUSTIN 5817 CONSTELLATION CIR ROCKWALL, TX 75032

**BRIGHT ANDREA STEFANIE SCHMAZ AND** CHRISTOPHER COLIN KATO **5901 SCEPTRE DRIVE** ROCKWALL, TX 75032

> PIERCE D F 5903 RANGER DR ROCKWALL, TX 75032

MANN ERIK 5903 YACHT CLUB DR ROCKWALL, TX 75032

WILLIS TOMMY LEE 5905 RANGER DR ROCKWALL, TX 75032

5906 SCEPTRE DR

**5907 VOLUNTEER PL** ROCKWALL, TX 75032

TURNER LESLIE D 5908 YACHT CLUB DR ROCKWALL, TX 75032

ROCKWALL, TX 75032

HYVL BRUCE ALAN AND MIRANDA RENEE **5814 CONSTELLATION CIRCLE** ROCKWALL, TX 75032

> PERLITZ S THAD & CYNTHIA A 5818 CONSTELLATION CIR ROCKWALL, TX 75032

ADAR DEVELOPMENT LLC 5901 VOLUNTEER PL ROCKWALL, TX 75032

FIALA MARZENA AND GEORGE 5903 SCEPTRE DR ROCKWALL, TX 75032

MOORE JAMES SETH & KIMBERLY N **5904 SCEPTRE DRIVE** ROCKWALL, TX 75032

> **MILLAGER JOSHUA & KRASSY** 5905 SCEPTRE DR ROCKWALL, TX 75032

> > JONES BRADLEY 5906 YACHT CLUB DR ROCKWALL, TX 75032

CONFIDENTIAL 5907 YACHT CLUB DR ROCKWALL, TX 75032

**GRIMLAND MIKE W AND** WENDY D SMITH 5909 SCEPTRE DR ROCKWALL, TX 75032

MALAK DANIEL & CYNTHIA 5910 SCEPTRE DR ROCKWALL, TX 75032

PHILLIPS KYLONI

**ODELL JEFFERY T & TONYA** 

ROCKWALL, TX 75032

ULMEN PEGGY SUE **5909 VOLUNTEER PLACE**  YANCEY JERRY W & YEA ZONG 5911 SCEPTRE DR ROCKWALL, TX 75032

HALL GLENN D & JUDY K 5913 SCEPTRE DR ROCKWALL, TX 75032

HUNT ROBERT W & MARY E 5915 SCEPTRE DR ROCKWALL, TX 75032

OBENSHAIN LOUISE V 5917 VOLUNTEER PLACE ROCKWALL, TX 75032

FIELDS S A 5920 VOLUNTEER PL ROCKWALL, TX 75032

HEFFERNAN MARILYN 5924 VOLUNTEER PL ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI 5927 VOLUNTEER PL ROCKWALL, TX 75032

LEATHERWOOD CATHY R 5930 VOLUNTEER PLACE ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE 6003 VOLUNTEER PL ROCKWALL, TX 75032

> DEAN ANGIE D & ROY M 6005 VOLUNTEER PL ROCKWALL, TX 75032

SRP SUB, LLC 5911 VOLUNTEER PL ROCKWALL, TX 75032

GRIMES BEVERLY BOYCE 5913 VOLUNTEER PL ROCKWALL, TX 75032

UTHLAUT WILLIAM & JACQUELINE C 5915 VOLUNTEER PLACE ROCKWALL, TX 75032

> ARMSTRONG D 5918 VOLUNTEER PL ROCKWALL, TX 75032

RIVERA ENRIQUE JR AND SAHARA AGUIRRE 5921 VOLUNTEER PL ROCKWALL, TX 75032

SRP SUB, LLC 5925 VOLUNTEER PL ROCKWALL, TX 75032

ALLEN FRANCIS C 5928 VOLUNTEER PL ROCKWALL, TX 75032

HILE CARLA J 6 INTREPID CIR ROCKWALL, TX 75032

KAPILEVICH LEONID & ANNA ZABARSKAYA KAPILEVICH LEONID & ANNA KAPILEVICH FAMILY TRUST 6004 FIELDSTONE DR DALLAS, TX 75252

FUNDARO ANTHONY J AND MARTINA 6007 VOLUNTEER PL ROCKWALL, TX 75032 RABAH MUSTAFA-HASAN AND MILAN 5912 YACHT CLUB DRIVE ROCKWALL, TX 75032

> WYATT RICHARD FRANKLIN 5914 VOLUNTEER PL ROCKWALL, TX 75032

BRANTLEY RITA JANELLE 5916 VOLUNTEER PLACE ROCKWALL, TX 75032

PRICE JASON ALAN 5919 VOLUNTEER PL ROCKWALL, TX 75032

LENOX NANCY H 5922 VOLUNTEER PL ROCKWALL, TX 75032

CONE YVONNE MARIE REVOCABLE LIVING TRUST 5926 VOLUNTEER PL ROCKWALL, TX 75032

> SCHIRATO LISA 5929 VOLUNTEER PLACE ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES 6002 VOLUNTEER PL ROCKWALL, TX 75032

WOOD TERESA E 6004 VOLUNTEER PL ROCKWALL, TX 75032

BEAVERS DEBRA LINN 604 COURAGEOUS DRIVE ROCKWALL, TX 75032 TONOLI KEITH M & ROSEMARY E 604 SEVERIGE CT ROCKWALL, TX 75032

> HILL KENYON B 608 SEVERIGE CT ROCKWALL, TX 75032

HALLBACK ERIK & ANIKO 610 SEVERIGE CT ROCKWALL, TX 75032

P V REAL ESTATE HOLDINGS SERIES LLC SERIES D 6103 VOLUNTEER PL ROCKWALL, TX 75032

> GOVE CHRISTOPHER AND SHELBY HOLBROOK 6106 VOLUNTEER PLACE ROCKWALL, TX 75032

MARSH ELIZABETH AND JACK 6109 VOLUNTEER PL ROCKWALL, TX 75032

> MAZUR MELISSA 6112 VOLUNTEER PL ROCKWALL, TX 75032

**BLASSINGAME KENNETH E ETUX** 6227 HIGHGATE LN DALLAS, TX 75214

DEVOS FAMILY REVOCABLE LIVING TRUST **DEVOS MARTIN L AND LILY K - TRUSTEES** 627 COURAGEOUS DR ROCKWALL, TX 75032

**CRUTCHFIELD DAVID S & MARY W** 630 COURAGEOUS DR ROCKWALL, TX 75032

LAYENDECKER TIMOTHY P & SHAHLA 605 COURAGEOUS DR ROCKWALL, TX 75032

> MOVE IN & ON LLC 609 BELHAVEN DR ALLEN, TX 75013

DWYER REX W AND AMY 6101 VOLUNTEER PL ROCKWALL, TX 75032

**BALLARD CHRISTOPHER WOLFGANG &** ANDREA NICOLE WARD-BALLARD 6104 VOLUNTEER PL ROCKWALL, TX 75032

> CONFIDENTIAL 6107 VOLUNTEER PL ROCKWALL, TX 75032

**NEAL RYAN & ALLYSON 6110 VOLUNTEER PLACE** ROCKWALL, TX 75032

JOHNSON EARL & ERA WILLIAMS **612 SEVERIGE COURT** ROCKWALL, TX 75032

> ATASHIRANG GHASSEM 623 COURAGEOUS DR ROCKWALL, TX 75032

JOHNSON FAMILY TRUST 628 SHADOW WOOD LN HEATH, TX 75032

MELTON STEVEN C & BEVERLY G 632 COURAGEOUS DR ROCKWALL, TX 75032

LANGER RALPH ETUX 606 SEVERIGE CT ROCKWALL, TX 75032

MARSHALL LISA AND WILLIAM C 609 COURAGEOUS DR ROCKWALL, TX 75032

> MACALIK OTTO JEFFREY 6102 VOLUNTEER PL ROCKWALL, TX 75032

MENNUCCI SCOTT AND CALLIE T **6105 VOLUNTEER PLACE** ROCKWALL, TX 75032

DRAPER CHARLES E & JANICE M 6108 VOLUNTEER PL ROCKWALL, TX 75032

> **BROWN BRYAN K** 6111 VOLUNTEER PL ROCKWALL, TX 75032

CONSOLIDATED SYSTEMS INC 6220 GASTON AVE STE 700 DALLAS, TX 75214

HUMES GEORGE D & MARY A 624 COURAGEOUS DR ROCKWALL, TX 75032

> JUAREZ JAIME L 629 COURAGEOUS DR ROCKWALL, TX 75032

> PARKHILL ESTATES LLC 633 COURAGEOUS DR ROCKWALL, TX 75032

PAWLEY RAYMOND W 634 COURAGEOUS DR ROCKWALL, TX 75032

UTHLAUT WILLIAM S 6540 BROADWAY BLVD GARLAND, TX 75043

**DEFORD ERA JANE 7 INTREPID CIRCLE** ROCKWALL, TX 75032

RAMSEY TERESA GALE AND LORI RAMSEY 7047 LAVISTA DRIVE DALLAS, TX 75214

**GKD PROPERTIES LLC** 732 AVALON DRIVE HEATH, TX 75032

OYHARCABAL HENRY A 783 17TH AVE SAN FRANCISCO, CA 94121

PROSEK SHERI 803 VILLAGE GREEN DR ROCKWALL, TX 75087

KING JON JOSHUA **805 SAHARA DRIVE GREENVILLE, TX 75402** 

MCHALE JOHN D JR 825 PROMISE DR HEATH, TX 75126

SRP SUB, LLC 8665 EAST HARTFORD DRIVE SUITE 200 SCOTTSDALE, AZ 85255

LACORTE PASQUALE JR AND LANEY LACORTE 635 COURAGEOUS DRIVE ROCKWALL, TX 75032

> STITES TOM 6707 TULIP LN DALLAS, TX 75230

STIEGELMAR RICHARD L AND DORA L 7 MAGNOLIA DR MEXICO BEACH, FL 32456

> STAMPS GAYLON JR 7120 SPRING VALLEY RD DALLAS, TX 75254

ROCK SOUTH INVESTMENTS LTD. A TEXAS LIMITED PARTNERSHIP 756 RIDGE HOLLOW RD ROCKWALL, TX 75032

> E C LIVING LLC 7926 ENCLAVE WAY DALLAS, TX 75218

**BROWN NIGEL M.H.O.** 8039 WESTOVER DR DALLAS, TX 75231

**811 EAGLE PASS** HEATH, TX 75032

8545 MIDWAY RD DALLAS, TX 75209

WIZMANN ERIC & DALE 8949 PINE NEEDLES CT RIVERSIDE, CA 92508

HAYS DANNY W AND JOAN A **639 STAFFORD CIRCLE** ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC 7 GREENBELT ROCKWALL, TX 75032

JONES W GRIFFIN & BARBARA STEWART JONES 701 YACHT CLUB DR ROCKWALL, TX 75032

VELASCO ALEJANDRO PORTOCARRERO AND **STEPHANIE G ARAMAYO** 7205 STONE MEADOW CIR ROWLETT, TX 75088

PATTERSON WILLIAM L JR AND DWAYLA L **REVOCABLE LIVING TRUST** 782 HANOVER DR ROCKWALL, TX 75087

LEMON DONALD J AND CAROLYN S **8 INTREPID CIRCLE** ROCKWALL, TX 75032

> ARMSTRONG D **804 EAGLE PASS** HEATH, TX 75032

EZEROSKY BRENNA KERI 8209 PRAIRIE RYE DR LAGO VISTA, TX 78645

ESPARZA KRISTIN 8565 PLAINFIELD ROAD LYONS, IL 60534

SEIBERT PETE **9 INTREPID CIR** ROCKWALL, TX 75032

PALMER VANDI

STARNES KIMBERLY DAWN

ESTRERA AARON S ETUX 9011 CLEARHURST DR DALLAS, TX 75238

CHOATE ELAINE MARGARET REVOCABLE LIVING TRUST 963 W YELLOWJACKET LN APT 302 ROCKWALL, TX 75087

> ENGEL MARIA 994 GREEN RIVER RD WAYNESBORO, TN 38485

MCMINN KIMBERLY PMB 239 11654 PLAZA AMERICA DR RESTON, VA 20190

> KJT FLYING PROPERTIES LLC PO BOX 1476 ROCKWALL, TX 75087

FREDERIKSEN JOHN C & ARLENE C REV LIV TR JOHN C & ARLENE C FREDERIKSEN TRUSTEES 212 HENRY M CHANDLERDR ROCKWALL, TX 75032

> **VIERLING DENNIS & LISA** PO BOX 1506 ROCKWALL, TX 75087

MACALIK OTTO JEFFREY PO BOX 2110 ROCKWALL, TX 75087

**HOWELL STEVE & SHARON** PO BOX 397 CRANDALL, TX 75114

> **DEVILL HOMES INC** PO BOX 764166 DALLAS, TX 75376

KAPRANTZAS ENTERPRISES LLC 904 E DAVIS ST. 400 MESQUITE, TX 75149

> ARA MANAGEMENT LLC 9906 LINCOLNSHIRE LN ROCKWALL, TX 75087

SELF BILLY & KATIE C/O PRO SOAP 321 HARBORVIEW DR ROCKWALL, TX 75032

> **KELLEY CYNTHIA JANE IRREVOCABLE FAMILY TRUST PO BOX 109** ROWLETT, TX 75030

KJT FLYING PROPERTIES LLC PO BOX 1476 ROCKWALL, TX 75087

ROMER ENTERPRISES LLC 111 HENRY M CHANDLER DR ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A **PO BOX 156** TERRELL, TX 75160

> **#23 INVESTMENTS LLC** PO BOX 2292 ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC **PO BOX 638** ROCKWALL, TX 75032

> ADAR DEVELOPMENT LLC PO BOX 8141 GREENVILLE, TX 75404

**ROCKWALL HOMES LLC** C/O SAUNDRA HOLLAND 909 CULLINS RD ROCKWALL, TX 75032

DEVOS FAMILY REVOCABLE LIVING TRUST **DEVOS MARTIN L AND LILY K - TRUSTEES** 9929 COPPEDGE LN DALLAS, TX 75220

MCKINSTRY FRITZ AND KATHY LIVING TRUST P.O. BOX 2195 TELLURIDE, CO 81435

> OTTEN STEVEN E PO BOX 1281 TERRELL, TX 75160

N & S PROPERTIES LLC **114 HENRY M CHANDLERDR** ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC PO BOX 1476 ROCKWALL, TX 75087

WRAY ENTERPRISES LLC **PO BOX 189** KOLOA, HI 96756

WHITTLE & JOHNSON CUSTOM HOMES INC PO BOX 369 ROCKWALL, TX 75087

> RUSH MAJOR PO BOX 760794 GARLAND, TX 75046

RAND PARTNERS LP PO BOX B TERRELL, TX 75160

MONTONEY LAUREN D 5455 RANGER DR ROCKWALL, TX 75032 VANDIGRIFF VICTORIA LYNN 5457 RANGER DR ROCKWALL, TX 75032 MARTIN LAKESHORE PROPERTIES LLC 546 YACHT CLUB DR ROCKWALL, TX 75032

SOLOMON MARION C 5461 RANGER DR ROCKWALL, TX 75032 GIBSON JEANETTE L 548 YACHT CLUB DR ROCKWALL, TX 75032 BYRD MANUEL NICKLOUS & EVA RHINE 550 YACHT CLUB ROCKWALL, TX 75032 June 18, 2021

Mr. Ryan Miller City of Rockwall Director of Planning 385 Goliad St Rockwall, TX 75087

# **RE:** Letter of Intent to amend the zoning within PD-08, Ordinance 92-39, a Single Family Planned Development near the entrance to Chandler's Landing Marina

Dear Mr. Miller,

This is a summary outlining the proposed changes to PD-08 for the approximate 6.88 acre tract of land on Henry M. Chandler Parkway. We have been evaluating this site for over 18 months now, with an obvious delay in 2020 due to the Pandemic. Recently we furthered our discussions with the Chandler's Landing HOA Environmental Committee and Board Members in hopes to work with them on our proposal. We've received great feedback so far, and we have more meetings scheduled in the coming weeks so that we can continue to share our vision for the site development with our neighbors and their leadership. One of the biggest challenges to this site is management of the topography as it relates to civil engineering and meeting the height requirements of each lot as set forth in the current PD-08, Ordinance 92-39 Section D. We believe we are on a path to meet these challenges, and as such, are now prepared to make this submittal requesting a zoning change. We desire to have a project that will be a welcomed addition to the City of Rockwall and the Chandler's Landing Lakeside Atmosphere.

A summary of the proposal is as follows:

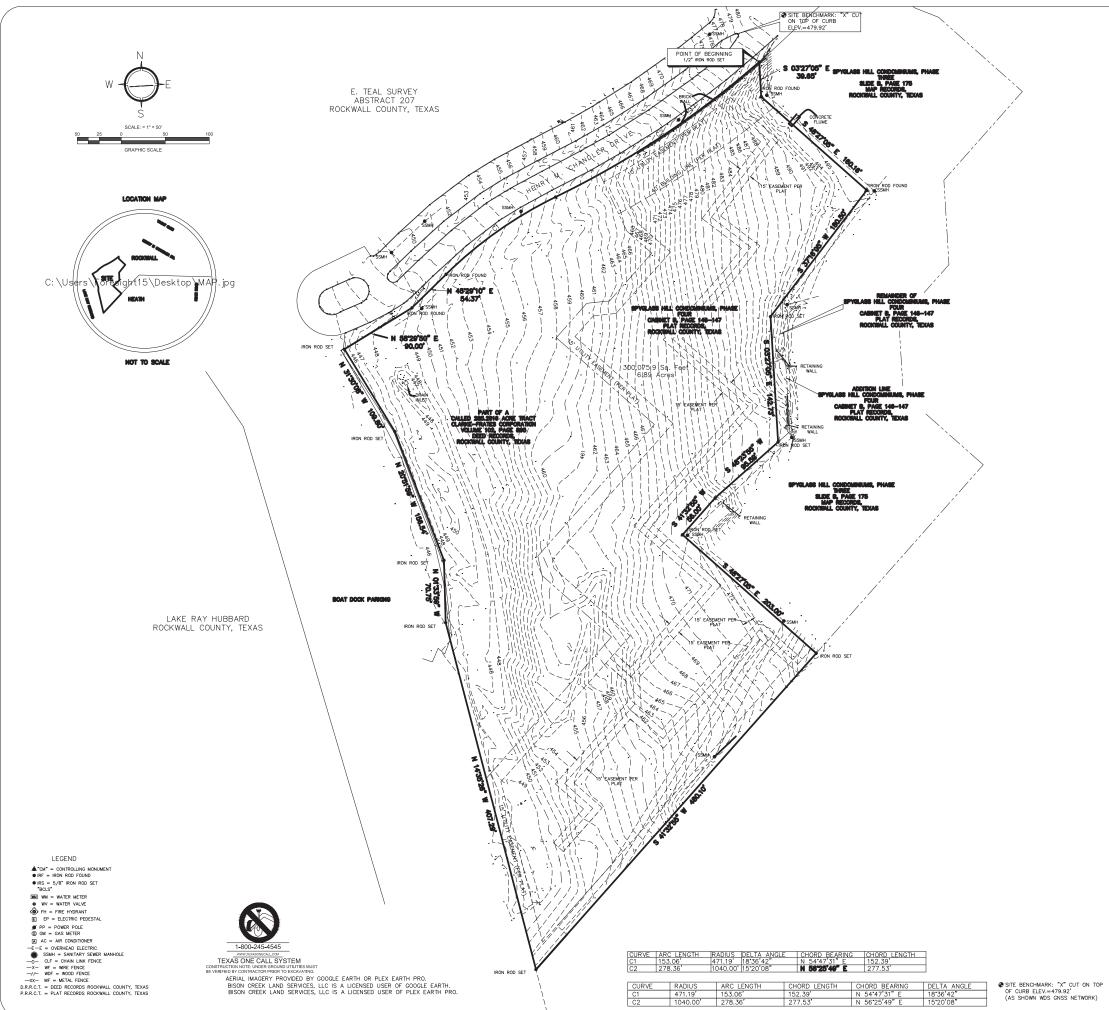
- The number of lots remains at 36
- The open space on the property increases from 0% to over 20%
- It will have a divided, gated main entry with a median cut for a left turn lane
- There will be a gated exit at the secondary access point, which will also be used as a Fire Emergency entrance as needed
- The streets will be private and maintained by the HOA
- This Subdivision will be governed by the Umbrella HOA of Chandler's Landing

We believe this proposed plan will better conform to the Comprehensive Plan for the City of Rockwall and we look forward to future discussions with City Staff, P&Z, and City Council in the coming months. Please contact me with any comments or questions.

Regards,

2, Lo

Troy Lewis Newstream Capital Partners



METES AND BOUNDS STATE OF TEXAS COUNTY OF ROCKWALL All that certain lot, tract or percel of land shuched in the E. Ted Survey, Abstract the 2000 and Research, Readwall County, Teace and Bahra a pert of that 2000 and the second a connegated Readwall County, Teace and Bahra a pert of Survey Abstract Page 805, Deal Research, Readwall County, Teace, and bahra pert of Survey Abstract Readwall County, Teace and being more performed in values pert of Survey Abstract Readwall County, Teace and being more performing a new for the Plat Records, Rockwall County, Teace and being more performers, end addition to the City of Rechard, Teace, as recorded in Cabhe B, Steel 160-147 of the Plat Records, Rockwall County, Teace and being more performers, end addition to the City of Rechard, Teace, as recorded in Side B, Pege 175, Mag Records, Rockwall County, Teace, a 1/2 Inch for not est for corner; Suth 05 degrees 27 minutes 05 seconds East, a distance of 30.05 feat to a 1/2 Inch from red found for corner; Buth 50 degrees 16 minutes 05 seconds East, a distance of 180.16 feat to a 1/2 Inch from red found for corner; Buth 30 degrees 17 minutes 05 seconds East, a distance of 180.50 feat to a 1/2 Inch from red found for corner; Buth 30 degrees 27 minutes 05 seconds East, a distance of 180.50 feat to a 1/2 Inch from red form for corner; Buth 61 degrees 32 minutes 55 seconds West, a distance of 95.00 feat to a 1/2 Inch from red form for corner; Buth 64 degrees 32 minutes 55 seconds West, a distance of 96.00 feat to a 1/2 Inch from red found for corner; Buth 64 degrees 32 minutes 55 seconds West, a distance of 96.00 feat to a 1/2 Inch from red found for corner; Buth 64 degrees 32 minutes 55 seconds West, a distance of 90.720 feat to 1/2 Inch from red found for corner; Buth 64 degrees 32 minutes 55 seconds West, a distance of 90.720 feat to 1/2 Inch from red feat for corner; Buth 64 degrees 33 minutes 55 seconds West, a distance of 90.720 feat to 1/2 Inch from red feat for corner; Buth 64 degrees 35 minutes 58 seconds West, a distance of	BOUNDARY SURVEY A 6480 ACHE TRACT OF LAND STUATED DF ROCKWALL ROCKWALL COUNTY, TEXAS IFTAL SURVEY, ABSTRACT PRESSIN-CREEK COM FIRM LOCKWALL COUNTY, TEXAS FIRM LOCKWALL COUNTY, TEXAS FIRM LOCKWALL COUNTY, TEXAS FIRM LOCKWALL COUNTY, TEXAS
THENCE along sold curve an arc length of 153.06 feet to a 1/2 luch from rod found and being the beginning of a curve to the left heading a canteral angle of 15 degrees 20 minutes 08 seconds and a radius of 1040.00 feet; THENCE along sold curve an arc length of 278.38 feet to the PLACE OF BEGINNING and containing 300,076 square feet or 6.89 acres of land. TO:	CALLED 265,2916 ACRES CALLED 265,2916 ACRES VOLUME 102, PAGE 895 NULL DR.R.C.T. GE 895 BEING A 6.88 AG SPYGLASS HILL CONTOMINUMS, PHASE 4 CABINET 8, SLUES 146–147 CABINET 8, SLUES 146–147 SEMAGE LIC 2444 IMTERIZATION WILL PROPER EXCENT
SURVEY NOTES:         1) Except as shown there are no visible protrusions.         2) Basis of Bearing (3 4872700° E 100.16°) Northeasterly line of Rockwall Maravina Development, LLC fract as recorded in Instrument No. 2011-0046248° OR.PR.C.T.         3) The Surveyor has been provided with the Commitment for Title Insurance described below and has relied upon it for all matters of record affecting the subject property.	OWNER'S NAME ADDRESS ?????, TEXAS
<ul> <li>of record effecting the subject property.</li> <li>TTLE RESOURCRES GUARANTY COMPANY Gr. No. RT/1557R</li> <li>Effective Date: June 21, 2017 Issued: July 18, 2017</li> <li>SUBJECT TO THE FOLLOWING:</li> <li>10)</li> <li>b. Easements and building lines as shown on Plot recorded in Cabinet 8, Envelope 146, Plot Records, Rockwall County, Texas.</li> <li>c. Easement deted August 1, 1976, from Clarts-Frates Corporation to City of Rockwall recorded in Volume 118, Page 37, Deed Records, Rockwall County, Texas.</li> <li>d. Easement deted August 1, 1976, from Clarts-Frates Corporation to City of Rockwall recorded in Volume 118, Page 60, Deed Records, Rockwall County, Texas.</li> <li>e. Easement deted August 1, 1978, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 169, Page 520, Deed Records, Rockwall County, Texas.</li> <li>f. Easement deted November 17, 1982, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 169, Page 520, Deed Records, Rockwall County, Texas.</li> <li>f. Easement deted November 17, 1982, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 169, Page 522, Deed Records, Rockwall County, Texas.</li> <li>g. Easement deted November 22, 1982, from American Condominium Corporation of Texas to City of Rockwall recorded in Volume 169, Page 522, Deed Records, Rockwall County, Texas.</li> <li>g. Easement deted November 22, 1982, from American Condominium Corporation of Texas to Stoner Communications recorded in Volume 168, Page 172, Deed Records, Rockwall County, Texas.</li> </ul>	Contraction of the second seco





36 CUSTOM TOWNHOMES ON LAKE RAY HUBBARD

CONCEPT PLAN

SAGE GROUP, INC. Master Planning Master Planning Architecture Landscape Architecture 1130 N. Carroll Ave., See 2000 Stell: 817-424-2626

# **CITY OF ROCKWALL**

# ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL. TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE PLANNED DEVELOPMENT CONCEPT PLAND AND DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 92-39, BEING A 6.88-ACRE TRACT OF LAND IDENTIFIED AS LOT 4, BLOCK A, SPYGLASS HILL #4 ADDITION AND TRACT 134-12 OF THE E. TEAL SURVEY ABSTRACT NO 207, CITY OF ROCKWALL, ROCKWALL COUNTY. TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR PROVIDING EACH OFFENSE: FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; **PROVIDING FOR AN EFFECTIVE DATE.** 

WHEREAS, the City has received a request by Troy Newstream Capital Partners for an amendment to the *Planned Development Concept Plan* and *Development Standards* contained within Planned Development District 8 (PD-8) [Ordinance No. 92-39], for a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

# NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.* 92-39;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the Subject Property;

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b*) *through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (except as set forth below with regard to simultaneous processing and approvals). The City Council shall act on an application for a Master Parks and Open Space Plan in accordance with the time period specified in Section 212.009 of the Texas Local Government Code.
  - (1) Preliminary Plat
     (2) PD Site Plan
     (3) Final Plat
- (c) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit* 'C' of this ordinance, shall be submitted and shall include a *Treescape Plan* for the area being platted.
- (d) PD Site Plan. A PD Site Plan for each phase of the development of the Subject Property, as depicted in Exhibit 'C' of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A PD Site Plan application may be processed by the City concurrently with a Final Plat application for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF AUGUST, 2021.

ATTEST:	Kevin Fowler, Mayor
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 <sup>st</sup> Reading: <u>July 19, 2021</u> 2 <sup>nd</sup> Reading: <u>August 2, 2021</u>	

# Exhibit 'A':

## Legal Description

*BEING* a tract of land situated in the E. *TEAL SURVEY, ABSTRACT NO. 207*, City of Rockwall, Rockwall County, Texas, and being a part of that 285.2916-acre tract as conveyed to Clarke-Frates Corporation, as recorded in Volume 102, Page 895, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a point on the South line of Henry M. Chandler Drive, said point being the Northwest corner of Spyglass Hill Condominiums, Phase Three, an addition to the City of Rockwall, as recorded in Slide B, page 175, Map Records, Rockwall County, Texas, a ½" iron stake set for corner;

THENCE Along the Westerly lines of said Spyglass Hill Condominiums, the following:

South 03 deg. 27' 05" East a distance of 39.65 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 48 deg. 27' 05" East a distance of 160.16 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 37 deg. 16' 05" West a distance of 180.50 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 03 deg. 27' 05" East a distance of 142.73 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 48 deg. 23' 55" West a distance of 95.59 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 41 deg. 23' 55" West a distance of 56.00 feet to a  $\frac{1}{2}$ " iron stake set for corner; South 48 deg. 27' 05" East a distance of 203.00 feet to a  $\frac{1}{2}$ " iron stake set for a corner;

*THENCE* South 41 deg. 32' 55" West, along the Northerly line of Windward Slope Addition, and addition to the city of Heath, Rockwall County, Texas, a distance of 480.10 feet to a  $\frac{1}{2}$ " iron stake found for corner;

THENCE North 14 deg. 35' 26" West, a distance of 407.29 feet to a 1/2" iron stake set for corner;

THENCE North 1 deg. 33' 59" West a distance of 70.75 feet to a 1/2" iron stake set for corner;

THENCE North 20 deg. 51' 59" West a distance of 156.54 feet to a 1/2" iron stake set for corner;

THENCE North 31 deg. 30' 08" West a distance of 109.80 feet to a ½" iron stake found for corner;

THENCE along the Southerly line of Henry M. Chandler Drive, the following:

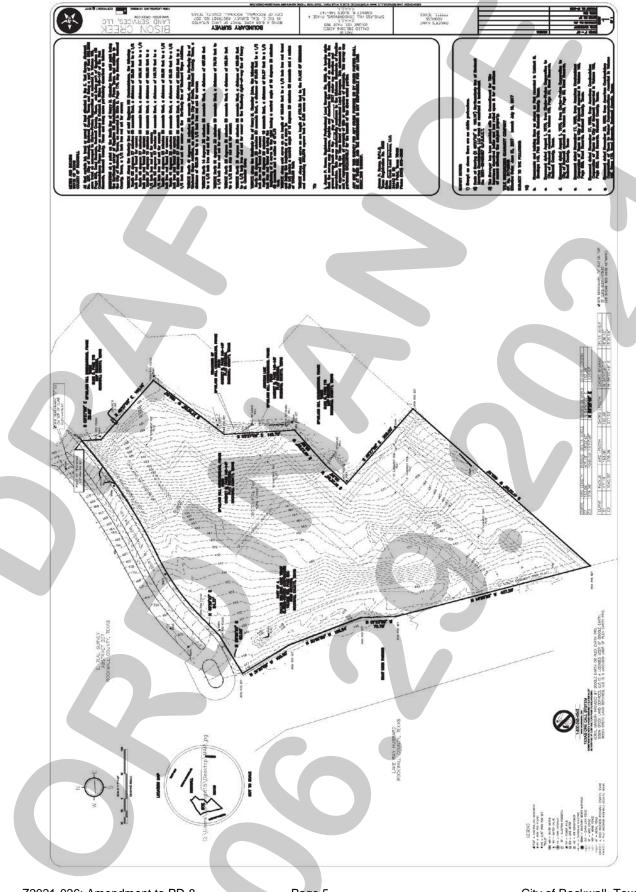
North 58 deg. 29' 50" East a distance of 90.00 feet to a 1/2" iron stake set for corner;

North 45 deg. 29' 10" East a distance of 54.37 feet to the beginning of a curve to the right having a central angle of 18 deg. 36' 41", and a radius of 471.19 feet, a ½" iron stake set for corner;

Around said curve, a distance of 153.06 feet to the beginning of a curve to the left having a central angle of 15 deg. 20' and a radius of 1,040.00 feet, a  $\frac{1}{2}$ " iron stake set for corner;

Around said curve a distance of 278.32 feet to the *PLACE OF BEGINNING* and containing 6.88 acres of land. This description is based on the Land Title Survey and Plat made by Kenneth E. Brown, Registered Professional Land Surveyor on February 25, 1992.

# Exhibit 'B': Survey



Z2021-026: Amendment to PD-8 Ordinance No. 21-XX; PD-8

City of Rockwall, Texas



# Exhibit 'D':

# Density and Development Standards

# PD Development Standards.

- (1) <u>Permitted Uses</u>. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Two Family (2F) District, as stipulated by the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on the Subject Property; however, the following additional land uses shall be permitted by-right.
  - ☑ Townhomes/Townhouses
- (2) <u>Density and Dimensional Standards</u>. Unless specifically provided by this Planned Development ordinance, any development on the Subject Property shall be subject to the density and dimensional requirements required for a Two Family (2F) District, as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, the maximum permissible density for the Subject Property shall be <u>5.23</u> dwelling units per gross acre of land; however, in no case should the proposed development exceed 36-units. All development on the Subject Property shall conform to the standards stipulated by Table 2: Lot Dimensional Requirements below, and generally conform to the lot layout depicted in Exhibit 'B' of this ordinance.

# Table 2: Lot Dimensional Requirements

	Minimum Lot Width	30'
	Minimum Lot Depth	100'
	Minimum Lot Area	3,000 SF
	Minimum Front Yard Setback <sup>(1)</sup>	20'
	Minimum Side Yard Setback <sup>(2)</sup>	0'/25'
	Minimum Side Yard Setback (Adjacent to a Street)	15'
	Minimum Length of Driveway Pavement from Front Property Line	25'
	Maximum Height <sup>(3)</sup>	30'
	Minimum Rear Yard Setback	10'
	Minimum Area/Dwelling Unit (SF) [Sum of All Floor Area's]	1,900 SF
ľ	Maximum Lot Coverage	90%

## General Notes:

- Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to five (5) feet for any property; however, the encroachment shall not exceed five (5) feet on Side Yard Setbacks where appropriate for such use and shall not encroach into the private right-of-way.
- <sup>2</sup>: The side yard setback on the attached side maybe zero (0) if directly abutting a structure on an adjacent lot.
- <sup>3</sup>: The Maximum Height shall be measured to the midpoint of the roof of the single-family home, and in no case should any home exceed an elevation of 500-feet above sea level.
- (3) <u>Garage Orientation</u>. Garages shall be permitted to be forward facing (*i.e. facing onto the private street in a flat front entry configuration*) with a minimum driveway length of 25-feet.
- (4) <u>Building Standards</u>. The building elevations shall differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback, and shall conform to the following requirements:

# Exhibit 'D':

### Density and Development Standards

- (i) <u>Masonry Requirements</u>. The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. HardiBoard or Hardy Plank) and, stucco (i.e. three [3] part stucco or a comparable -- to be determined by staff) may be used for up to 50% of the exterior of the building and shall be limited to the anti-monotony restrictions as outlined in this ordinance.
- (ii) <u>Roof Design Requirements</u>. All buildings shall be designed such that no roof mounted mechanical equipment (*i.e. HVAC, satellite, vents, etc.*) shall be visible from any direction.

<u>Note:</u> Screening of mechanical equipment is necessary for all equipment regardless of location (*i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site*).

- (iii) <u>Architectural Requirements</u>. All units shall be architecturally finished on all sides of the building with the same materials, detailing and features.
- (5) <u>Anti-Monotony Restrictions</u>. All development shall adhere to the following anti-monotony restrictions:
  - (i) Identical brick blends, paint colors and, cementaceous products (*i.e. Hardy Plank lap siding, etc.*) may not occur on adjacent (*i.e. side-by-side*) properties within the development without at least two (2) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.
  - (ii) Front building elevations shall not repeat along any block face without at least two (2) intervening homes of differing appearance on the same block face within the development.
  - (iii) The rear elevation of homes shall not repeat without at least two (2) (*i.e. side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
    - a) Front Encroachment (*i.e. Porch and/or Sunroom*) Type and Layout
    - b) Roof Type and Layout
    - c) Articulation of the Front Façade
    - *d*) Differing Primary Exterior Materials
- (6) Landscaping Standards.
  - (i) <u>Landscape Requirements</u>. Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of four (4) caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of four (4) feet in total height.
  - (ii) <u>Landscape Buffers</u>. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Henry M. Chandler Drive, and shall incorporate a minimum of one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.

# Exhibit 'D':

### Density and Development Standards

- (iii) <u>Irrigation Requirements</u>. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.
- (7) <u>Trash Dumpster Enclosure</u>. If proposed trash dumpster enclosures shall be four (4) sided, with eight (8) foot walls constructed and cladded with materials matching the primary structures of the townhomes, and have a self-latching opaque gate. All trash dumpster enclosures shall be internal to the site and not be situated within any established building setbacks or landscape buffers.
- (8) <u>Fence Standards</u>. All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (9) <u>Open Space</u>. A minimum of 20% open space shall be provided which generally conforms to the Concept Plan contained in Exhibit 'B' of this ordinance. The Homeowner's Association (HOA) shall be responsible for maintaining all open space areas.
- (10) <u>Private Right-of-Way</u>. The proposed private right-of-way shall incorporate a minimum of a 29-foot back-to-back concrete street built to the City's standards.
- (11) <u>Homeowner's Association (HOA)</u>. A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of Section 38-15 of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, open space and common areas, irrigation, landscaping, screening fences and the private roadways, drive aisles and drive approaches for the subject property associated with this development.
- (12) <u>Variances</u>. The variance procedures and standards for approval that are set forth in the UDC shall apply to any application for variances to this ordinance

Page 9



CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	June 29, 2021
APPLICANT:	Aaron Selden
CASE NUMBER:	P2021-033; Lots 1 & 2, Block A, Aaron Selden Addition (ETJ)

# <u>SUMMARY</u>

Discuss and consider a request by Aaron Selden for the approval of a <u>Final Plat</u> for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

# PLAT INFORMATION

- ☑ The applicant is requesting the approval of a <u>Final Plat</u> for a 5.74-acre tract of land, creating Lots 1 & 2, Block A, Aaron Selden Addition, which is identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190 and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ). The purpose of the final plat is to subdivide the subject property into two (2) lots (*i.e.* Lots 1 & 2, Block A, Aaron Selden Addition). The subject property is generally located on the west side of Anna Cade Road in Rockwall County.
- ☑ The proposed final plat is subject to the requirements of Chapter 38, Subdivisions, of the City's Municipal Code of Ordinances, the City's Standards of Design and Construction Manual, and Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, of the Interim Interlocal Agreement between Rockwall County and the City of Rockwall.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall.*

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for *Lots 1 & 2*, *Block A*, *Aaron Selden Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e.* Engineering, Planning and Fire Department) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and,
- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,

(3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-033 Lots 1 & 2, Block A, Aaron Selden Addition 260 ANNA CADE RD. ROCKWALL COUNTY

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Henry Lee	06/25/2021	Approved w/ Comments	

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 Discuss and consider a request by Aaron Selden for the approval of a Final Plat for Lots 1 & 2, Block A, Aaron Selden Addition being a 5.74-acre tract of land identified as Tracts 5-05, 5-06, & 5-12 of the J. Simmons Survey, Abstract No. 190, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 260 Anna Cade Road, and take any action necessary.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2021-033) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan). (§01.02(D), Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§01.02(D), Art. 11, UDC)

M.5 The location of the development is required to be tied to a Rockwall monument, or tie two (2) corners to state plan coordinates (NAD 83 State Plane Texas, North Central [7202], US Survey Feet). Tie two (2) corners to City monumentation. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M.6 Label the building lines where adjacent to a street. (Section (C)(1), Building Setback Requirements Adjacent to a Public Street, Exhibit 'A', ILA)

M.7 Include all of Anna Cade Road as well as the centerline. (Chapter 38, Subdivision Regulations, Municipal Code of Ordinances)

M. 8 Move #7 from the Owner's Certificate to the General Notes on Sheet 1. (Section 5.d, Owner's Certification, of Exhibit 'A', ILA)

M.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions/corrections and return to staff by 3:00 p.m. on

Tuesday, July 6, 2021. When resubmitting, please provide two (2) large copies (18" X 24" FOLDED) and one PDF version for a subsequent review by staff. (§01.02(D), Art. 11, UDC)

I.10 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.

M.11 The plat mylars require a signature by the County Judge. You must obtain the County Judge's signature prior to submitting the plat and all necessary documents (i.e. mylar copies, tax certificate(s), and filing fees) with the City for filing with Rockwall County. (Section (5)(d), Signature Blocks, of Exhibit 'A', ILA)

I.12 The Planning and Zoning Work Session Meeting will be held on June 29, 2021.

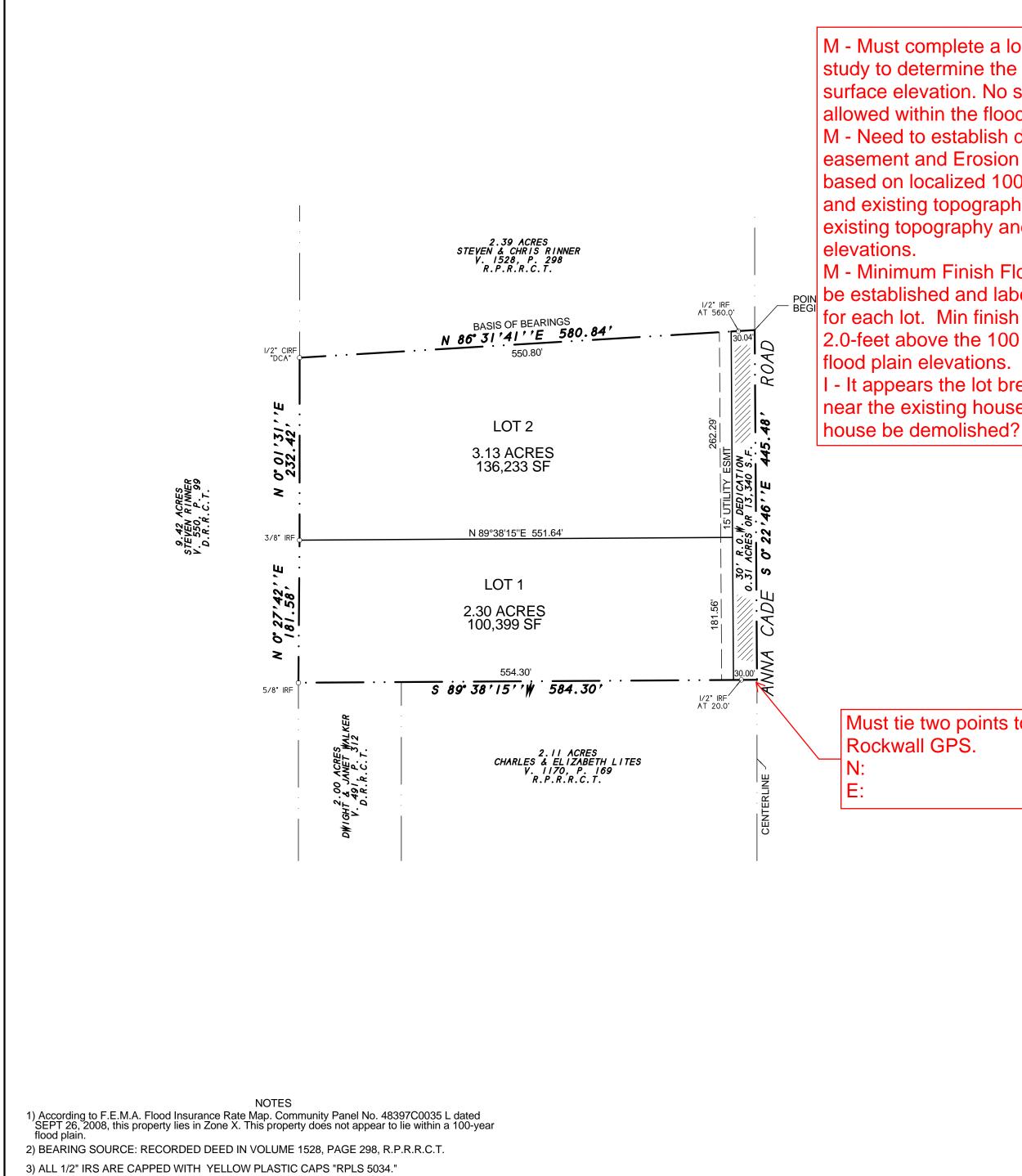
I.13 The Planning and Zoning Regular Meeting will be held on July 13, 2021.

I.14 The City Council meeting for this case is scheduled to be held on July 19, 2020.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review
06/23/2021: M - Must tie two p	oints to Rockwall GPS. N: E:		
M - Must complete a localized f	flood study to determine the 100' year water sur	face elevation. No structure will be allowed within the	e flood elevation.
M - Need to establish drainage elevations.	easement and Erosion hazard setback based o	n localized 100-year flood plain and existing topogra	aphy. Provide existing topography and contour
M - Minimum Finish Floor Eleva	ation shall be established and labeled on the pla	t for each lot. Min finish floor shall be 2.0-feet above	e the 100 year localized flood plain elevations.
I - It appears the lot break will b	be very near the existing house. Will the existing	house be demolished?	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	06/21/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/23/2021	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/21/2021	Approved w/ Comments
06/21/2021: Please add State	Plane Coordinates to two corners.		
(NAD83 State Plane North Cen	tral TX WKID2276 - Grid)		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/21/2021	Approved
06/21/2021: No Commonto			

06/21/2021: No Comments

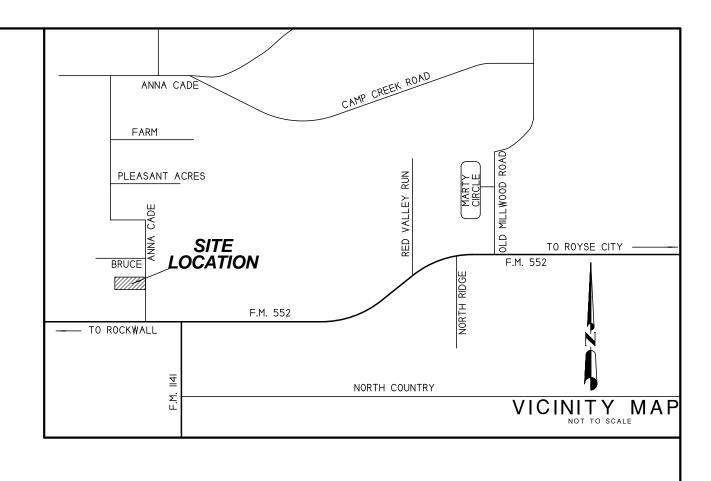


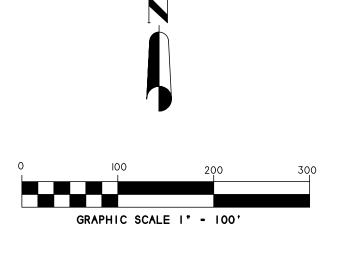
4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.

M - Must complete a localized flood study to determine the 100' year water surface elevation. No structure will be allowed within the flood elevation. M - Need to establish drainage easement and Erosion hazard setback based on localized 100-year flood plain and existing topography. Provide existing topography and contour

M - Minimum Finish Floor Elevation shall BOIN be established and labeled on the plat for each lot. Min finish floor shall be 2.0-feet above the 100 year localized

I - It appears the lot break will be very near the existing house. Will the existing





Must tie two points to

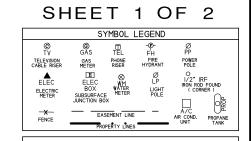
FINAL PLAT

# AARON SELDEN ADDITION LOTS 1 & 2, BLOCK A

5.74 ACRES OR 249,972 S.F. ( 2 LOTS )

JOHN SIMMONS SURVEY, A-190 IN THE E.T.J. OF CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

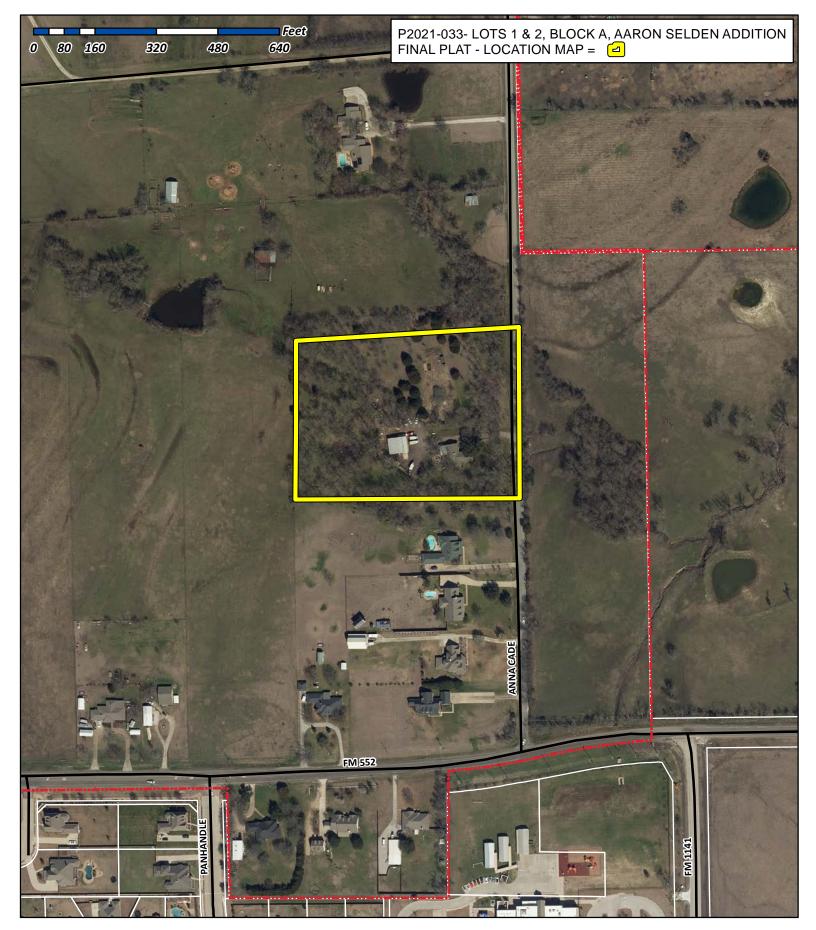
OWNER: AARON SELDEN 260 ANNA CADE ROAD ROCKWALL, TEXAS 75087



SURVEY DATE <u>JUNE 1, 2021</u> SCALE <u>1 - 100</u>' FILE # <u>20062058-FP</u> CLIENT <u>SELDON</u> H.D. Fetty Land Surveyor, LLC 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CASE NO. P2021-

	<b>DEVELOPMENT APPLIC</b> City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ATION		NO. P2021-033 NOT CONSIDERED ACCEPTED BY THE DIRECTOR AND CITY ENGINEER HAVE
PLEASE CHECK THE AF	PROPRIATE BOX BELOW TO INDICATE THE TYPE O	DF DEVELOPMEN	T REQUEST [SELECT ONL	Y ONE BOX]:
PRELIMINARY PL     FINAL PLAT (\$300     REPLAT (\$300.00     AMENDING OR M     PLAT REINSTATE     SITE PLAN APPLICA     SITE PLAN (\$250.)	100.00 + \$15.00 ACRE) <sup>1</sup> AT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 0.00 + \$20.00 ACRE) <sup>1</sup> + \$20.00 ACRE) <sup>1</sup> INOR PLAT (\$150.00) MENT REQUEST (\$100.00) <i>TION FEES:</i>			+ \$15.00 ACRE) 1
PROPERTY INFOR	RMATION [PLEASE PRINT]			
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SUBDIVISION			LOT	BLOCK
GENERAL LOCATION				
	AN AND PLATTING INFORMATION [PLEAK			
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PROPOSED ZONING	RESIDATION	Sector Sector Sector	Land	
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REGARD TO ITS AF	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T PPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF NIAL OF YOUR CASE.			
	NT/AGENT INFORMATION [PLEASE PRINT/CI	<b>V</b>		
OWNER	AARON SELDEN	APPLIC.	1 min a	
CONTACT PERSON	AARON SELDEN		SON AARON O	
ADDRESS	260 ANNA CADE RD.	ADDR	ESS ZLOD AN	NA CADE RD.
CITY, STATE & ZIP	POCKNALL, TY 15087	CITY, STATE &	ZIP ROCKWALL	, TX 75087
	972.322.7282		DNE 972.322	
	ags landscaping up ho. co	E-N	MAIL agsland	scapin & ycho, con
NOTARY VERIFIC		- Aaron	Selden	[OWNER] THE UNDERSIGNED, WHO
SUBMITTED IN CONJUNCTION	AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A , TO COVER THE COST OF THIS APPLICATION, H , 20 2 3 BY SIGNING THIS APPLICATION, I AGR WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ON WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	AS BEEN PAID TO TH REE THAT THE CITY S ALSO AUTHORIZE	IE CITY OF ROCKWALL ON THI OF ROCKWALL (I.E. "CITY") IS D AND PERMITTED TO REPF	S THE
GIVEN UNDER MY HAND A	ND SEAL OF OFFICE ON THIS THE DAY OF	use,	20_21	TANYA BUEHLER
	OWNER'S SIGNATURE	P		Notary Public
NOTARY PUBLIC IN AND F	OR THE STATE OF TEXAS	m	MY	My Comm. Exp. MAR. 10, 2025
DEVELOPMEN	IT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOL	IAD STREET • ROC	KWALL, TX 75087 • [P] (972)	)771-7745 • [F] (972)771-7727



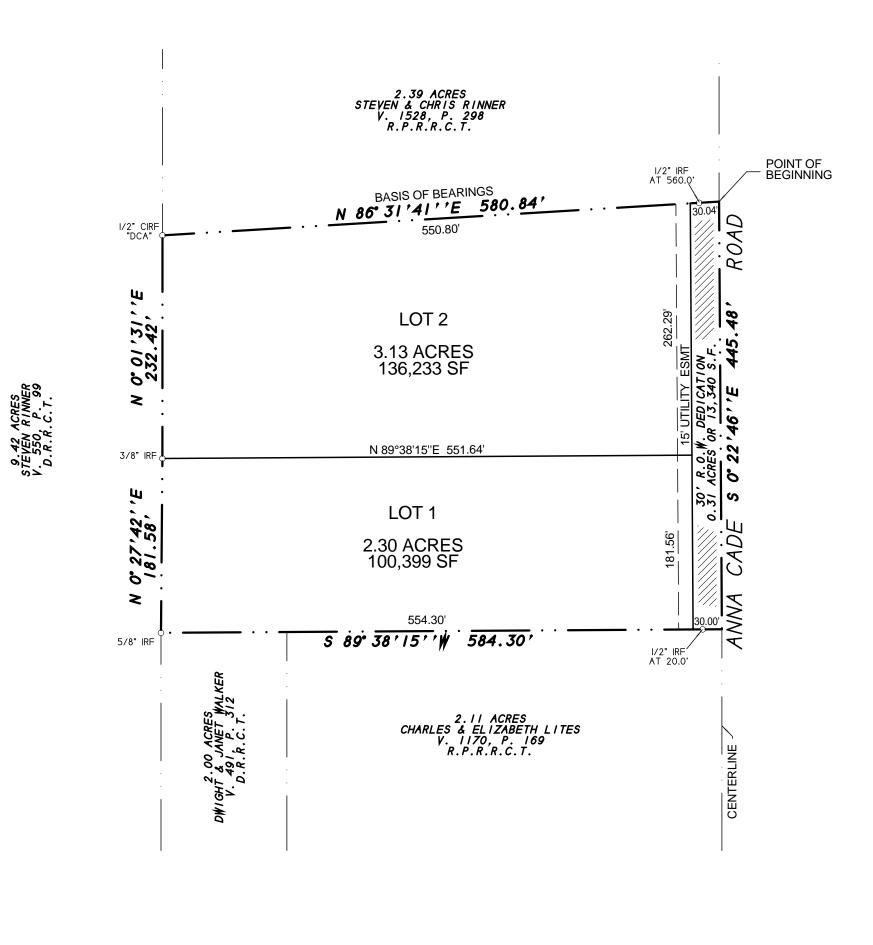


## City of Rockwall Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745

(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



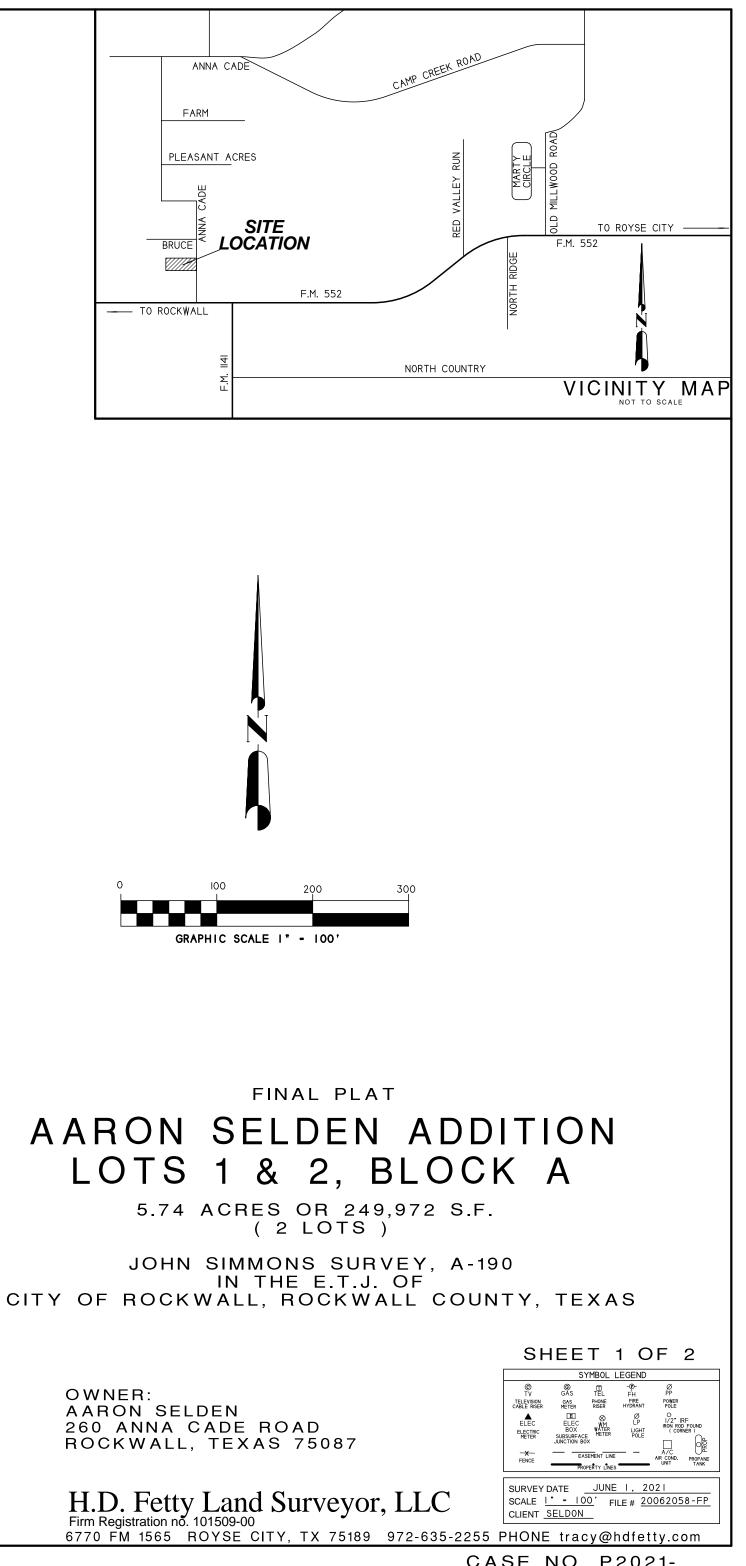


NOTES 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0035 L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: RECORDED DEED IN VOLUME 1528, PAGE 298, R.P.R.R.C.T.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

4) PROPERTY OWNER TO MAINTAIN, REPAIR, AND REPLACE DRAINAGE SYSTEMS ON SITE.



CASE NO. P2021-

#### OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS Aaron Selden, Being the owners of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the JOHN SIMMONS SURVEY, ABSTRACT NO. 190, Rockwall County, Texas, and being a part of that tract of land as described in a Quitclaim Deed from Connie Eubank to Sherri Lynn Eubank Kelley, dated May 22, 1989 and being recorded in Volume 485, Page 315 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows: described as follows:

BEGINNING at a point for corner in the center of Anna Cade Road, at the Southeast corner of a 2.392 acres tract of land as described in a Warranty deed from Sherri Lynn Eubank Kelley to Steve Rinner and Chris Rinner, dated December 16, 1998 and being recorded in Volume 1528, Page 298 of the Real Property Records of Rockwall County, Texas, said point being S. 00 deg. 22 min. 46 sec. E., 365.00 feet from the Northeast corner of a 58.28 acres tract of land as described in a Deed to Sam R. Eubank, as recorded in Volume 39, Page 175 of the Deed Records of Rockwall County, Texas;

THENCE S. 00 deg. 22 min. 46 sec. E. along the center of Anna Cade Road, a distance of 445.48 feet to a point for corner at the Northeast corner of a 2.1116 acres tract of land as described in a Warranty deed from C.L. Castillo Builders, Inc. to Charles Duane Lites and Elizabeth Ann Lites, dated October 14, 1996 and being recorded in Volume 1170, Page 169 of the Real Property Records of Rockwall County, Texas:

THENCE S. 89 deg. 38 min. 15 sec. W., at 20.00 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for witness and continuing for a total distance of 584.30 feet to a 5/8" iron rod found for corner in the East line of a 9.42 acres tract as described in a Warranty deed from Don C. Eubank to Steven Rinner, as recorded in Volume 550, Page 99 of the Real Property Records of Rockwall County, Texas, said point being at the Northwest corner of a 2.00 acres tract of land as described in a Warranty deed from Joanne Page to Dwight L. Walker and Janet S. Walker, dated August 21, 1989 and being recorded in Volume 491, Page 312 of the Real Property Records of Rockwall County. Texas: County, Texas;

THENCE N. 00 deg. 27 min. 42 sec. E. along the East line of said 9.42 acres tract, a distance of 181.58 feet to a 3/8" iron rod found for corner;

THENCE N. 00 deg. 01 min. 31 sec. E. along the East line of said 9.42 acres tract, a distance of 232.42 feet to a 1/2" iron rod found for corner at the Southwest corner of said 2.392 acres tract;

THENCE N. 86 deg. 31 min. 41 sec. E. (Basis of Bearings) along the South line of said 9.42 acres tract, at 560.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 580.84 feet to the POINT OF BEGINNING and containing 5.74 acres of land, of which 0.31 acres lies within Anna Cade Road.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

# STATE OF TEXAS COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as AARON SELDEN ADDITION, LOTS 1& 2, BLOCK A, an Addition to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City of Rockwall and County; or

7) Property owner shall be responsible for maintaining, reparing and replacing all systems within the drainage and dentention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County administrator, computed on a private commercial rate basis has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city and county to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the County be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

AARON SELDEN

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Aaron Selden known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this \_\_\_\_\_ day of

Notary Public in and for the State of Texas

My Commission Expires:

	SURVEYOR'S CERTIFICATE	
	NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.	
	Harold D. Fetty, III Registered Professional Land Surveyor No. 5034	
	RECOMMENDED FOR FINAL APPROVAL	
	Planning and Zoning Commission Date	
	APPROVED	
	I hereby certify that the above and foregoing plat of AARON SELDEN ADDITION, LOTS 1 & 2, BLOCK A, an addition to the Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the day of, in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.	
	This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.	
	WITNESS OUR HANDS, this day of,	
	Mayor, City of Rockwall City Secretary City of Rockwall	
	City Engineer Date	
	Rockwall County Judge Date	
(	FINAL PLAT <b>AARON SELDEN ADDITION</b> <b>LOTS 1 &amp; 2, BLOCK A</b> 5.74 ACRES OR 249,972 S.F. ( 2 LOTS ) JOHN SIMMONS SURVEY, A-190 IN THE E.T.J. OF CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS	
	OWNER: AARON SELDEN 260 ANNA CADE ROAD	

H.D. Fetty Land Surveyor, LLC

ROCKWALL, TEXAS 75087

Firm Registration no. 101509-00 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CASE NO. P2021-

CLIENT SELDON

SURVEY DATE \_\_\_\_\_\_JUNE |, 202| SCALE |\_\_\_\_\_\_ FILE # 20062058-FP

LIGHT POLE

PROPAN TANK

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: P2021-036 Preliminary Plat for The Landon Phase II

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/23/2021	Needs Review	

06/23/2021: P2021-036; Preliminary Plat for Phase 2 of the Landon Subdivision - ETJ Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This is a request for the approval of a Preliminary Plat for Phase 2 of the Landon Subdivision being a 94.273-acre tract of land identified as a portion of Tract 13 of the S. McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located at the southwest corner of the intersection of S. Munson Street and Streetman Road.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (P2021-036) in the lower right-hand corner of all pages of all revised plan submittals.

1.4 This project is subject to all requirements stipulated by Chapter 38, Subdivisions of the Code of Ordinances of The City of Rockwall and the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall (ILA). (§04.01, Art. 11, UDC)

M.5 Label all proposed streets with the proposed names for GIS approval. Contact Lance Singleton, GIS Supervisor for street name approval at LSingleton@rockwall.com [Subsection 04.01, of Article 11, UDC]

M.6 Although listed under Notes, indicate all proposed corner clips (i.e. visibility triangles) on plat. [Subsection 01.08(B)(1), of Article 05, UDC]

M.7 Please refer to the Checklist for Plat Submittals as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation (ILA) document and make the following corrections and/or provide a statement for each of the following items: (Exhibit 'A', ILA)

a) Indicate water sources inside the extraterritorial jurisdiction (ETJ). Provide a Will Serve Letter from Blackland Water Supply Company. The 'Notes' section indicates Cash SUD? (Section (4)(a)(1), Adequate Public Utilities (Water), Exhibit 'A', ILA)

M.8 Adequate public facilities policy. "Adequate service for areas proposed for development. Land proposed for development in the city and in the city's extraterritorial jurisdiction must be served adequately by essential public facilities and services, including water facilities, wastewater facilities, roadway and pedestrian facilities, drainage facilities and park

facilities. Land shall not be approved for platting or development unless and until adequate public facilities necessary to serve the development exist or provision has been made for the facilities, whether the facilities are to be located within the property being developed or offsite." (Section 38-5(d)(1), Policy, Municipal Code of Ordinances)

1.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff by July 6, 2021, and provide any additional information that is requested.

I.10 Please provide one (1) large copy and one (1) PDF version for a subsequent review by staff.

- I.11 Please note the scheduled meetings for this case:
- 1) Planning & Zoning Work Session meeting will be held on June 29, 2021
- 2) Planning & Zoning Regular meeting will be held on July 13, 2021
- 3) City Council meeting will be held on July 19, 2021

I.12 Staff requires that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person and in the City's Council Chambers, and are scheduled to begin at 6:00 p.m.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review	

06/23/2021: M - 20'x20' clip for residential streets, 30'x30' clip for Munson Road (note 5).

M - This property has two water CCN service areas on it. You may chose to opt out of one of them to have the whole area on one system.

The following are informational comments for the engineering design process.

General Items:

- I Must meet City Standards of Design and Construction
- I 4% Engineering Inspection Fees
- I Impact Fees (Water, Wastewater & Roadway)
- I Minimum easement width is 20' for new easements. No structures allowed in easements.
- I Retaining walls 3' and over must be engineered.
- I All retaining walls must be rock or stone face. No smooth concrete walls.
- I May need off-site easements for detention outfall.
- Show the right-of-way dedication line darker

#### Roadway Paving Items:

- I No dead-end streets allowed without City approved turnaround
- I Internal streets must have 29' B-B paving. Curb and gutter design, reinforced concrete construction. No asphalt or rock streets.
- I -Alleys are required. Must get variance

M-Need visibility clips at the intersections

Water and Wastewater Items:

- M Must dedicate a 20' easement along the northwest proporty line per the Master Water Plan. M Must dedicate a 20' easement connecting Laci Ln to Streetman Rd.
- M This property has two water CCN service areas on it. You may chose to opt out of one of them to have the whole area on one system.
- I Blackland water supply does not have any additional water service connections allowed with the current agreement with Rockwall as water supplier.
- I Based on the acreage, it appears that you will be on septic. Septic systems must be permitted through Rockwall County.

Drainage Items:

- I Detention is required. There are two drainage basins on this property. See attached map.
- I No vertical walls are allowed in detention easement or the floodplain.

I - Areas of 20 acres or more must use the unit hydrograph method for detention calculations. Review fees apply.

I - Manning's C-value is per zoning type.

I - Drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.

I - No lot to lot drainage allowed

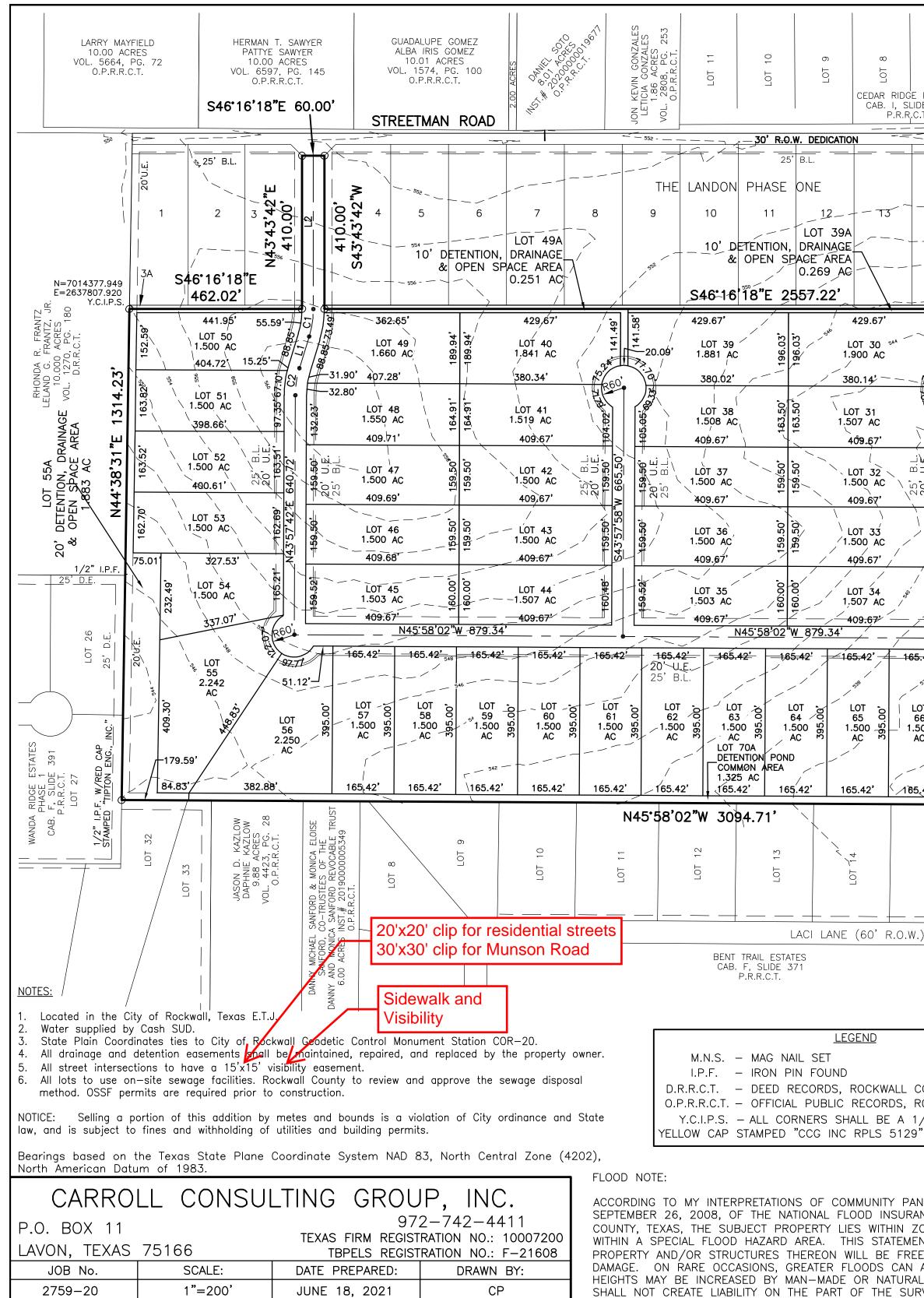
#### Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

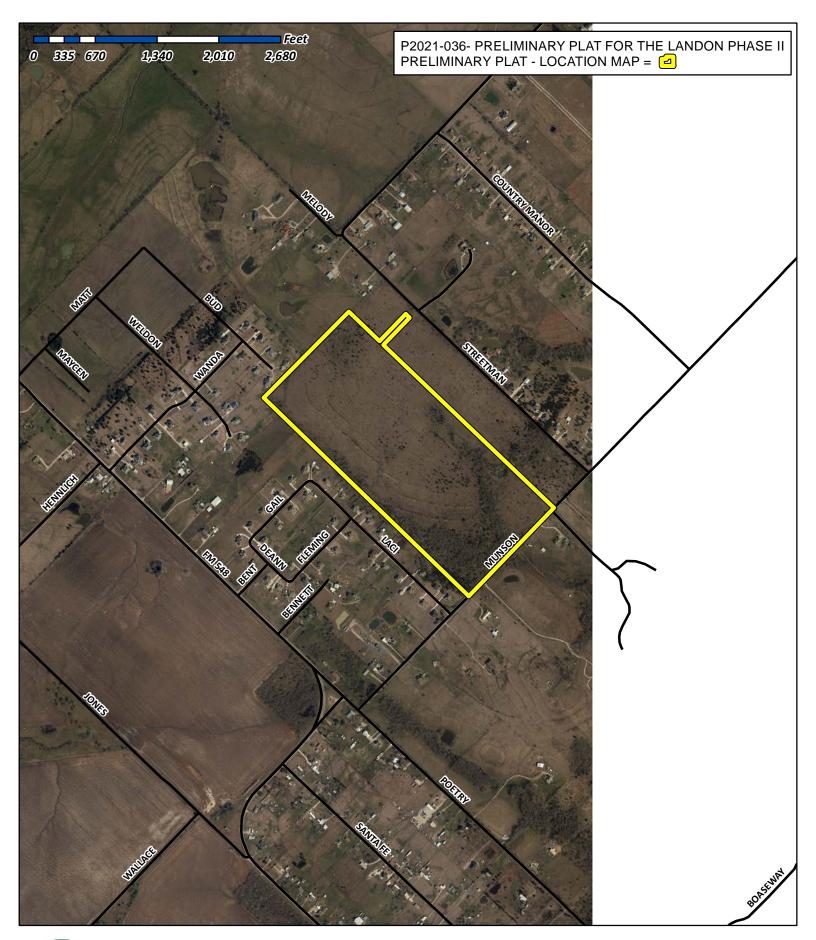
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved w/ Comments	
06/21/2021: Please submit a li	st of proposed street names so they can be app	roved by the City of Rockwall and Rockwall County.	- Lance Singleton, lsingleton@rockwall.com	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	David Gonzales	06/23/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved	
06/21/2021: No comments as i	it is in ETJ			

06/21/2021: No comments as it is in ETJ



ESTATES E 139 T. 14 15 16 17 LOT 2 10' DETENTION, DRAINA & OPEN SPACE AR 19A		I - 4% Engineering Inspection I - Impact Fees (Water, Was	stewater & Roadway) n is 20' for new easements. sements. er must be engineered. e rock or stone face. No ents for detention outfall. ication line darker	
LOT 29 LOT 29 LOT 29 LOT 29 LOT 28 CO LOT 28 LOT 28 LO	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	<ul> <li>turnaround         <ol> <li>I - Internal streets must have gutter design, reinforced con asphalt or rock streets.</li> <li>I - Alleys are required. Must M-Need visibility clips at the M-This property has two w You may chose to opt out or whole area on one system.</li> <li>Blackland water supply d water service connections a agreement with Rockwall as I - Based on the acreage, it septic. Septic systems must Rockwall County.</li> </ol> </li></ul>	e 29' B-B paving. Curb and ncrete construction. No get variance intersections <b>ms:</b> ement along the northwest Water Plan. M - Must nnecting Laci Ln to rater CCN service areas on it. f one of them to have the oes not have any additional llowed with the current s water supplier. appears that you will be on t be permitted through ere are two drainage basins ed map. wed in detention easement or e must use the unit ention calculations. Review zoning type. et flow conditions at the nt on the neighboring property e creek.	400
OUNTY, TEXAS OCKWALL COUNTY, TEXAS /2" IRON PIN SET WITH ' UNLESS OTHERWISE NOTED. NCE RATE MAPS FOR ROCKWALL ONE "X" AND IS NOT SHOWN TO BE NT DOES NOT IMPLY THAT THE E FROM FLOODING OR FLOOD AND WILL OCCUR AND FLOOD - CAUSES. THIS FLOOD STATEMENT VEYOR.	ROBERT JOHN CROWE PO BOX 466 ROYSE CITY TEXAS 7	Rockwall Co	ARY PLAT PHASE TWO TS 29A, 39A, 49A, OA, BLOCK A ntial Lots Acres of Land rey, Abstract No. 142 within the urisdiction (ETJ) of Rockwall unty, Texas	f 2

	DEVELOPMENT APPLIC City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		PLANNIN NOTE: TH CITY UNT SIGNED E DIRECTO CITY ENG	IL THE PLANNING DIRECTO BELOW. R OF PLANNING:	P2021-036 DNSIDERED ACCEPTED BY THE DR AND CITY ENGINEER HAVE
	APPROPRIATE BOX BELOW TO INDICATE THE TYPE				BOXJ:
<ul> <li>□ PRELIMINARY</li> <li>□ FINAL PLAT (\$300.)</li> <li>□ AMENDING OR</li> <li>□ PLAT REINSTA</li> <li>SITE PLAN APPLI</li> <li>□ SITE PLAN (\$25</li> </ul>	(\$100.00 + \$15.00 ACRE) <sup>1</sup> PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup> 300.00 + \$20.00 ACRE) <sup>1</sup> 00 + \$20.00 ACRE) <sup>1</sup> MINOR PLAT (\$150.00) TEMENT REQUEST (\$100.00)		IG CHANG FIC USE VELOPM PPLICAT REMOVA NCE REC ERMINING NG BY THE		0 ACRE) 1
PROPERTY INFO	ORMATION [PLEASE PRINT]				
	s west intersection of Streetman Ro	oad and S. M	lunsor	n Road	
SUBDIVISIO					DI OOK
				LOT	BLOCK
GENERAL LOCATIO	N				
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEA	ASE PRINT]			
CURRENT ZONING	3	CURRENT	USE		
PROPOSED ZONIN	3	PROPOSED	USE		
ACREAG	E 94.273 LOTS [CURREN	0 [TI		LOTS [PROPOSI	ED] <b>50</b>
REGARD TO ITS	<u>D PLATS</u> : BY CHECKING THIS BOX YOU ACKNOWLEDGE APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF DENIAL OF YOUR CASE.	THAT DUE TO THE F STAFF'S COMMEN	PASSAGE TS BY THE	OF <u>HB3167</u> THE CITY NO DATE PROVIDED ON THE	LONGER HAS FLEXIBILITY WITH DEVELOPMENT CALENDAR WILL
	ANT/AGENT INFORMATION [PLEASE PRINT/C				
OWNER	Robert John Crowell		NT Ca	arroll Consulting	Group, Inc.
CONTACT PERSON		CONTACT PERS	ON Ja	mes Bart Carrol	I
ADDRESS	P.O. Box 466	ADDRE	ss P.C	O. Box 11	
CITY, STATE & ZIP	Royse City, TX 75189	CITY, STATE &	ZIP La	von, TX 75166	
PHONE	214-460-4444	PHC	NE 97	2-742-4411	
E-MAIL	robertjcrowell@yahoo.com	E-M	AIL ba	rt.carroll@yahoo	o.com
BEFORE ME, THE UNDER	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARI ION ON THIS APPLICATION TO BE TRUE AND CERTIFIED TH		lohn C		IER] THE UNDERSIGNED, WHO
S INFORMATION CONTAINE SUBMITTED IN CONJUNC	AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; A , TO COVER THE COST OF THIS APPLICATION, I , 20 <b>21</b> . BY SIGNING THIS APPLICATION, I AGF D WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY I TION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASS	IAS BEEN PAID TO TH REE THAT THE CITY ( IS ALSO AUTHORIZEI SOCIATED OR IN RESF	E CITY OF I DF ROCKW D AND PEI	ROCKWALL ON THIS THE ALL (I.E. "CITY") IS AUTHORI RMITTED TO REPRODUCE /	18 1 DAY OF
GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE 18 DAY OF	une ;	20-4-		tary Public, State of Texas
	OWNER'S SIGNATURE			OF THE	omm. Expires 01-25-2025 Notary ID 1201277-0
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS	elt-		MLCOMBBOON EXE	
DEVELOPM	ENT APPLICATION + CITY OF ROCKWALL + 385 SOUTH GOL	LIAD TREET . ROCK	WALL, TX	75087 • [P] (972) 771-774	15 • [F] (972) 771-7727

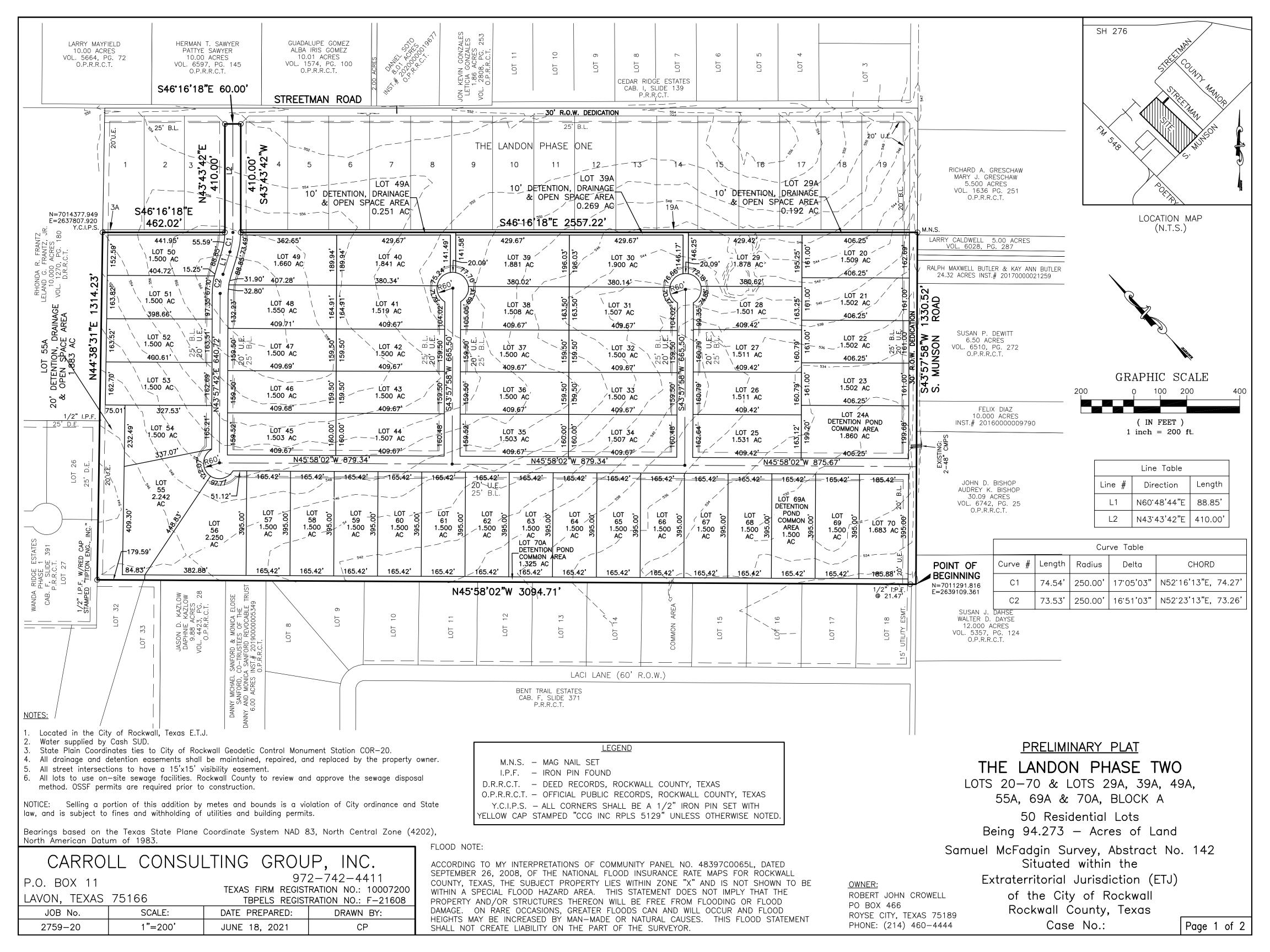




# City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





### OWNER'S CERTIFICATE

STATE OF TEXAS COUNTY OF ROCKWALL

Whereas, Robert John Crowell is the owner of a tract of land situated in the Samuel McFadain Survey, Abstract No. 142, Rockwall County, Texas, and being the same called 65 acre tract land and 65.8 acre tract of land as conveyed to Mildred Ann Howell Williams by deed recorded in Volume 152, Page 853, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at a point for the south corner of said 126.903 acre tract and being in the center of S. Munson Road:

Thence, North 45.58'02" West, along the southwest line of said 65.8 acre tract, the southwest line of said 65 acre tract, the northeast line of Bent Trail Estates, an addition to Rockwall County. Texas. accordina to the plat thereof recorded in Cabinet F, Slide 371, Plat Records, Rockwall County, Texas, the northeast line of a 6.00 acre tract of land conveyed to Danny Michael Sanford and Monica Eloise Sanford, Co-Trustees of the Danny and Monica Sanford Revocable Trust by deed recorded in Instrument No. 2019000005349, Official Public Records, Rockwall County, Texas, the northeast line of a 9.88 acre tract of land conveyed to Jason D. Kazlow and Daphnie Kazlow by deed recorded in Volume 4423, Page 28, Official Public Records, Rockwall County, Texas and an east line of Wanda Ridge Estates Phase 1, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 391, Plat Records, Rockwall County, Texas, passing at a distance of 21.47 feet a 1/2" iron pin found and for a total distance of 3094.71 feet to a 1/2" iron pin found with red cap stamped "TIPSON ENG. INC." for the west corner of said 65 acre tract and a re-entrant corner of said Wanda Ridae Estates Phase 1:

Thence, North 44.38'31" East, along the northwest line of said 65 acre tract, a southeast line of said Wanda Ridge Estates Phase 1 and the southeast line of a 10.000 acre tract of land conveyed to Rhonda R. Frantz and Leland G. Frantz, Jr. by deed recorded in Volume 1270, Page 180, Deed Records, Rockwall County, Texas, a distance of 1314.23 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner:

Thence, South 46'16'18" East, a distance of 462.02 feet to a 1/2" iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, North 43'43'42" East, a distance of 410.00 feet to a 1/2" iron pin set with vellow cap stamped "CCG INC RPLS 5129" for corner;

Thence, South 46'16'18" East, a distance of 60.00 feet to a 1/2" iron pin set with vellow cap stamped "CCG INC RPLS 5129" for corner:

Thence, South 43'43'42'' West, a distance of 410.00 feet to a 1/2'' iron pin set with yellow cap stamped "CCG INC RPLS 5129" for corner:

Thence, South 46'16'18" East, a distance of 2557.22 feet to a mag nail set for corner on the southeast line of said 65.8 acre tract and in the center of S. Munson Road:

Thence, South 43'57'58" West, along the southeast line of said 65.8 acre tract and the center of S. Munson Road, a distance of 1330.52 feet to the Point of Beainning and containing 4.106.540 square feet or 94.273 acres of land.

Planning & Zoning Commission, Chairman

Date

## APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_\_ 20\_\_\_ in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulations in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

#### CARROLL CONSULTING GROUP, INC. 972-742-4411 P.O. BOX 11 TEXAS FIRM REGISTRATION NO.: 10007200 LAVON, TEXAS 75166 TBPELS REGISTRATION NO.: F-21608 SCALE: JOB No. DATE PREPARED: DRAWN BY: 2759-20 1"=200' CP JUNE 18, 2021

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as THE LANDON PHASE TWO subdivision to the County of Rockwall, Texas, and whose name is subscribed hereto. hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the The Landon Phase Two subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

(1) No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

(2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. (3) The City and County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

(4) The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

(5) The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

(6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Rules and Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications required by the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction of a Municipality entered into by the City and County of Rockwall:

(7) Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the County's chosen engineer and/or County Administrator, computed on a private commercial rate basis, has been made with the County, accompanied by an agreement signed by the developer and/or owner, authoring the City and County to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements with the time stated in such written agreement, but in no case shall the City of County by obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the City and County, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the County in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the Commissioner's Court of Rockwall County.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2021.

Robert John Crowell, Owner

STATE OF TEXAS COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Robert John Crowell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purpose and considerations therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_, 2021.

Notary Public for the State of Texas My Commission expires \_\_\_\_\_

# SURVEYOR CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, James Bart Carroll, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon as set were properly placed under my personal supervision.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

James Bart Carroll Texas Registered Professional Land Surveyor No. 5129

#### NOTARY CERTIFICATE

STATE OF TEXAS COUNTY OF COLLIN

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Bart Carroll, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public in and for the State of Texas. My commission expires: \_\_\_\_\_

PRELIMINARY PLAT

THE LANDON PHASE TWO

LOTS 20-70 & LOTS 29A, 39A, 49A, 55A, 69A & 70A, BLOCK A

50 Residential Lots

Being 94.273 - Acres of Land

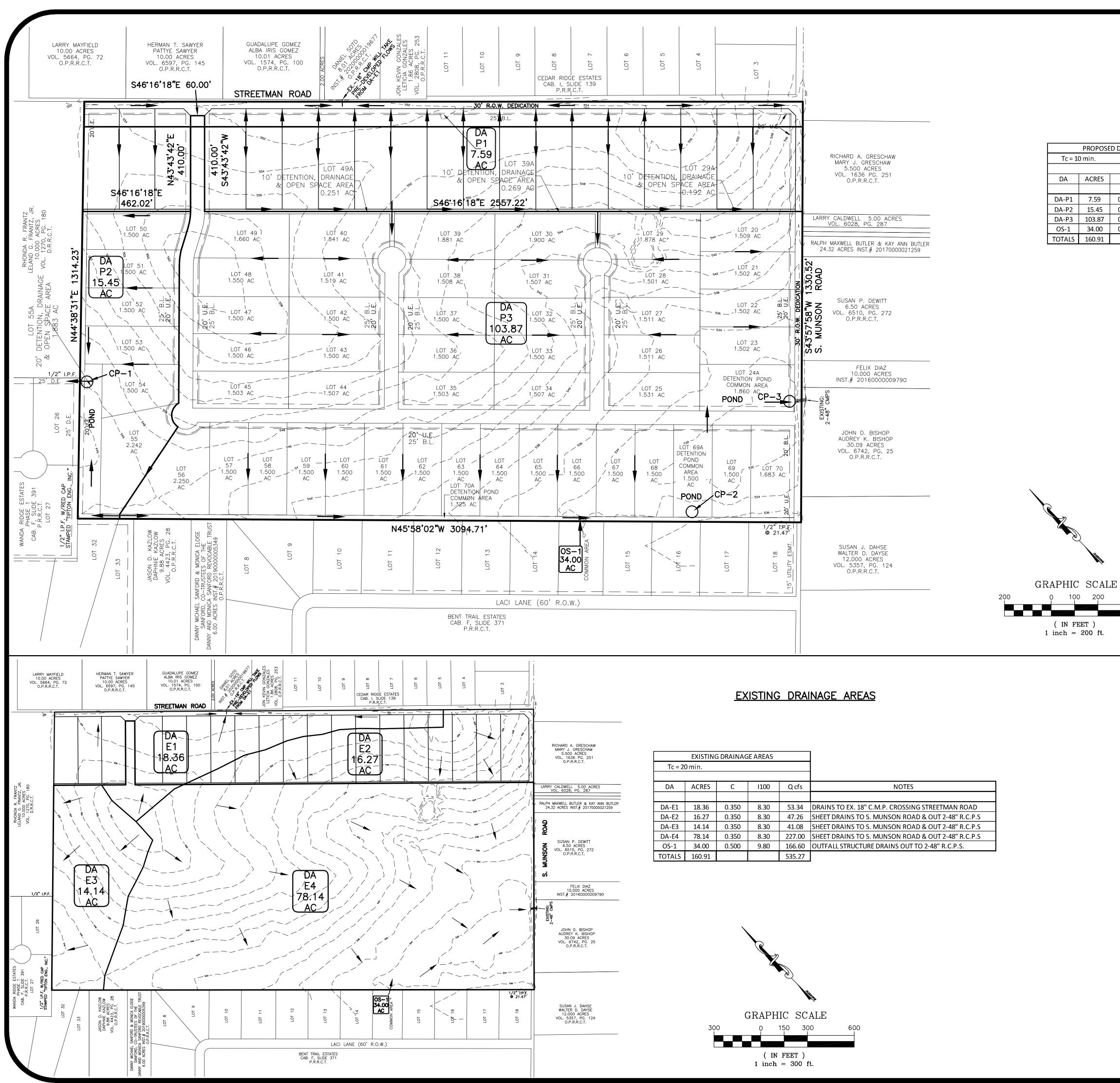
Samuel McFadgin Survey, Abstract No. 142 Situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall Rockwall County, Texas

Case No.:

ROBERT JOHN CROWELL PO BOX 466 ROYSE CITY, TEXAS 75189 PHONE: (214) 460-4444

OWNER:

Page 2 of 2



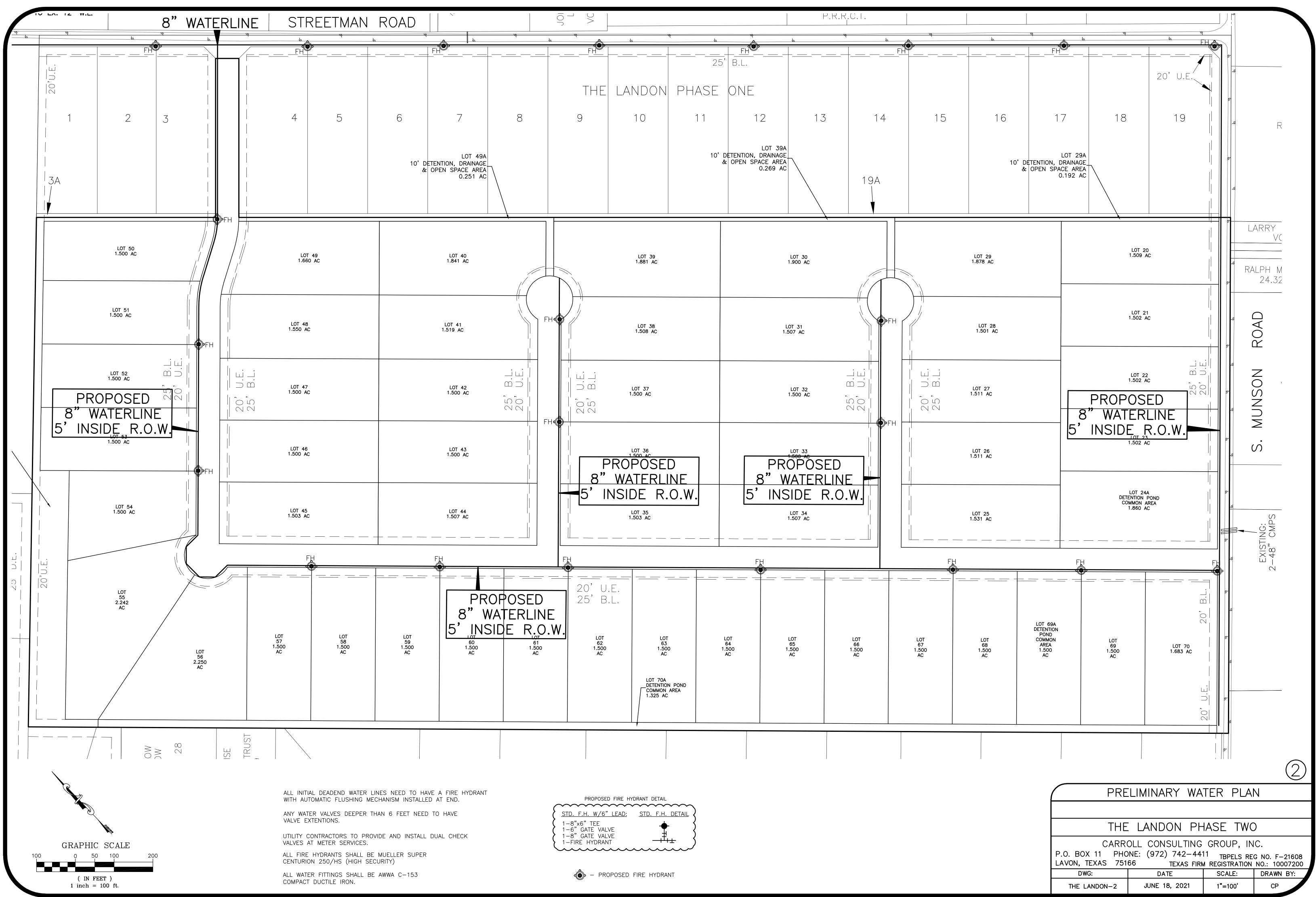
# PROPOSED DRAINAGE AREAS

n.       Notes         CRES       C       I100       Q100 cfs       NOTES         CRES       C       I100       Q100 cfs       NOTES         7.59       0.500       9.80       37.19       DRAINS TO EX. 18" C.M.P. CROSSING STREETMAN ROAD         5.45       0.500       9.80       75.71       DRAINS TO CP-1, POND         03.87       0.500       9.80       508.96       DRAINS TO CP-3, POND TO 2-48" RCPS	OPOSE	D DRAINA	GE AREAS		
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THE LANDON PHASE TWO						
CARROLL CONSULTING GROUP, INC. P.O. BOX 11 PHONE: (972) 742–4411 TBPELS REG NO. F–21608 LAVON, TEXAS 75166 TEXAS FIRM REGISTRATION NO.: 10007200						
DWG:	DATE	SCALE:	DRAWN BY:			
THE LANDON-2	JUNE 18, 2021	1"=200' & 300'	СР			

3



# BOUNDARY CLOSURE REPORT THE STANDARDS PHASE TWO

North: 7011291.8159' East: 2639109.3613'

Segment #1 : Line

Course: N45° 58' 01.51"W Length: 3094.714' North: 7013442.8633' East: 2636884.4456'

Segment #2 : Line

Course: N44° 38' 31.33"E Length: 1314.227' North: 7014377.9499' East: 2637807.9204'

Segment #3 : Line

Course: S46° 16' 18.09"E Length: 462.018' North: 7014058.5848' East: 2638141.7865'

Segment #4 : Line

Course: N43° 43' 41.91"E Length: 410.000' North: 7014354.8613' East: 2638425.1947'

Segment #5 : Line

Course: S46° 16' 18.09"E Length: 60.000' North: 7014313.3870' East: 2638468.5523'

Segment #6 : Line

Course: S43° 43' 41.91"W Length: 410.000' North: 7014017.1104' East: 2638185.1441'

Segment #7 : Line

Course: S46° 16' 18.09"E Length: 2557.215' North: 7012249.4623' East: 2640033.0534'

Segment #8 : Line

Course: S43° 57' 57.75"W Length: 1330.523' North: 7011291.8166' East: 2639109.3619' Perimeter: 9638.696' Area: 4106540.55 Sq. Ft. Error Closure: 0.0009 Course: N39° 10' 00.77"E

Error North: 0.00070 East: 0.00057

Precision 1: 10709663.333

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: SP2021-016 Amended Site Plan for Mi Cocina 971 E INTERSTATE 30. ROCKWALL, 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Henry Lee 972.772.6434 hlee@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	06/25/2021	Approved w/ Comments

06/25/2021: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This is a request for the approval of an Amended Site Plan for an existing Restaurant [Mi Cocina] on a 1.41-acre parcel of land identified as Lot 11, Block A, Rockwall Crossing

Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 971 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2021-016) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

1.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Commercial (C) District standards, the IH-30 Overlay District, and the

Development Standards of Article V, that are applicable to the subject property.

M.5 Landscape Plan:

1. Indicate all landscaping that is to be removed and planted. (Subsection 05.03. B, of Art. 08)

2. Are there going to be any added pad or roof mounted mechanical units? If so they must be fully screened from all adjacent property owners. Please clarify this information for

me. (Subsection 01.05. C, of Article 05)

M.6 Building Elevations:

1. No TPO shall be visible from the property or adjacent properties. All parapets must be finished on both sides. (Subsection 04.01, of Art. 05)

2. Indicate the full scope of the work on the elevations. (Subsection 06.02. C, of Article 05)

3. Identify all materials being utilized for the expansion (Subsection 06.02. C, of Article 05)

I.7 All proposed and existing signage will be covered in the building permit.

I.8 Please note that failure to address all comments provided by staff by 3:00 PM on July 6, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning & Zoning Meeting.

I.10 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on June 29, 2021.

2) Planning & Zoning meeting/public hearing meeting will be held on July 13, 2021.

I.11 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present

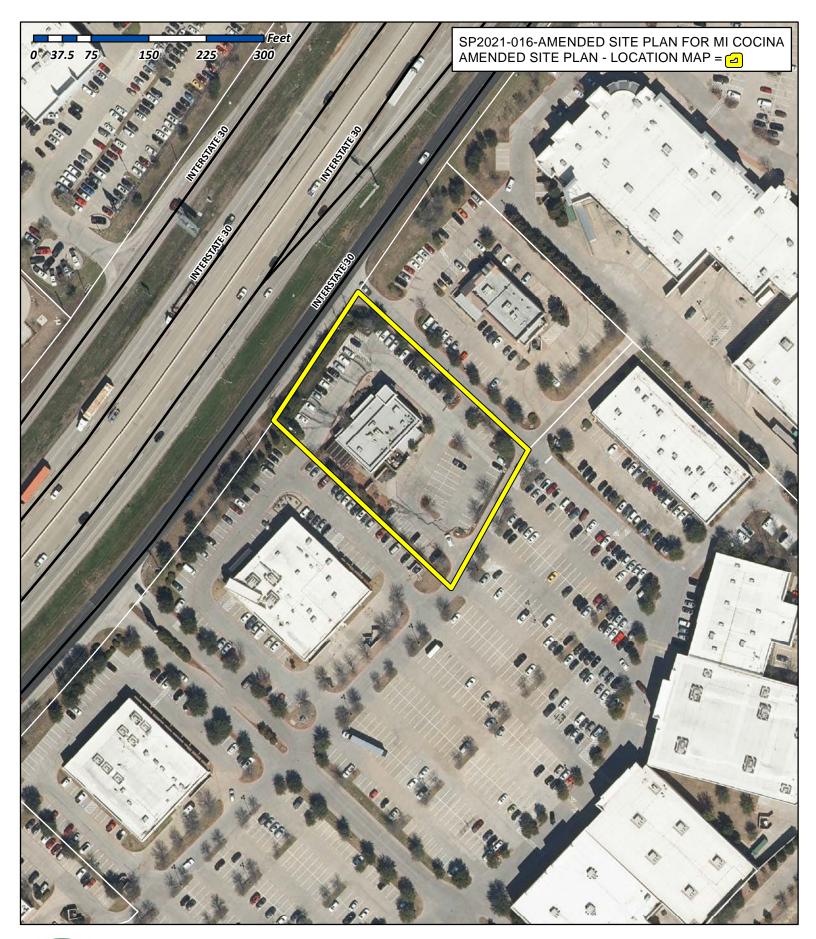
their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
ENGINEERING	Sarah Johnston	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved w/ Comments	
06/23/2021: A review of the resta required.	urant's egress/life safety plan will be required	as part of the building permit. Panic hardware, emo	ergency lighting, and exit signage will be	
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved w/ Comments	

06/21/2021: Approval will be contingent upon landscape plans being submitted and approved. This is required due to the removal of several areas of existing landscape.

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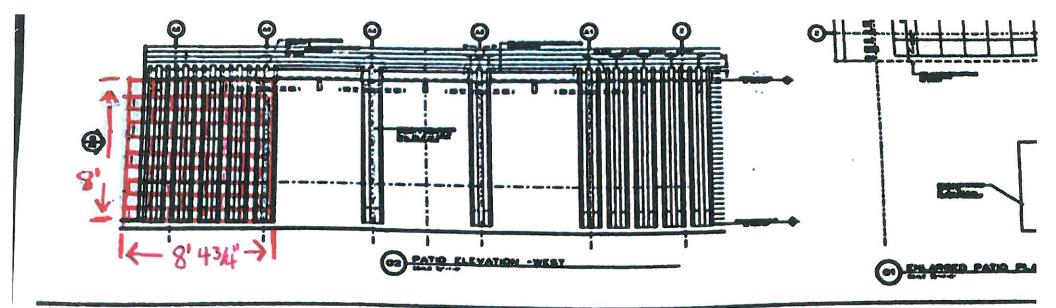
## **City of Rockwall**

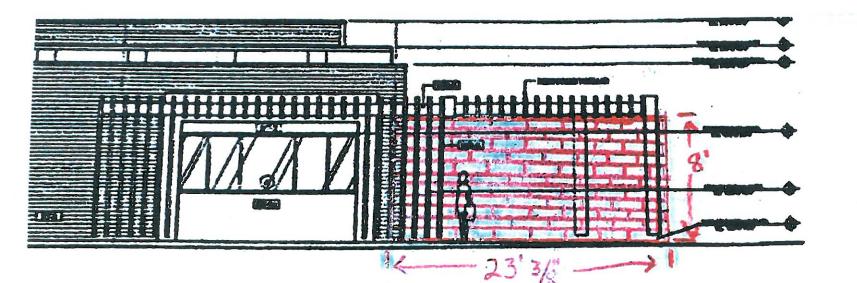
Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



All the concrete will be 4000 Psi concrete with #3 rebar with the saw cuts. For the stain and seal I'll be using Ameripolish or possibly surecrete eco stain, depending on how it is accepting the stain, and a 3part Alphatic Urethane for the topcoat.

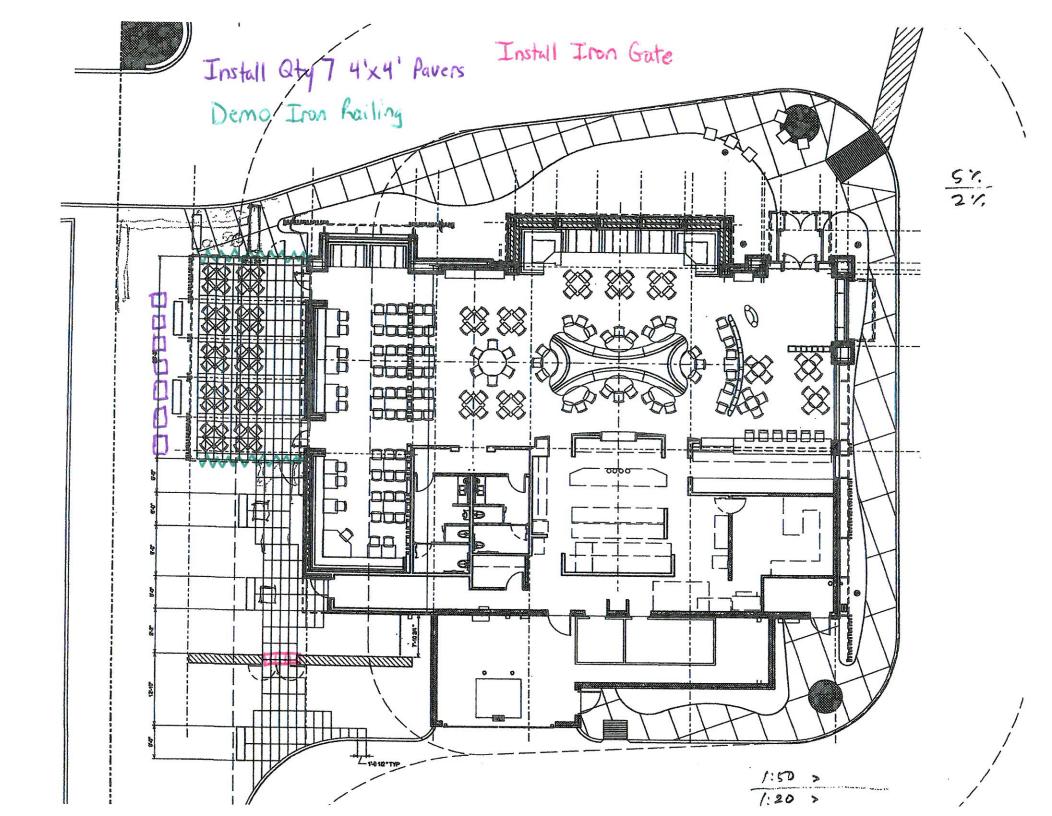
The wall material is leuders coco blend, installed to code.

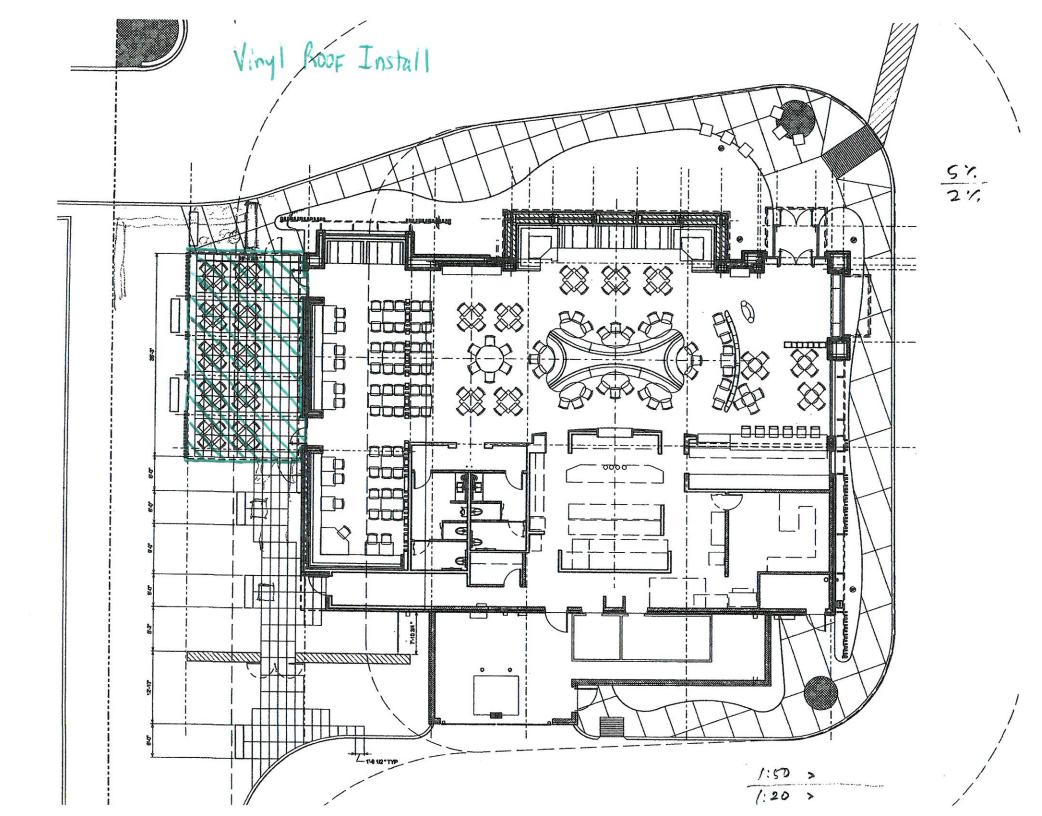


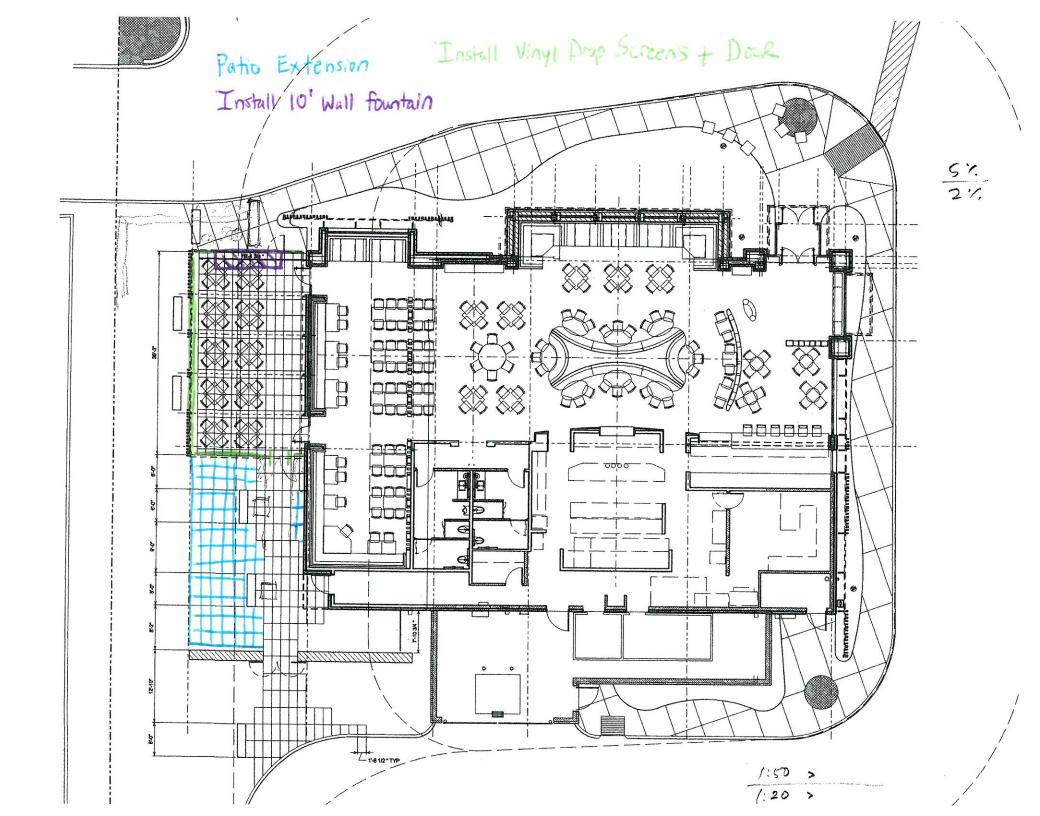


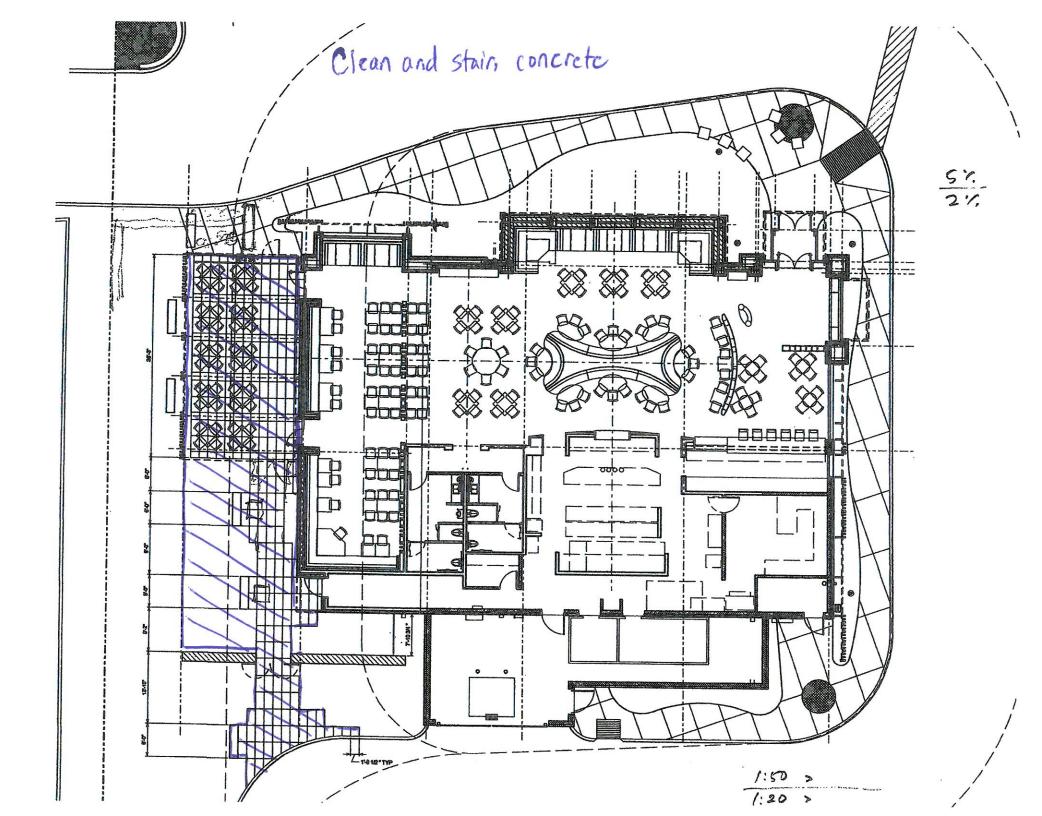


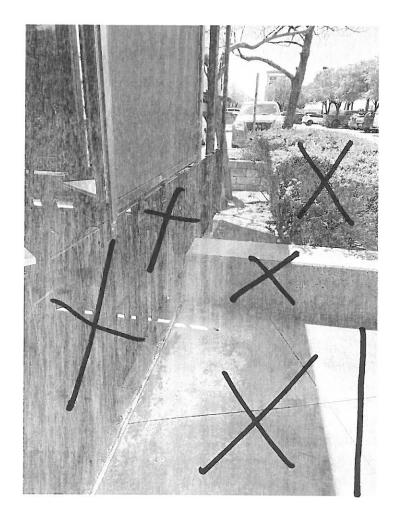
\* Red notates rock wall addition \* Rock wall will be 8" thick



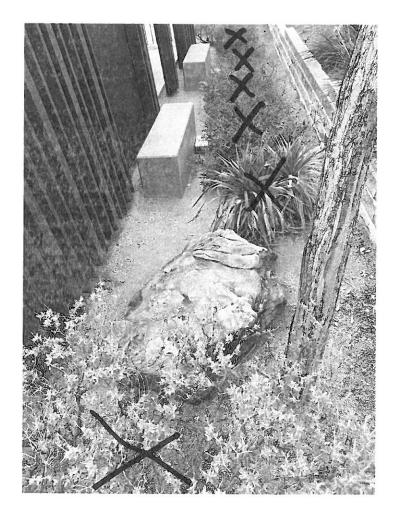




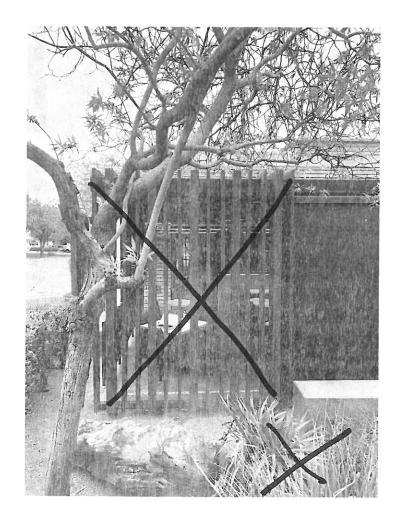




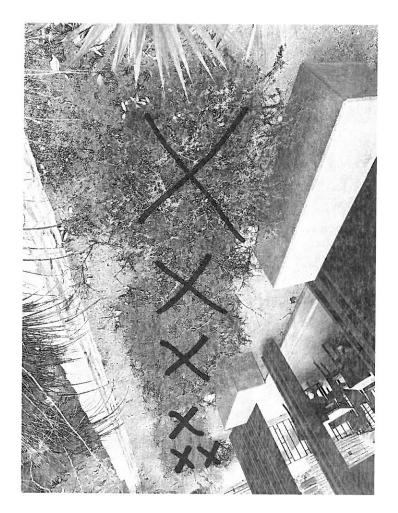
Demo Replace gravel



# Dem. Replace gravel and pavers







# Demo Replace gravel and pavers

# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS:

SP2021-017 Site Plan for 7-Eleven 4949 S GOLIAD ST

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/25/2021	Needs Review	

06/25/2021: SP2021-017; Site Plan for a Retail Store with Gasoline Sales – S. Goliad Street & S. FM-549 & IH-30 Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Retail Store with Gasoline Sales on a 1.503-acre portion of a larger tract of land being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2021-017) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the SH-276 Overlay (SH-205 OV) District, and the Development Standards of Article 05 that are applicable to the subject property.

M.5 Remove the dates on the signature block and replace with blank lines on the site plan. (§03.04.A, Art. 11, UDC)

M.6 All pages of the site plan (i.e. photometric plan and building elevations) are required to have a signature block affixed on the page for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. Please include this for the photometric plan and building elevations. (§03.04.A, Art. 11, UDC)

M.7 All pages of the site plan (i.e. photometric plan, landscape plan, and treescape plan) are required to have the site plan data table affixed on the front page. (§03.04.A, Art. 11, UDC)

I.8 Please note that the property will require a final plat prior to the issuance of a building permit. Additionally, the site plan must be approved, all comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

1.9 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.10 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Mechanical Equipment Screening. Dash-in and label all RTU's the on building elevations. If ground mounted, indicate locations on site and provide screening detail - All buildings shall be designed so that no HVAC, satellite dishes, appurtenances and/or any other mechanical equipment visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site? Provide screening detail if located on the ground. (§06.02.C.3, Art. 05, UDC)

2) Relabel all firelane as "24-ft Firelane, Public Access, and Utility Easement" as appropriate for width, utilities, etc. (§03.0.B.11, Art. 11, UDC)

3) Indicate and label the widths of all sidewalks proposed for the site. (§03.0.B.11, Art. 11, UDC)

4) The proposed outside sales & display items (e.g. ice machines, etc.) may not exceed 5% of the buildings floor area, are required to be located underneath a covered sidewalk and not occupy more than 30% of this area, and must have at least five (5) foot passible distance. Provide updated site plan meeting the area requirements and update the building elevations with a covered area (e.g. awnings, canopies, etc.) meeting the 30% requirement. (§02.02.F.4, Art. 04, UDC)

5) Dumpster enclosure required to be a minimum height of eight (8) feet. Revise. (§06.02.D.7, Art. 05, UDC)

M.11 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Landscape buffers require ground cover, a built-up berm, and shrubbery along the entire length of the frontage, with a minimum of a 30-inches. Correct plans to indicate a built-up berm will be included along each frontage. (§05.01.B.1, Art. 08, UDC)

2) Provide note indicating irrigation will meet requirements of UDC. (§05.04, Art. 08, UDC)

3) Page LP-2 indicates mulch installation for the site. The landscape plan indicated sod to be planted. If utilizing mulch, the developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City. Clarify. (Section 4, Coverage, Engineering Standards of Design and Construction)

M.12 Treescape Plan. Plan is OK as submitted, mitigation satisfied with tree plantings.

M.13 Photometric Plan. Please make the following clarifications and changes to the photometric plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Provide cut sheets for all exterior lighting fixtures. (§03.03, Art. 07, UDC)

2) Revise plan to indicate lighting levels for the subject property only (i.e. remove site items ghosted in north of subject property and other parking spaces adjacent to drive). (§03.03, Art. 07, UDC)

3) Reduce lighting levels at the property lines. The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (§03.03.C, Art. 07, UDC)

4) Reduce lighting levels under the gas canopy. Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles. (§03.03.E.1, Art. 07, UDC)

5) All under canopy lighting shall be fully recessed into the canopy. Provide cut sheets. (§03.03.F, Art. 07, UDC)

6) Reduce lighting levels in the parking lot. The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line; exception: under canopy lighting. (§03.03.G, Art. 07, UDC)

7) Indicate the mounting height for all proposed light fixtures. No light pole, base, or combination thereof shall exceed 20-ft in height per the General Overlay District Standards of Article 05, UDC. Provide detail. (§03.03.D, Art. 07, UDC)

M.14 Building Elevations. Requires review by the Architectural Review Board (ARB) and a recommendation from the ARB forwarded to the Planning and Zoning Commission for consideration.

1) Dash in and label all RTU's. Screening of rooftop mechanical equipment and/or other rooftop appurtenances shall be accomplished by either the construction of [1] a roof system described in the Roof section of the Article 05 of the UDC, or [2] an architectural feature that is integral to the building's design and ensures that such rooftop mechanical

equipment is not visible from any direction. (§06.02.C.1.a.3, Art. 05,UDC)

- 2) Recalculate exterior materials for each façade that incorporate metal coping (i.e. secondary material). (§06.02.C.1.a.3.a, Art. 05,UDC)
- 3) Ice Machines outdoor sales and displays (i.e. ice machines, propane tanks, etc.) are permitted only in areas designated on the Site Plan filed with the City with the following conditions (§02.02.F.4, Art. 04,UDC)
- a. may occupy up to 30% of a covered sidewalk
- b. requires at least a five (5) foot passable distance that does not impede pedestrian use of the sidewalk.
- c. if not located on a covered sidewalk, the units must be screened from view of adjacent roadways, public areas and adjacent properties.
- d. must be located immediately adjacent to or connected to the primary structure.
- e. may be located in any portion of a parking lot.
- 4) Provide canopy elevations for review by the Architectural Review Board (ARB) and the Planning and Zoning Commission.

5) Construction Standards – Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. Provide detail. (§04.01.A.1, Art. 05,UDC)

Variances Required - Refer to the Subsection 06.01, General Overlay District Standards, of Article 05, UDC for the following:

1) Stone – a minimum of 20% natural or quarried stone is required on all building facades. The back side (i.e. rear) elevation does not meet this standard. (§06.02.C.1.a.1, Art. 05,UDC)

- 2) Roof Design all structures with less than 6,000 SF building footprint require a pitched roof system. (§06.02.C.1.a.2, Art. 05,UDC)
- 3) Four Sided Architecture all buildings are required to be architecturally finished on all four sides utilizing the same materials, detailing, articulation and features. (§06.02.C.5, Art. 05,UDC)
- 4) Trash/Dumpster Enclosure Enclosures shall be four (4) sided, shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The proposed dumpster is less than 8-ft in height. (§06.02.D.7, Art. 05,UDC)
- 5) Utility Placement All overhead utilities within any overlay district shall be placed underground. (§06.02.H, Art. 05,UDC)

Exception Required – Refer to Subsection 04.01, General Commercial District Standards, of Article 05, UDC for the following:

1) Building Articulation – As depicted, the building elevations do not meet the articulation standards as required in Figure 7 of Subsection 04.01.C, of Article 05, of the UDC for the following: (§04.01.C, Art. 05, UDC)

- a. Wall projections (i.e. horizontal articulation)
- b. Projection Height (i.e. vertical articulation)

#### Letter of Request Required

Two (2) compensatory measures are required for each variance and/or exception being requested. Additionally, you will need to provide a written request and indicate how the compensatory measures will offset the requested variance/exceptions. See the attached list of compensatory measures. A request for variance/exceptions requires approval of a <sup>3</sup>/<sub>4</sub> majority vote by the Planning and Zoning Commission.

(Section 09, Article 11, UDC)

I.15 Please note that failure to address all comments provided by staff by 3:00 PM on July 6, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.16 Please make all revisions and corrections, and provide any additional information that is requested by staff no later than July 6, 2021. It is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning & Zoning Meeting.

M.17 Please provide one (1) hard copy and a PDF/electronic version for a subsequent review by staff.

I.18 The Architectural Review Board (ARB) meeting will be held on June 29, 2021 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.19 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on June 29, 2021.
- 2) Architectural Review Board (ARB) meeting will be held on June 29, 2021.
- 3) Planning & Zoning regular meeting will be held on July 13, 2021.
- 4) Architectural Review Board (ARB) meeting will be held on July 13, 2021 (if required).

1.20 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City requires that a representative(s) be present for all meetings.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review

06/23/2021: M - Parking spaces adjacent to the building must be 20' deep.

M - Area under the canopy to drain to an oil/water separator and then to the storm lines.

- M Dumpster area to drain to an oil/water separator and then to the storm lines.
- M Access drive to be concrete.
- M Driveway spacing must be 425' minimum per TxDOT requirements.

The following items are informational for the engineering design process. General Items:

- 4% Engineering Inspection Fees
- Plan review fees apply.
- Impact Fees for water meters and roadway.
- Minimum easement width is 20'. No structures allowed in easements.
- Required 10' utility easement required along all street frontage.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.

-Pro-rata for Long Branch Lift Station =\$545.38/acre

-Pro-rata for FM 3097 Lift Stations = \$432.74/acre

- No structures including signage allowed in easements or right-of-ways.

Drainage Items:

- Detention is required. Manning's C-value is by zoning.
- Area under the fuel canopy and dumpster must drain to an oil/water separator before connection to the storm system.
- No vertical walls are allowed in detention easements.

#### Paving Items:

- All parking must be 20'x9'
- All drive aisles must be a minimum of 24' wide
- All fire lanes must have a minimum radius of 20'
- All driveways must be spaced 425' along SH 205 and 360' along FM 549.
- Must meet TXDOT driveway spacing requirements.
- TxDOT permit required for Traffic Signal Modifications, driveway locations, and utilites in TxDOT ROW.
- TxDOT TIA for driveway is required along with review fees at time of 1st review for TIA

#### Utility Items:

- Must loop a min. of an 8" water line on site. Only one use allowed off a dead end line.
- 12-inch water line required along FM 549 and SH 205 frontage.

Landscape Items:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved w/ Comments	
06/21/2021: Assigned Address	will be 4949 S GOLIAD ST, ROCKWALL, TX 7	75032		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved w/ Comments	
06/21/2021: Tree mitigation pla	an approved			
Landscape plan approval conti	ngent on the following;			
No trees within 5' of any water	or sewer lines up to 10"			
No trees within 10' of any water	r or sewer lines greater than 10"			

Headlight light screening must be evergreen and 24" tall at time of planting.

### COMPENSATORY MEASURES

These may include -- but are not limited to -- any two (2) of the following options:

(A) Increased landscape buffer.

(B) Increased landscaping (i.e. additional canopy trees, accent trees, landscaping percentage, etc.).

(C) Increased open space.

(D) The provision of trails above and beyond the requirements of the City's Master Trail Plan.

(E) Increased building articulation.

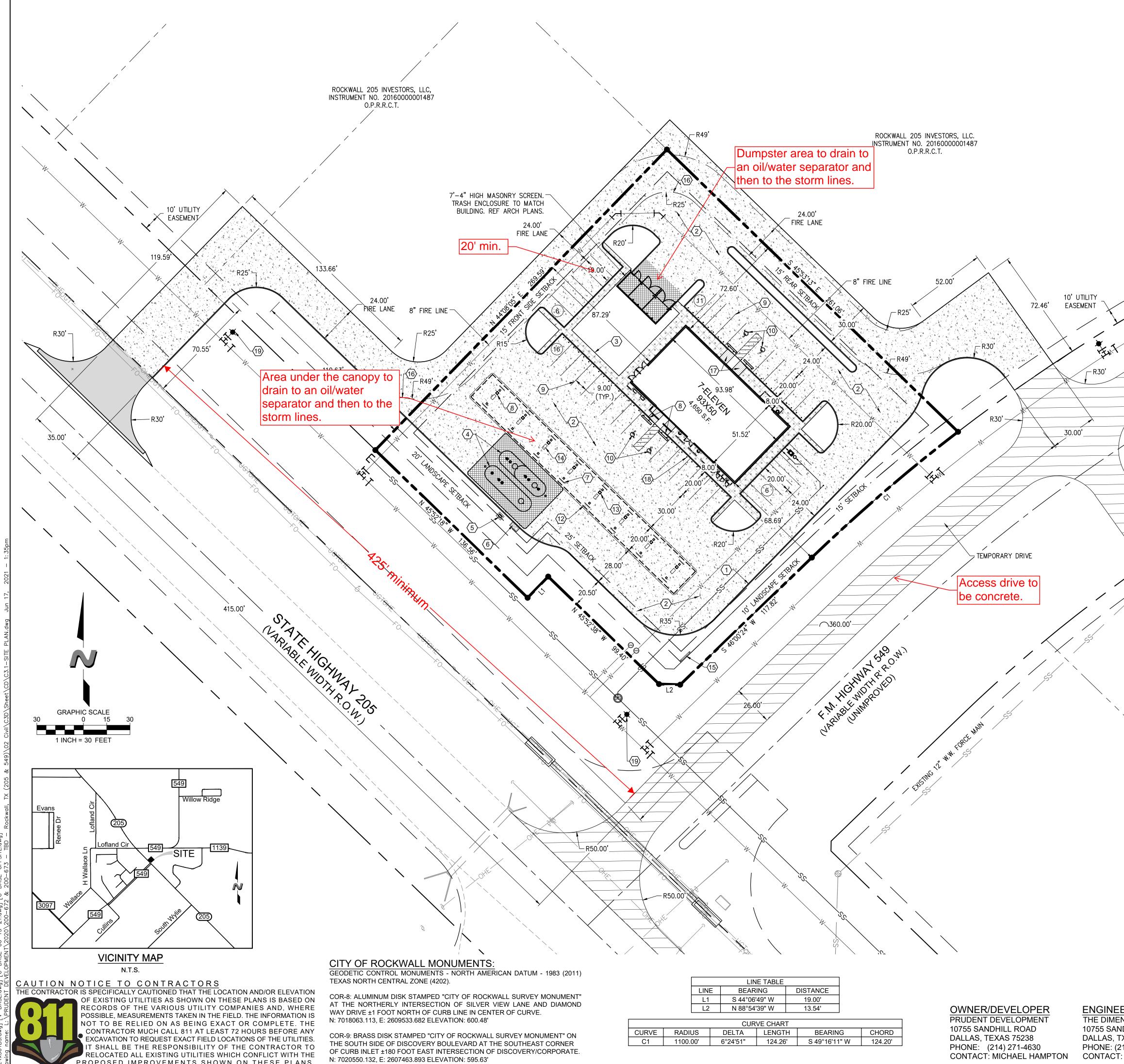
(F) Masonry building materials in percentages equal to or greater than surrounding properties. Where there are no properties adjacent to the subject property the percentage shall be 90% masonry (i.e. brick, stone, or cultured stone).

(G) The inclusion of 20% natural or cultured stone.

(H) Increased architectural elements (i.e. canopies, awnings, porticos, arcades, peaked roof forms, arches, outdoor patio/plaza space, display windows, articulated cornice lines, varied roof heights, etc.).

(I) Undergrounding existing overhead utility lines.

(J) Other additional standards that are above and beyond the general standards that appropriately offset the requested exception or exceptions.



IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

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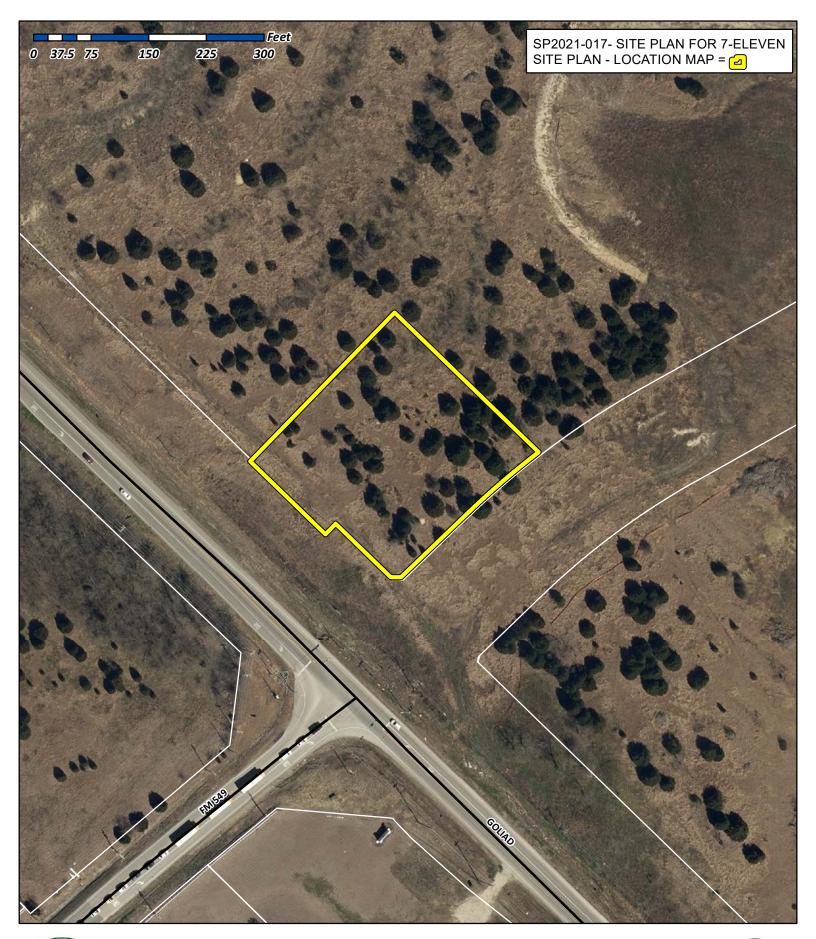
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ENSION G ANDHILL R( TX, 75238 (214) 343-9	PLICANT ROUP OAD	Landscape Items: - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or	SHEE	_	23.			

	<b>DEVELOPMENT APPLIC</b> City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087	ATION	STAFF USE ONLY PLANNING & ZONING CASE NO. SP2621-017 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
PLEASE CHECK THE APP	PROPRIATE BOX BELOW TO INDICATE THE TYPE C	OF DEVELOPME	ENT REQUEST [SELECT ONLY ONE BOX]:
PRELIMINARY PLA FINAL PLAT (\$300.) REPLAT (\$300.00 + AMENDING OR MII PLAT REINSTATEM SITE PLAN APPLICAT	00.00 + \$15.00 ACRE) 1 AT (\$200.00 + \$15.00 ACRE) 1 00 + \$20.00 ACRE) 1 + \$20.00 ACRE) 1 NOR PLAT (\$150.00) MENT REQUEST (\$100.00)		G APPLICATION FEES: IING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup> :CIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup> DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup> :R APPLICATION FEES: :E REMOVAL (\$75.00) RIANCE REQUEST (\$100.00) ETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN YING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE OUND UP TO ONE (1) ACRE.
PROPERTY INFOR	MATION [PLEASE PRINT]		
ADDRESS SUBDIVISION	the providence of the second		FM 549, Rockwall, TX, 75032 LOT BLOCK A FM 549
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CURRENT ZONING	Commercial (C)	CURREN	
PROPOSED ZONING		PROPOSE	unacveropea
ACREAGE	Commercial (C) 1.503 LOTS [CURRENT	No. of Concession, Name	convenience sione wy dias
SITE PLANS AND PL REGARD TO ITS APP RESULT IN THE DEN	LATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE T PROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF	HAT DUE TO THE	LOTS [PROPOSED] N/A PASSAGE OF <u>HB3167</u> THE CITY NO LONGER HAS FLEXIBILITY WITH ENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL
OWNER/APPLICAN	TAGENT INFORMATION [PLEASE PRINT/CH	IECK THE PRIMA	RY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED
and the second sec	Prudent Development		
	Michael Hampton	CONTACT PER	
	10755 Sandhill Rd	ADDF	
CITY, STATE & ZIP 🛛 🕻	Dallas, TX 75238	CITY, STATE	& ZIP Dallas, TX, 75238
	14 - 271 - 4630	PH	HONE 214 - 600 - 1152
E-MAIL	nhampton@prudentdevelopm	ient.com E-	MAIL Kmai @ dimensiongroup.com
NOTARY VERIFICA BEFORE ME, THE UNDERSIG		micho	vel tompton (owner) THE UNDERSIGNED, WHO
S	2022 BY SIGNING THIS APPLICATION, HA	S BEEN PAID TO T EE THAT THE CITY ALSO AUTHORIZ	Y OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE
GIVEN UNDER MY HAND AN	ID SEAL OF OFFICE ON THIS THE 18 DAY OF	u	20 21 KATHY BOWEN
	OWNER'S SIGNATURE		My Notary ID # 10331063
NOTARY PUBLIC IN AND FO	or the state of texas Rothy BO	wen	M COMMISSION EXTINES 10 035/25

DEVELOPMENT APPLICATION + CITY OF ROCKWALL + 385 SOUTH GOULD STREET + ROCKWALL, TX 75387 + [P] (972) 771-7745 + [F] (972) 771-7745

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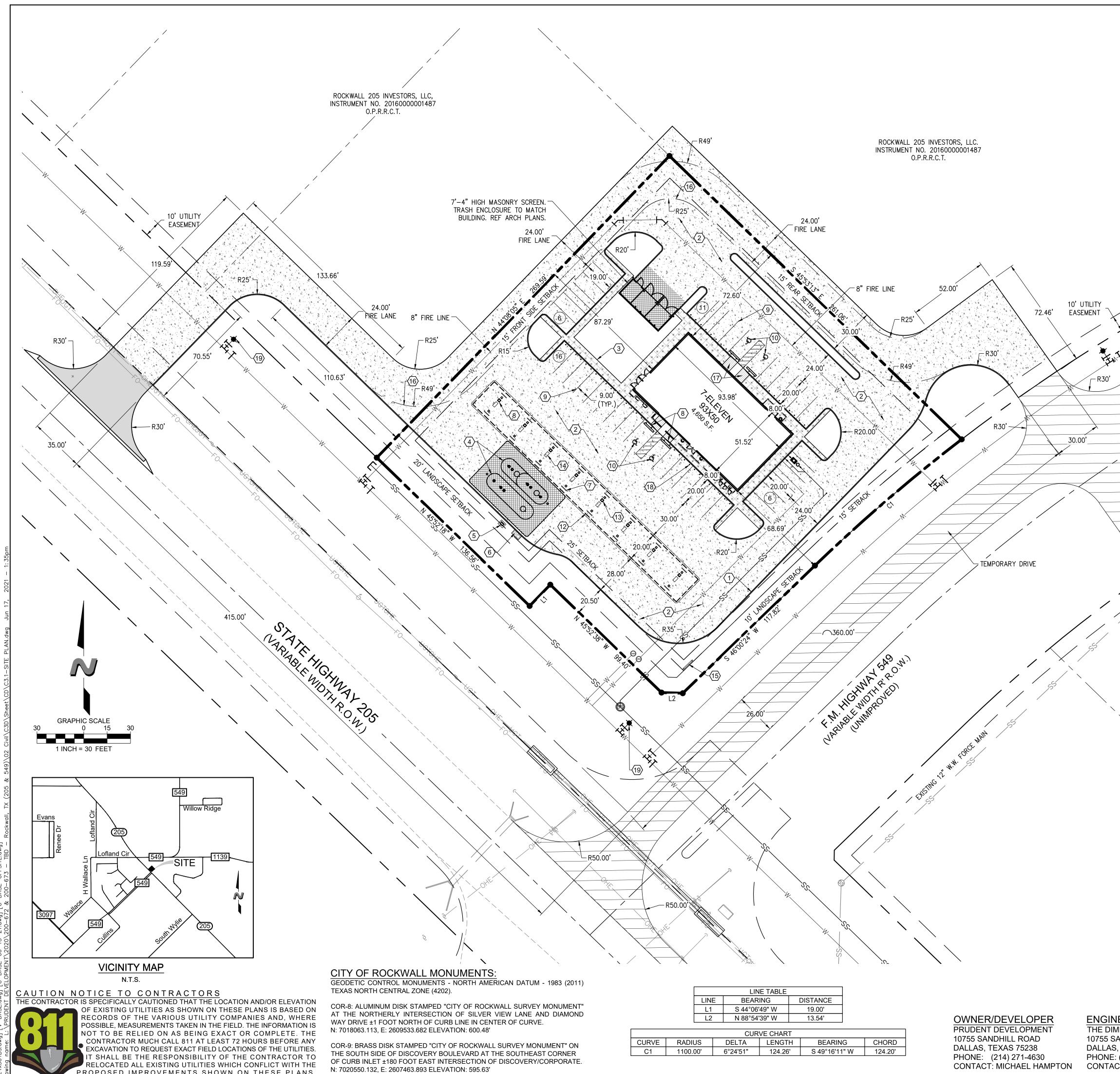




## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

		L1	S 44°06'	49" W	19.00'		
		L2	N 88°54'	'39" W	13.54'		
			CUR	VE CHART			
CURVE	RADII	JS	DELTA	LENGTH	BEARIN	G	CHORD
C1	1100.	00'	6°24'51"	124.26'	S 49°16'11	" W	124.20'

## **GENERAL NOTES**

- 1. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR HIS MEANS AND METHODS OF CONSTRUCTION, JOB SITE CONDITIONS AND JOB SITE SAFETY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. THE CONTRACTOR SHALL SAVE, PROTECT, INDEMNIFY DEFEND AND HOLD HARMLESS THE OWNER, THE ARCHITECT AND THE ENGINEER FROM ANY CLAIM OF LIABILITY, REAL OR ALLEGED, ARISING OUT OF THE PERFORMANCE OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL NAME THE OWNER, THE ARCHITECT AND THE ENGINEER AS "ADDITIONAL INSURED" ON HIS INSURANCE POLICIES.
- 2. EXISTING ABOVE GROUND UTILITIES HAVE BEEN SHOWN BASED ON INFORMATION SHOWN ON A SURVEY OF THE PROPERTY. UNDERGROUND UTILITIES ARE SHOWN BASED ON RECORDED DATA AND MAY NOT BE COMPLETE OR EXACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING ABOVE GROUND OR UNDERGROUND UTILITIES. INCLUDING THOSE NOT SHOWN ON THE PLANS. THE CONTRACTOR IS ADVISED TO CONTACT THE CITY AND ALL FRANCHISE UTILITY COMPANIES, EASEMENT HOLDERS, ETC. AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION IN THE VICINITY OF ANY UNDERGROUND UTILITY.
- 3. THE CONTRACTOR SHALL COMPLY WITH ALL BUILDING CODES AND REGULATIONS, FEDERAL, STATE, COUNTY, AND CITY SAFETY CODES AND INSPECTION REQUIREMENTS.
- 4. THE CONTRACTOR SHALL PROVIDE DUST PROTECTION DURING CONSTRUCTION. ALL TRASH AND DEBRIS SHALL BE PICKED UP AT ALL TIMES. COMMERCIAL CONSTRUCTION DEBRIS/SOLID WASTE HAULER PERMIT REQUIRED.

## SITE PLAN KEYNOTES:

- (1) CONSTRUCT 6" CURB & GUTTER
- (2) CONSTRUCT 6" CONCRETE PAVEMENT SECTION (RE: GEOTECH)
- $\langle 3 \rangle$  INSTALL PEDESTRIAN SIDEWALK PAVEMENT
- 4 NEW UNDERGROUND FUEL STORAGE TANKS
- 5 NEW TANK VENTS

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- $\langle 6 \rangle$  INSTALL AIR & WATER MACHINE
- $\langle 7 \rangle$  INSTALL (16) U-SHAPED BOLLARDS. REF. FUEL PLANS
- (8) INSTALL HANDICAP VAN AND CAR SIGN (RE: A.D.A. PLAN)
- $\langle 9 \rangle$  4" WHITE PAVEMENT SOLID PARKING STRIPES
- (10) HANDICAP VAN PARKING
- (11) STANDARD AREA LIGHT POLE (RE: PHOTOMETRIC PLAN)
- (12) NEW GASOLINE CANOPY
- $\langle 13 \rangle$  (8) NEW TRASH CANS
- (14) (8) NEW MULTI-PRODUCT DISPENSERS
- (15) NEW I.D. SIGN (BY SEPARATE PERMIT)
- (16) NEW 4" WIDE FIRE LANE STRIPE
- (17) NEW BARRIER FREE RAMPS
- (18) NEW 6" BOLLARDS IN PARKING SPACES (REF. ARCH. PLANS)
- (19) NEW FIRE HYDRANT LOCATION

SIDEWALK

## PAVING LEGEND



	PARKING AREA & FIRE LANE	6" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)
٩	DUMPSTER PAD & TANK PAD	7" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX)

## ICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX) R.O.W. PAVEMENT 8" THICK 4000 P.S.I. #4 REBAR AT 18" O.C.E.W. (6.5 SACK MIX) 4" THICK 3000 P.S.I. #3 REBAR AT 18" O.C.E.W. (5.5 SACK MIX)

## DATA SUMMARY TABLE

USE	COMMERCIAL (CONVENIENCE STORE W/FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	4,650 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
TOTAL PERVIOUS COVER	14,855 S.F. OR 23%
TOTAL IMPERVIOUS COVER	50,611 S.F. OR 77%
PARKING REQUIRED	19 SPACES (1/250 G.F.A.)
PARKING PROVIDED	39 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	4 SPACES

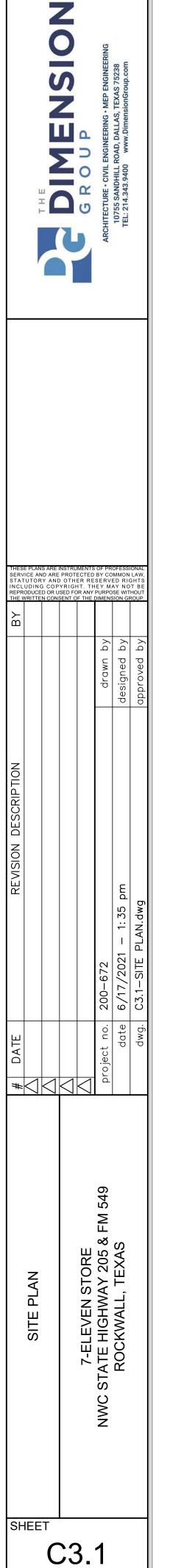
APPROVED

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of April, 2021.

WITNESS OUR HANDS, this \_\_\_\_ day of April, 2021.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

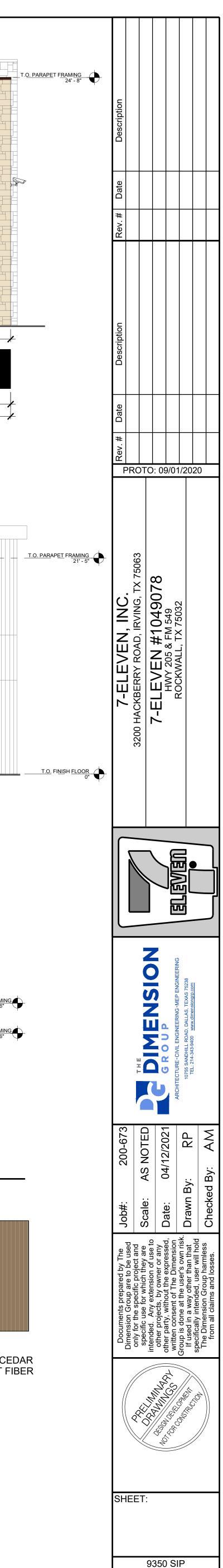


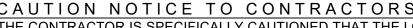
ENGINEER/APPLICANT THE DIMENSION GROUP 10755 SANDHILL ROAD DALLAS, TX, 75238 PHONE: (214) 343-9400 CONTACT: KEATON L. MAI, PE

LOT 1, BLOCK A, CREEKSIDE COMMONS ADDITION NWC STATE HIGHWAY 205 & F.M. 549 A 1.50 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CITY PROJECT #00000 June 10, 2021

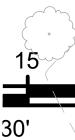
SITE PLAN

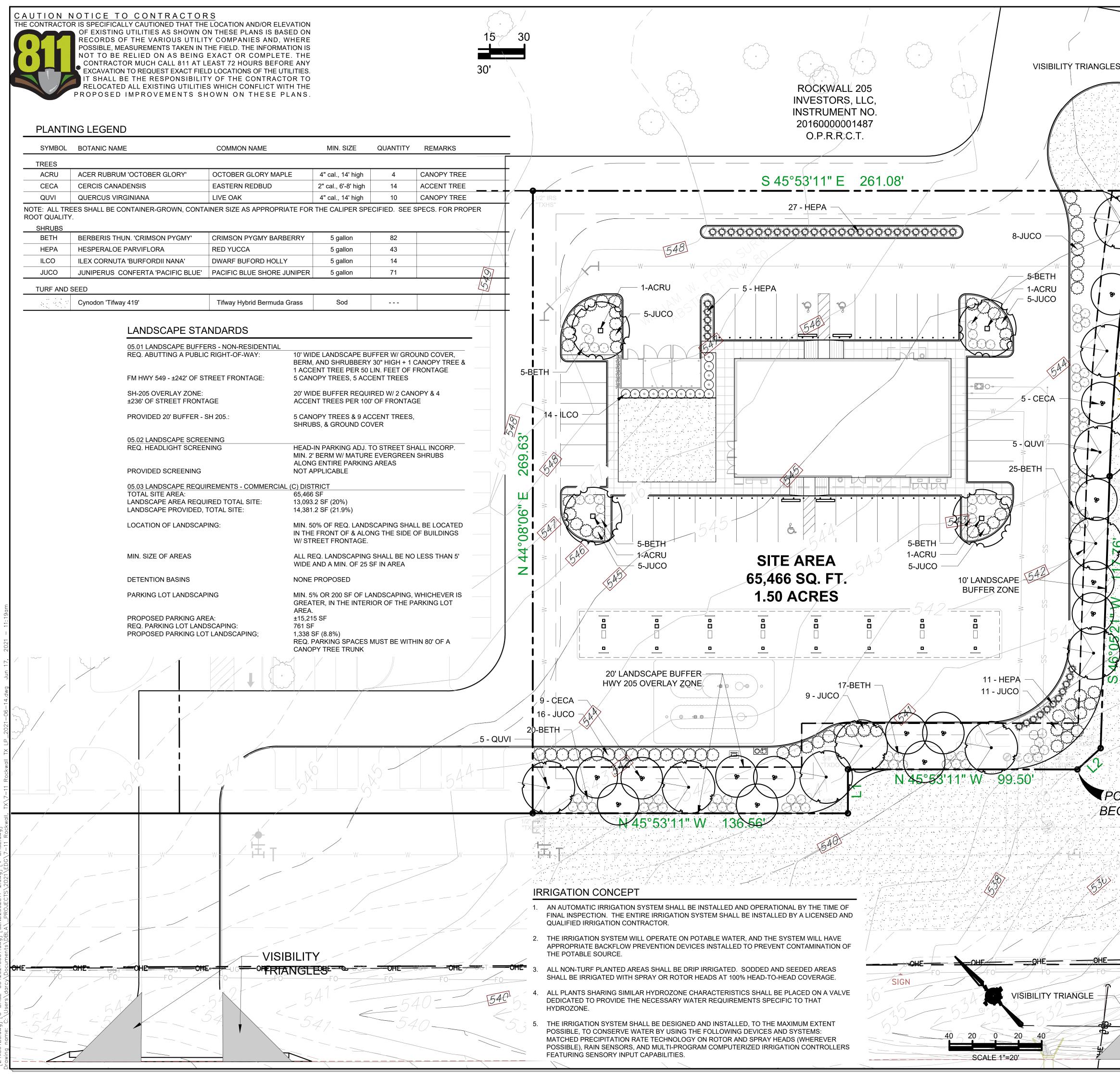












## **ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MÁNUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

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## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE

	CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND BLANTING NOTES" AND SPECIFICATIONS)		
CHES 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.11 16.	<ul> <li>CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).</li> <li>GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).</li> <li>BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.</li> <li>THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).</li> <li>IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE INAL ELEVATION OF THE SOIL SUFFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.</li> <li>BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.</li> <li>CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.</li> <li>THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.</li> <li>ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL</li></ul>	INCLUDING COP	EVERGRED B S I G N G R O U P S
EMHIGHWAY	<ul> <li>GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.</li> <li>e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOLL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOLL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.</li> <li>f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.</li> <li>4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNEP PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).</li> <li>a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).</li> <li>a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANTING METHODS, TREE PONTECTION METHODS, ETC.).</li> <li>b. MO SUBSTITUTIONS OF PLANT MATERIALS SHALL THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITIES, PLANT GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.</li> <li>b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IN WRITING (VIA PROPER CHANNELS).</li> <li>c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALL ALL AN THE LANDSCAPE ARCHITECT AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD. AND D</li></ul>	# DATE REVISION DESCRIPTION	△       →         △       →         Project no.       200-672         date       6/17/2021 - 11:19 am         dwg.       7-11 Rockwall TX LP_2021-06-14.dwg
THE CITY OF ROCKWALL, TEXAS OF THE CITY OF ROCKWALL ON WITNESS OUR HANDS, THIS DIRECTOR OF PLANNING & ZON PRUD 10755 DALLA	NG         CASE # : 000000-000         OWNER:         ENT GROUP         SANDHILL ROAD         AS, TX 75238         PHONE: 214-271-4630         CONTACT: MICHAEL HAMPTON         APPLICANT:         IMENSION GROUP         SANDHILL ROAD         PHONE: 214-343-9400         CONTACT: KEATON L. MAI, PE         LEGAL DESCRIPTION:         MWC STATE HIGHWAY 205 & F.M. 549         1.50 ACRE TRACT OF LAND	LANDSCAPE PLANTING PLAN	7-ELEVEN STORE NWC STATE HIGHWAY 205 & FM 549 ROCKWALL, TEXAS
E OHE	CITY: STATE: ROCKWALL TEXAS	SHEET	
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ROCKWALI

WILLIAM W. FORD

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## PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM
- SPECIALIZING IN LANDSCAPE PLANTING. 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE
- REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS. LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS. NOTES. AND DETAILS.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK

## PRODUCTS

- ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
  - FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS
  - J-SHAPED ROOTS). TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE
  - IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY. EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL
- 5 ALL TREES SHALL BE STANDARD IN FORM LINE SS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES
- ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER. AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT. MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED
- AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM
- HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER
- PLANTS, ROOTS, AND SEEDS COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER
- NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A
- TOP DRESSING OF TREES AND SHRUBS. TREE STAKING AND GUYING н STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER 3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL. PRE-EMERGENT HERBICIDES: ANY GRANULAR NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

## METHODS

- A. SOIL PREPARATION BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- 2. SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE
- LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX
- RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS. EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF
- ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1.000 S.F. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP
- 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
- "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE IRON SULPHATE - 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE
- FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT
- AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES. AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS,
- GEOTECHNICAL REPORT. THESE NOTES AND PLANS. AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE
- ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- (1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. 2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO
- MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- (3) FINISH GRADE
- (4) ROOT BALL.
- 5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS
- (6) UNDISTURBED NATIVE SOIL.
- (7) 3" HIGH EARTHEN WATERING BASIN.

#### THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE

B. SUBMITTALS

APPROPRIATE).

C GENERAL PLANTING

TREE PLANTING

1"-2" TREES

RECOMMENDATIONS

UNDERNEATH

TREE RINGS.

LANDSCAPE MAINTENANCE

NEATLY MOWED.

F. SODDING

MULCH

H. CLEAN UP

2-1/2"-4" TREES

MULTI-TRUNK TREES

MULTI-TRUNK TREES

3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY). 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED

#### REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.

TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK. WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).

ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE REE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY.

DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.

3. FOR CONTAINER AND BOX TREES. TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO

FOUR INCHES ABOVE THE SURROUNDING GRADE. 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKELL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK. USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFE-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL 6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: TWO STAKES PER TREE

THREE STAKES PER TREE

TREES OVER 4" CALIPER GUY AS NEEDED THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

#### SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST

2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE. 3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

#### SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL

5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD

INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND

#### 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH OVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS

3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

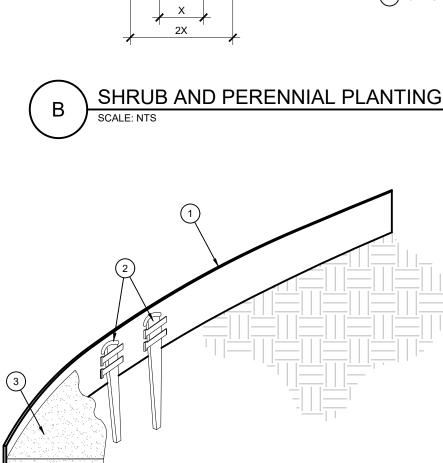
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING RESTAKING OF TREES RESETTING OF PLANTS THAT HAVE SETTLED. MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP. AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION 2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.

3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.

SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE

K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH

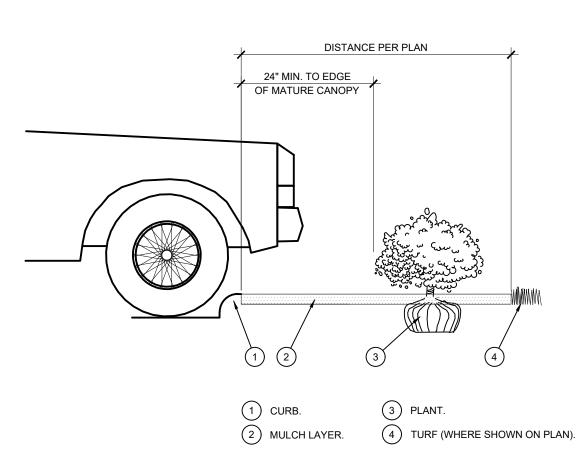
CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



(2) TAPERED STEEL STAKES. (3) MULCH, TYPE AND DEPTH PER PLANS 4) FINISH GRADE

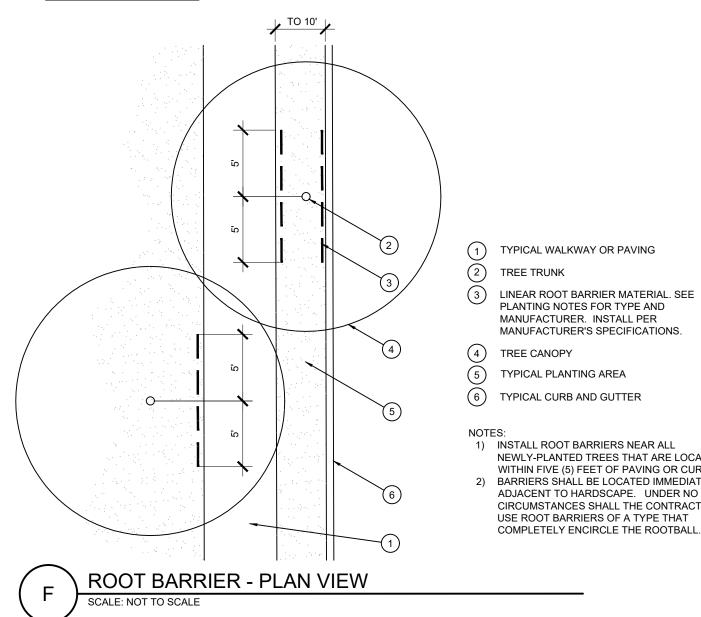
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE
- 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.





## PLANTING AT PARKING AREA SCALE: NOT TO SCALE

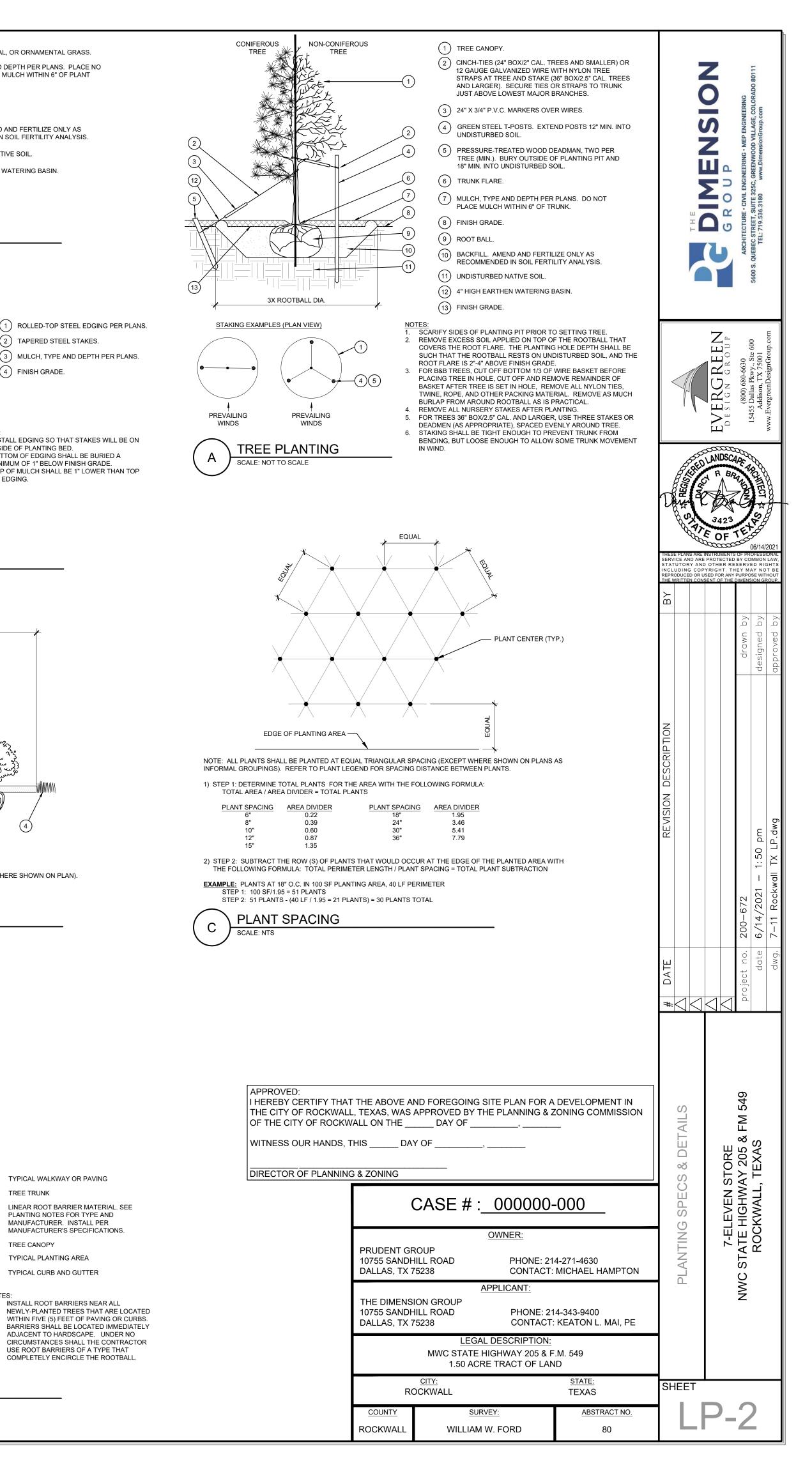
## PARKWAY **OR ISLAND** OPEN LANDSCAPE

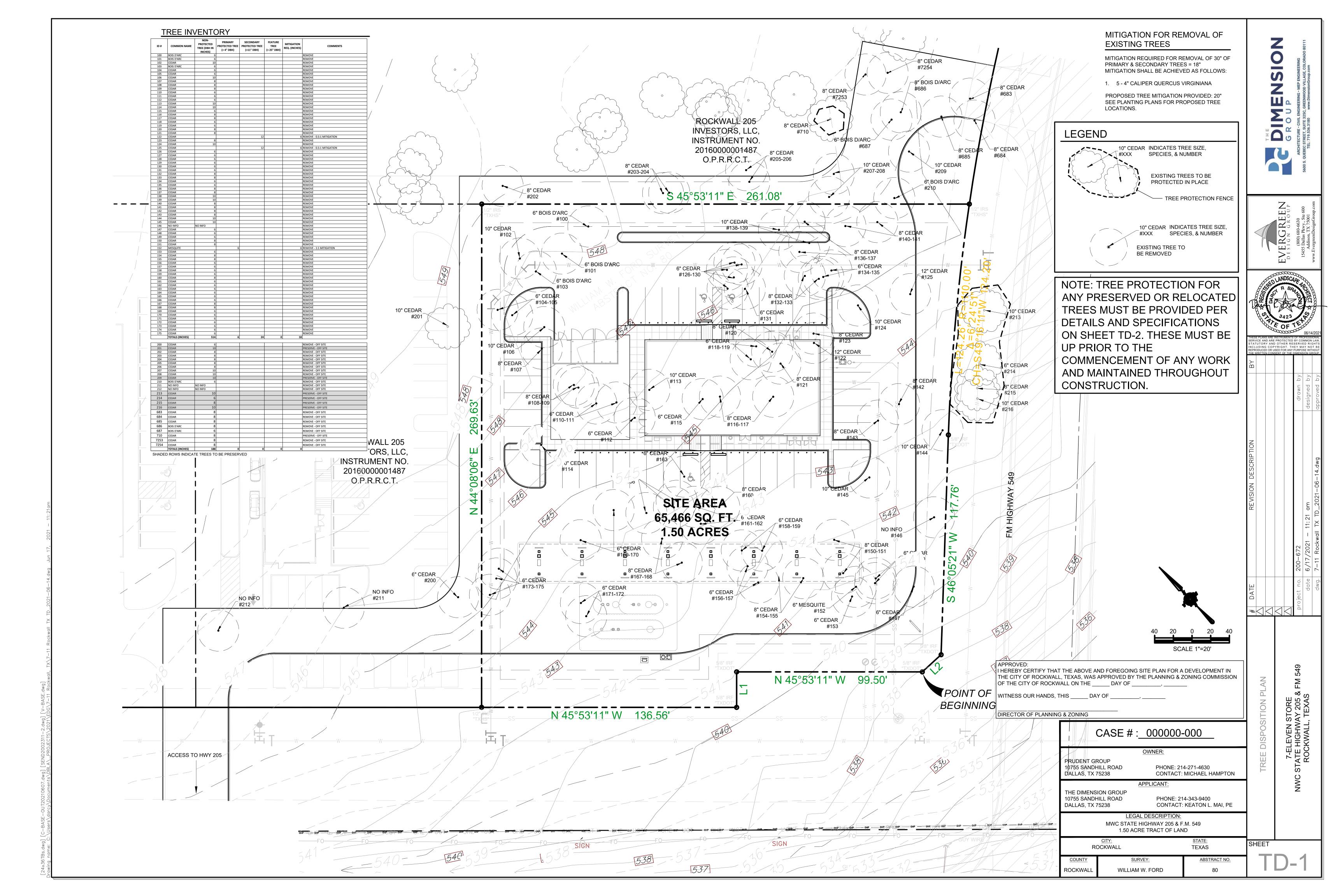


- (1) TYPICAL WALKWAY OR PAVING
- (2) TREE TRUNK
- (3) LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER, INSTALL PER MANUFACTURER'S SPECIFICATIONS

## (4) TREE CANOPY

- 5 TYPICAL PLANTING AREA (6) TYPICAL CURB AND GUTTER
- 1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT





## TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- 2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT. 3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE
- NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE 4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

- 2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- 3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST. AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- 5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- 6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- 7. WITHIN THE CRZ:
- a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE. b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR
- RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
- d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
- e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- 8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

## TREE PROTECTION GENERAL NOTES

- (A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
- (1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS; 2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES: (3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES. (B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN
- CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST. (C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT. THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE
- MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE. (D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE. (E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR. (F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES
- DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- (G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION. (H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.



CAUTION NOTICE TO CONTRACTORS THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUCH CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. T SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

- THROUGHOUT CONSTRUCTION. ON THE LEAVES.

SATISFACTION.

WET BURLAP.

9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.

10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES

11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.

12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S

13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.

14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR

15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED

16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION

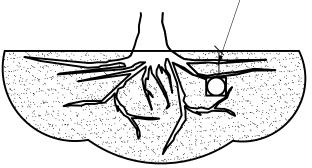
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

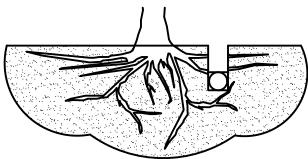
TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

- 12" MIN & 48" MAX DEPTH



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.

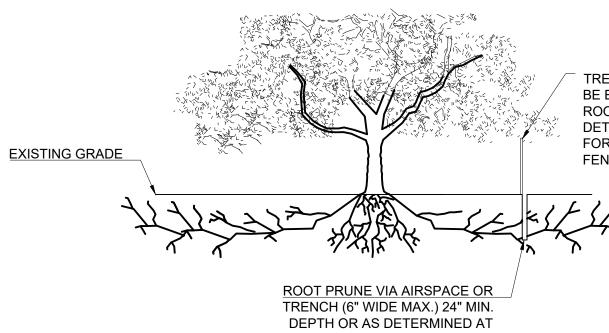


OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

BORING THROUGH ROOT PROTECTION ZONE SCALE: NOT TO SCALE

## NOTES

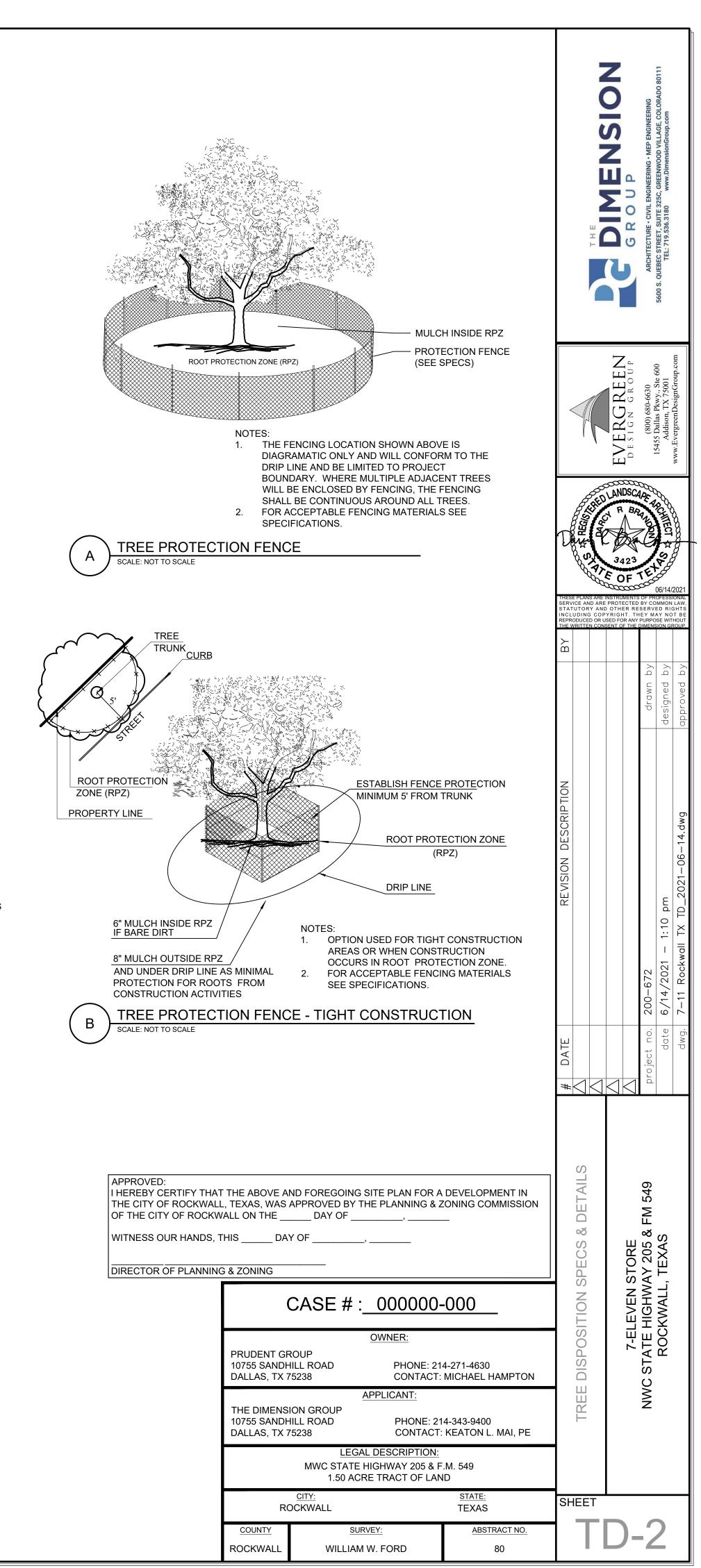
- 1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR .
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER
- ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH
- ANSI STANDARD A3000. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED
- IN WRITING BY THE FORESTRY INSPECTOR. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



TREE PROTECTION FENCE TO BE ERECTED IN LINE WITH ROOT PRUNING LIMITS. SEE DETAILS AND SPECIFICATIONS FOR TREE PROTECTION FENCE REQUIREMENTS.

PRE-CONSTRUCTION MEETING

ROOT PRUNING DETAIL SCALE: NOT TO SCALE



Luminaire S	chedule						
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	32	CPY-FLAT-A	SINGLE	1.000	7720	60	CPY250-B-DM-F-A-UL-BZ-57K-HZ
	7	CPY-FLAT-C	SINGLE	1.000	4520	31	CPY250-B-DM-F-C-UL-BZ-57K-HZ
<b></b>	3	XSPLG-3ME	SINGLE	1.000	23600	184	XSPLG-D-HT-3ME-24L-57K7-UL-BZ-N
<b></b>	1	XSPLG-4ME	SINGLE	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
	3	XSPLG-4ME-2(180)	2 @ 180°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
	1	XSPLG-4ME-3	3 @ 90°	1.000	23600	184	XSPLG-D-HT-4ME-24L-57K7-UL-BZ-N
	9	XSPW	WALL MOUNT	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-BZ

## Calculation Summary (Footcandles calculated using initial lumen values @ 25°C)

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	1.82	25.6	0.0	N.A.	N.A.
GAS CANOPY	Fc	36.70	43	20	1.84	2.15
PAVED AREA	Fc	6.61	25.6	0.8	8.26	32.00

Pole Schedule

(8) SSS-4-11-17-CW-BS-OT-C-BZ (17' X 4" X 11ga STEEL SQUARE POLE) Proposed poles meet 140 MPH sustained winds.

### Additional Equipment:

(4) PD-1H4BZ (Single Head Tenon) (3) PD-2H4(180)BZ (Twin Head Tenon @ 180°)

(1) PD-3H4(90)BZ (Triple Head Tenon @ 90°)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*

BOM: Complete Part Description CPY250-B-DM-F-A-UL-WH-57K-HZ 32 07 CPY250-B-DM-F-C-UL-WH-57K-HZ 03 XSPLG-D-HT-3ME-24L-57K-UL-BZ-N 10 XSPLG-D-HT-4ME-24L-57K-UL-BZ-N 09 XSPW-B-WM-3ME-4L-57K-UL-BZ 08 SSS-4-11-17-CW-BS-OT-N-BZ 04 PD-1H4BZ 03 PD-2H4(90)BZ 01 PD-2H4(180)BZ

## DATA SUMMARY TABLE

USE	COMMERCIAL (CONVENIENCE STORE W/FUEL SALES)
LOT AREA	65,466 S.F. (1.50 ACRES)
BUILDING SQUARE FOOTAGE	4,650 S.F.
CANOPY SQUARE FOOTAGE	3,640 S.F.
FAR	0.13:1
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
TOTAL PERVIOUS COVER	14,855 S.F. OR 23%
TOTAL IMPERVIOUS COVER	50,611 S.F. OR 77%
PARKING REQUIRED	19 SPACES (1/250 G.F.A.)
PARKING PROVIDED	39 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	4 SPACES



results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting,or energy code.

Project Name: 7-Eleven

16-57

SR-35615

A COMPANY OF **IDEAL INDUSTRIES, INC.** 9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

en #1	04	907	78	Ro	DCk For			•			tod										File	nam	ne: 7	11_1	2105	120	אאעדי			1			Layou Chris	-				5	Scale	1" = 3	30'		60				1	_ 20
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	0.0 <sup>†</sup> 0. 0.0 <sup>†</sup> 0. 0.0 <sup>†</sup> 0. 0.0 <sup>†</sup> 0.															0.1     0       0.1     0       0.1     0       0.1     0       0.0     0		.1 0.1 .1 0.0 .0 0.0	1 0.1 0 0.0 0 0.0 0 0.0	0.1 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	<sup>+</sup> 0.1 <sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0	<sup>†</sup> 0.1 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	to.1     to       to.0     to       to.0     to       to.0     to       to.0     to       to.0     to	.1 0.1 .0 0.0 .0 0.0									to.1     to.1       to.0     to.1       to.0     to.1       to.0     to.1       to.0     to.1       to.0     to.1		<sup>+</sup> 0.0	to.o     to.o       to.o     to.o       to.o     to.o       to.o     to.o       to.o     to.o       to.o     to.o	.0 0.0		0.0 to.0 0.0 to.0 0.0 to.0	b     to.o	to.o     to.o       to.o     to.o       to.o     to.o       to.o     to.o	0.0 0.0 0.0 0.0 0.0 0.0	0 0.0	o.o     t       t     t       t     t       t     t       t     t       t     t       t     t	0.0 <sup>†</sup> 0.0	0 0.0	<sup>+</sup> 0.0	
	0.0         ¢.           0.0         ¢.           0.0         °c.           0.0         °c.           0.0         °c.           0.0         °c.	<sup>†</sup> 0.1 <sup>†</sup> 0.1	<sup>†</sup> 0.3 <sup>†</sup> 0.3	<sup>+</sup> 1,3 <sup>+</sup> 1.3 <sup>+</sup> 1.3	3.1 <sup>4</sup> 3.0 <sup>4</sup>	.8 <sup>+</sup> 6 .3 <sup>+</sup> 9 .3 <sup>+</sup> 9	.3 <sup>†</sup> 8. .3 <sup>†</sup> 11 .1 <sup>†</sup> 11	1 <sup>‡</sup> 2. .7 <sup>‡2</sup> .7 <sup>×2</sup> S .4 <sup>2</sup> .	0 1.0 PLG <sup>-1</sup> 9 PLG-31 I: 20 7 1.0	<sup>†</sup> 0.9 ME <sup>†</sup> 0.5 <sup>†</sup> 0.5	<sup>+</sup> 0.8 <sup>+</sup> 0.4 <sup>+</sup> 0.3	<sup>+</sup> 0.9 <sup>+</sup> 0.5 <sup>+</sup> 0.3	<sup>†</sup> 1.3 <sup>†</sup> 0.7 <sup>†</sup> 0.4	<sup>+</sup> 2.0 <sup>+</sup> 0.9 <sup>+</sup> 0.4	€ 20 2.0 0.8 0.3	1.5 to 0.8 to 0.5 to	0.9 <sup>†</sup> 0. 0.4 <sup>†</sup> 0. 0.2 <sup>†</sup> 0.	.7 <sup>†</sup> 0.6 .3 <sup>†</sup> 0.2 .2 <sup>†</sup> 0.1	6 <sup>†</sup> 0.5 2 <sup>†</sup> 0.2 1 <sup>†</sup> 0.1	5 <sup>†</sup> 0.4 2 <sup>†</sup> 0.2 <sup>†</sup> 0.1	<sup>+</sup> 0.3 <sup>†</sup> 0.2 <sup>+</sup> 0.1	<sup>+</sup> 0.3 <sup>†</sup> 0.2 <sup>†</sup> 0.1	<sup>1</sup> 0.3 <sup>1</sup> 0 <sup>1</sup> 0.2 <sup>1</sup> 0 <sup>1</sup> 0.1 <sup>1</sup> 0	.3 0.3 .2 0.2 .1 0.1	<sup>†</sup> 0.3 <sup>†</sup> 0.2 <sup>†</sup> 0.1	<sup>†</sup> 0.3 <sup>†</sup> 0.2 <sup>†</sup> 0.1	0.3     0.3       0.2     0.3       0.1     0.3	3 <sup>†</sup> 0.3 2 <sup>†</sup> 0.2 1 <sup>†</sup> 0.1	†0.3 †0.2 †0.1	0.3 0 0.2 0 0.1 0	.3 0.3 .2 0.2 .1 0.1	0.3 0.2 0.1	to.3     to.3       to.2     to.3       to.1     to.3	2 <sup>†</sup> 0.2 1 <sup>†</sup> 0.1 1 <sup>†</sup> 0.1	0.2 0.1 0.1	<sup>†</sup> 0.1	1 0.1 1 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.0 <sup></sup>	0.0 <sup>†</sup> 0.0 0.0 <sup>†</sup> 0.0	0     \$\u00e9.0	to.o to to.o to to.o to	5.0 ō.c 5.0 ō.c 5.0 ō.c	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	0.0 to 0.0 to 0.0 to	0.0 ō.0 0.0 ō.0 0.0 ō.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	
	0.0 <sup>†</sup> 0.∙ 0.0 <sup>†</sup> 0.∙	0.1 0.1 0.1	<sup>†</sup> 0.3 <sup>†</sup> 0.3 <sup>†</sup> 0.4	<sup>†</sup> 0.4 <sup>†</sup> 0.6 <sup>†</sup> 0.9	0.5 0 0.9 <u>1</u> 1.5 2	.6 <sup>†</sup> 0. . <u>2 <sup>†</sup>1.</u> .2 <sup>‡</sup> 2.	.7 <sup>†</sup> 0. <u>3 <sup>†</sup>1.</u> .3 <sup>‡</sup> 2.	8 <sup>†</sup> 0. <u>3 <sup>†</sup>0.</u> 2 <sup>†</sup> 1.:	6 0.7 9 <u>1.0</u> 2 <u>1.2</u> 5 <u>1.3</u>	1.0 1.6 2.0 2.1	<sup>+</sup> 1.3 <u>+</u> 2.4 <sup>+</sup> 3.3 <sup>+</sup> 3.1	<sup>+</sup> 1.5 <u>+</u> 2.6 <sup>+</sup> 3.4 <sup>+</sup> 4.0	<sup>+</sup> 1.7 <u>+</u> 2.9 <sup>+</sup> 4.1 <sup>+</sup> 6.6	<sup>+</sup> 1.8 <sup>+</sup> 3.2 <sup>+</sup> 5.0 <sup>+</sup> 10.9	<sup>+</sup> 1.8 <sup>+</sup> 3.3 <sup>+</sup> 5.1 <sup>+</sup> 11.7	<sup>+</sup> <u>3.1</u> <sup>+</sup> <u>4.5</u> <sup>+</sup> <u>4.5</u> <sup>+</sup> <u>4.5</u> <sup>+</sup> <u>4.5</u>	1.8 <sup>†</sup> 1.9 2.9 <sup>†</sup> 2. 3.6 <sup>†</sup> 3. 4.5 <sup>†</sup> 3.	.9 <sup>†</sup> 1.9 .8 <sup>†</sup> 2.3 .7 <sup>†</sup> 2.6 .4 <sup>†</sup> 2.4	9 <sup>1</sup> 2.4 3 <sup>1</sup> 2.0 6 <sup>1</sup> 1.8 4 <sup>1</sup> 1.6	4 <sup>+</sup> 5.2 0 <sup>+</sup> 2.8 6 <sup>+</sup> 1.6 6 <sup>+</sup> 1.2	<sup>+</sup> 4.8 <sup>+</sup> 1.9 <sup>+</sup> 1.0	<sup>+</sup> 7.0 <sup>+</sup> 2.3 <sup>+</sup> 1.1	<sup>*</sup> 8.1 <sup>*</sup> 8 <sup>*</sup> 2.6 <sup>*</sup> 2 <sup>*</sup> 1.1 <sup>*</sup> 1	.5 \$8.6 .7 \$2.6 .1 \$1.1	•© €8.7 • €8.7 • €8.7 • • • • • • • • • • • • • • • • • • •	*8.7 ⊙ *2.8 *1.1	\$.6° \$8.6 <b>2.8</b> <b>1.1 1.1</b>	MH: 16 8.6 3 <sup>1</sup> 2.8	5 <sup>*</sup> 8.6 <sup>*</sup> 2.8 <sup>*</sup> 1.1	8.6     8       2.7     2       1.1     1	.6 <sup>*</sup> 8.5 .7 <sup>*</sup> 2.7 <u>.1 <sup>*</sup>1.1</u>	*8.5 *2.7 *1.0	<sup>+</sup> 8.4 <sup>+</sup> 8. <sup>+</sup> 2.6 <sup>+</sup> 2. <sup>+</sup> 1.0 <sup>+</sup> 0.	1 <sup>†</sup> 7.3 5 <sup>†</sup> 2.2 9 <sup>†</sup> 0.8	2 <u>6</u> 20 17.3 5.5 1.7 0.7	7.9     2.       3.0     1.       1.1     0.       0.5     0.	5 0.8 3 0.5 6 0.3 3 0.2	0.3     0       0.3     0       0.2     0       0.1     0	0.2 <sup>†</sup> 0.4 0.1 <sup>†</sup> 0.4 0.1 <sup>†</sup> 0.4 0.1 <sup>†</sup> 0.4	1 0.1 1 0.1 1 0.1 1 0.1 1 0.0	* 0.0 * 0.0 * 0.0 * 0.0 * 0.0	5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0	0     0.0       0     0.0       0     0.0       0     0.0       0     0.0	0.0     0       0.0     0       0.0     0       0.0     0       0.0     0	5.0 5.0 5.0 5.0 5.0 5.0 5.0 5.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	то.о то.о то.о то.о то.о	
		0.0 <sup>+</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0.1 <sup>+</sup> 0.1	<sup>†</sup> 0.0 <sup>+</sup> 0.1	Ⴆ.0 Ⴆ Ⴆ.1 Ⴆ Ⴆ.1 Ⴆ	.1 <sup>†</sup> 0. .1 <sup>†</sup> 0. .1 <sup>†</sup> 0.	.1 <sup>+</sup> 0. .1 <sup>+</sup> 0. .2 <sup>+</sup> 0.	1 0. 1 0.	1 <sup>†</sup> 0.0 1 <sup>†</sup> 0.1 1 <sup>°</sup> 0.1	0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	+0.1 +0.1 +0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	0.1 ↓0.1 ↓0.1	<sup>+</sup> 0.1 → 0.1 → 0.2	<sup>+</sup> 0.2 <sup>+</sup> 0.2 <sup>+</sup> 0.2	<sup>†</sup> 0.3 <u>t</u> <sup>†</sup> 0.3 <u>t</u> <sup>†</sup> 0.3 <u>t</u>	).7 <sup>†</sup> 1.1 ).6 <sup>†</sup> 1.1	.6 3.9 .3 2.9 .1 3.0	9 <sup>+</sup> 9.5 9 <sup>+</sup> 7.3 0 <sup>+</sup> 5.4	5 <sup>†</sup> 11.1 3 <sup>†</sup> 11.2 4 <sup>†</sup> 6.7	<sup>+</sup> 14.1 <sup>+</sup> 11.8 <sup>+</sup> 11.0	<sup>+</sup> 13.8 <sup>+</sup> 12.6 <sup>+</sup> 14.2	<sup>†</sup> 11.5 <sup>†</sup> <sup>†</sup> 12.5 <sup>†</sup>	.0 <sup>+</sup> 3.9 .6 <sup>+</sup> 5.5	<sup>+</sup> 2.8 <sup>+</sup> 4.6	<sup>+</sup> 2.3 <sup>+</sup> 4.2	<sup>+</sup> 2.0 <sup>+</sup> 2.0 <sup>+</sup> 4.1 <sup>+</sup> 4.0	0 <sup>‡</sup> 2.1	<sup>+</sup> 2.2 <sup>+</sup> 4.1 <sup>+</sup> 12.5	<sup>*</sup>   <sup>*</sup> 2.2 <sup>*</sup> 2 <sup>*</sup> 4.1 <sup>*</sup> 4 <sup>*</sup> 12.5 <sup>*</sup> 1	1 <sup>1</sup> .9 .0 <sup>4</sup> .0 2.4 <sup>1</sup> 2.4	<sup>†</sup> 1.8 <sup>†</sup> 3.9 <sup>†</sup> 12.3	<sup>1</sup> .6 <sup>1</sup> .4 <sup>3</sup> .8 <sup>3</sup> .7 <sup>1</sup> 2.2 <sup>1</sup> 1	5 <sup>1</sup> .7 7 <sup>3</sup> .4 .9 <sup>1</sup> 0.9	<sup>†</sup> 1.7 <sup>†</sup> 2.8 <sup>†</sup> 8.3	<sup>+</sup> 1.5 <sup>−</sup> 1. <sup>+</sup> 1.9 <sup>−</sup> 1. <sup>+</sup> 4.4 <sup>−</sup> 1.	3 <sup>†</sup> 1.1 2 <sup>†</sup> 0.9 8 <sup>†</sup> 0.9	0.6 to 0.5 to	0.2 <sup>†</sup> 0.4 0.2 <sup>†</sup> 0.4 0.2 <sup>†</sup> 0.4	1 0 1 1 0 1 1 0.1 1 0.1 1 0.1	0.1 to	0.0 0.0 0.0 0.0 0.0 0.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	0.0     0       0.0     0       0.0     0       0.0     0	0.0 Ō.0 0.0 Ō.0 0.0 Ō.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	
	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0	<ul> <li>↓0.0</li> <li>↓0.0</li> <li>↓0.0</li> <li>↓0.0</li> </ul>	to.o       to.o       to.o       to.o       to.o       to.o	0.0 0 0.0 0 0.0 0 0.0 0	.0 <sup>†</sup> 0 .0 <sup>†</sup> 0 .0 <sup>†</sup> 0 .0 <sup>†</sup> 0	.0 <sup>†</sup> 0. .0 <sup>†</sup> 0. .0 <sup>†</sup> 0.	0 . 0 . 0 . 0 . 0 . 0 . 0 . 0 .	0.0 <sup>+</sup> 0.0 0 <sup>+</sup> 0.0 0.0 <sup>+</sup> 0.0 0.0 <sup>+</sup> 0.0	0.0 0.0 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 0.0 <sup>†</sup> 0.0	*0.1 *0.1 *0.1 *0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	0.1 0.1 0.1 0.1 0.1	<sup>†</sup> 0.2 <sup>†</sup> 0.2 <sup>†</sup> 0.2 <sup>†</sup> 0.2	0.3     0       0.3     0       0.3     0       0.3     0       0.3     0       0.3     0	0.6 <sup>1</sup> . 0.5 <sup>1</sup> . 0.5 <sup>1</sup> .	.0 <sup>1</sup> 2.7 .1 <sup>1</sup> 2.6 .5 <sup>3</sup> 3.6	7 $\stackrel{+}{2}.1$ 7 $\stackrel{+}{4}.0$ 6 $\stackrel{+}{6}.7$ 6 $\stackrel{+}{8}.4$	i <sup>†</sup> 2.6 ) <sup>†</sup> 3.7 7 <sup>†</sup> 9.0 i <sup>†</sup> 10.8	<sup>+</sup> 2.9 <sup>+</sup> 4.2 <sup>+</sup> 9.3 <sup>+</sup> 12.6	<sup>+</sup> 2.8 <sup>+</sup> 4.0 <sup>+</sup> 9.0 × <sup>+</sup> 9.7	<sup>1</sup> 2.2 <sup>1</sup> 2 <sup>1</sup> 4.0 <sup>1</sup> 3 <sup>1</sup> 8.3 <sup>1</sup> 4 <sup>1</sup> 8.3 <sup>1</sup> 4	.1 <sup>2</sup> .1 .7 <sup>2</sup> .3 .3 <sup>2</sup> .4 . <mark>680)</mark> <sup>5</sup> .1		<sup>4</sup> .9 <sup>4</sup> .9 <sup>4</sup> .2 <sup>*</sup> 4.2	3.4 <sup>+</sup> 5.9		12.5		0.9			<ul> <li><sup>+</sup>5.6</li> <li><sup>+</sup>6.0</li> <li><sup>+</sup>3.6</li> <li>9<sup>°</sup></li> <li><sup>+</sup>2.5</li> </ul>	<sup>+</sup> 5.2 <sup>+</sup> 4.5 <sup>+</sup> 3.6 <sup>+</sup> 3.0	<sup>+</sup> 4.4 <sup>6</sup> . <sup>-</sup> 3.9 <sup>4</sup> . <sup>+</sup> 3.7 <sup>5</sup> 3.7 <sup>5</sup> 3. <sup>+</sup> 3.2 <sup>5</sup> 3.2	2 <sup>†</sup> 10.7 .5 <sup>6</sup> .3 .7 <sup>†</sup> 3.8 .1 <sup>†</sup> 2.7	*4.8 ** *2.7 ** *1.8 **	.2 <sup>6</sup> .3 0.8 <sup>6</sup> .2 0.5 <sup>6</sup> .3	5     0.3       7     0.4       4     0.3       3     0.2       2     0.1	to.z     to.z       to.z     to.z       to.z     to.z       to.z     to.z       to.z     to.z       to.z     to.z	b.1     b.1       b.1     b.1       b.1     b.1       b.1     b.1       b.1     b.1	□ <sup>†</sup> 0.0 □ <sup>†</sup> 0.0 □ <sup>†</sup> 0.0 □ <sup>†</sup> 0.0	0.0 00 0.0 00 0.0 00 0.0 00	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	⁺ō.0 †ō.0 †ō.0 †ō.0	
	0.0 to.0 0.0 to.0 0.0 to.0 0.0 to.0	0 0.0 0 0.0 0 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0	0.0       0.0       0.0       0.0	0.0 0 0.0 0 0.0 0	.0 <sup>+</sup> 0. .0 <sup>+</sup> 0. .0 <sup>+</sup> 0.	.0 <sup>†</sup> 0. .0 <sup>†</sup> 0. .0 <sup>†</sup> 0.	0 <sup>†</sup> 0. 0 <sup>†</sup> 0. 0 <sup>†</sup> 0.	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	<sup>+</sup> 0.1	<sup>†</sup> 0.1 0.1 <sup>†</sup> 0.1	<sup>†</sup> 0.2	<sup>+</sup> 0.2 0.2 <sup>+</sup> 0.2	<sup>+</sup> 0.4 <sup>+</sup> 0.3 <sup>+</sup> 0.3	<sup>†</sup> 0.6 <sup>†</sup> 1 <sup>†</sup> 0.6 <sup>†</sup> 1 <sup>†</sup> 0.5 <sup>†</sup> 0.5	1.2 <sup>†</sup> 2. 1.0 <sup>†</sup> 2. 0.8 <sup>†</sup> 1.1	.6 <sup>4</sup> .5 .0 <sup>3</sup> .5 .6 <sup>3</sup> .3	5 <sup>†</sup> 11.: 5 <sup>†</sup> 8.7 3 <sup>†</sup> 5.9	2 <sup>16.4</sup> 7 <sup>13.2</sup> 9 <sup>7.7</sup>	<sup>‡</sup> 20.0 <sup>†</sup> 15.6 <sup>†</sup> 11.3	, MH: 20.1 <sup>†</sup> 15.6 11.0	20 17.6 1 13.8 8 7.5 6	2.2 $\stackrel{+}{}_{0.6}$	<sup>+</sup> 6.6	6.3 5.7 5.8	<sup>+</sup> 5.6 <sup>+</sup> 4.1	7 4.6	* 4.4	<sup>+</sup> 4.2 <sup>+</sup> 4	.4 5.8 .7 10.1	+	<sup>+</sup> 6.7 <sup>+</sup> 6.2	2 6.2 6.7 7.3 6.5	5.6 5.9 5.4	<sup>+</sup> 5.2 <sup>+</sup> 4. <sup>+</sup> 4.9 <sup>+</sup> 4. <sup>+</sup> 4.5 <sup>+</sup> 4. <sup>+</sup> 4.4 <sup>+</sup> 6.	.7 <sup>5</sup> .5 .3 <sup>4</sup> .3 .8 <sup>6</sup> .4 .2 <sup>1</sup> 0.6	<sup>†</sup> 1.9 <sup>†</sup> <sup>†</sup> 2.0 <sup>†</sup> <sup>†</sup> 2.8 <sup>†</sup> <sup>†</sup> 4.8 <sup>†</sup> XSPLG	0.6 <sup>†</sup> 0.3 0.7 <sup>†</sup> 0.4 0.9 <sup>†</sup> 0.8 -3ME <sup>†</sup> 0.8	3     0.2       3     0.2       4     0.2       5     0.3       3     0.4	to.1     to       to.1     to       to.1     to       to.2     to       to.2     to	b.1     b.1       b.1     b.1       b.1     b.1       b.1     b.1       b.1     b.1	1 <sup>†</sup> 0.0 1 <sup>†</sup> 0.0 1 <sup>†</sup> 0.0 1 <sup>†</sup> 0.0	5 0.0 5 0.0 5 0.0 5 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	ъ.о ъ.о ъ.о ъ.о	
	0.0 to.0 0.0 to.0 0.0 to.0 0.0 to.0 0.0 to.0	0 ō.0 → ō.0 → ō.0 → ō.0 → ō.0	<sup>+</sup> 0.0 −0.0 −0.0 +0.0 +0.0	<ul> <li><sup>†</sup>0.0</li> <li><sup>†</sup>0.0</li> <li><sup>†</sup>0.0</li> <li><sup>†</sup>0.0</li> </ul>	b.o     to       b.o     to       b.o     to       b.o     to       b.o     to       b.o     to	.0 0. .0 0 .0 0 .0 0 .0 0 .0 0 .0 0 .0 0	.0 to. .0 to. .0 to. .0 to. .0 to.	o <sup>†</sup> o. o <sup>†</sup> o. o <sup>†</sup> o. o <sup>†</sup> o. o <sup>†</sup> o.	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	<ul> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.1</li> </ul>	0.1 0.1 0.2 0.2 0.2 0.2	<ul> <li><sup>+</sup>0.2</li> <li><sup>+</sup>0.2</li> <li><sup>+</sup>0.2</li> <li><sup>+</sup>0.3</li> <li><sup>+</sup>0.3</li> </ul>	0.3     0       0.4     0       0.4     0       0.5     0       0.6     1	0.5 0. 0.6 1.: 0.8 1.: 0.9 1.: 0.9 1.:	.7 0.8 .2 1.6 .6 3.7 .9 4.6 .4 4.6	8 <sup>1</sup> .0 6 <sup>2</sup> :0 7 <sup>4</sup> .7 6 <sup>5</sup> .8 6 <sup>1</sup> 1.	) <sup>†</sup> .4 ) <sup>†</sup> .7 , <sup>†</sup> .1 3 <sup>†</sup> 1.0 .1 <sup>†</sup> 17.6	1.7 3.5 6.2 13.4 18.0	<sup>†</sup> 2.1 <sup>†</sup> 4.0 <sup>†</sup> 6.8 <sup>†</sup> 13.8 <sup>†</sup> 18.7	1/2.9     1/4       1/4.4     1/5       1/7.1     1/8       1/3.2     1/1       1/19.4     1/1	.8 <sup>6</sup> .3 .6 <sup>†</sup> 11. .9 <sup>†</sup> 12. 3.6 <sup>†</sup> 13.	*     *     *     8.0       0     *     11.2       8     *     14.7       5     *     15.1       5     *     12.3	<sup>†</sup> 10.1 <sup>†</sup> 10.9 <sup>†</sup> 13.7 <sup>†</sup> 13.6 <sup>†</sup> 12.3	<sup>†</sup> 7.7 <sup>†</sup> 5.4 <sup>†</sup> 10.4 <sup>†</sup> 9.4 <sup>†</sup> 35 <sup>5</sup> <sup>1</sup> C <sup>4</sup> XS <sup>5</sup> <sup>1</sup> C <sup>4</sup> MH: 20 <sup>1</sup> 3.7 <sup>9</sup> .6 <sup>†</sup> 10.7 <sup>†</sup> 9.6	$\begin{array}{ccc} 3 & {}^{4}.1 \\ 5 & {}^{4}.0 \\ \hline \hat{4}ME^{-\frac{1}{2}}} \\ \hat{4}ME^{-\frac{1}{2}} \\ \hat{5} & {}^{4}.6 \\ \hat{5} & {}^{4}.4 \\ \end{array}$	<sup>†</sup> 2.2 <sup>†</sup> 2.5 180) <sup>†</sup> 3.1 <sup>†</sup> 3.1 <sup>†</sup> 2.7	1.4     1       2.0     2       2.3     2       2.3     2       2.3     2       2.1     2	.7 <sup>*</sup> 3.2 .2 <sup>*</sup> 3.1 .7 <sup>*</sup> 3.5 .7 <sup>*</sup> 3.6 .4 <sup>*</sup> 3.3	<sup>+</sup> 5.6 <sup>+</sup> 7.2 <sup>+</sup> 7.9 <sup>+</sup> 7.8 <sup>+</sup> 7.5	$\overline{6.5}$ $\overline{9}$ . $\overline{10.4}$ $\overline{10}$ $\overline{11.4}$ $\overline{14}$ $\overline{11.5}$ $\overline{14}$ $\overline{10.2}$ $\overline{11}$	1 8.6 1.6 10.7 14.2 .0 14.2 .7 11.7	<sup>†</sup> 6.2 †10.6 <b>* 107LC</b> <b>MH: 20</b> 11.1	$\frac{1}{5}$ .4 $\frac{1}{2}$ . $\frac{1}{5}$ .9 $\frac{1}{2}$ . $\frac{1}{6}$ .4 ME-2( $\frac{1}{6}$ .9 $\frac{1}{3}$ . $\frac{1}{6}$ .8 $\frac{1}{3}$ .	.9 <sup>1</sup> .7 8 <sup>1</sup> .7 180) <sup>2</sup> .1 3 <sup>2</sup> .3 4 <sup>2</sup> .3	1.3     1       1.0     1       1.1     1       1.2     1       1.3     1	.0 <sup>†</sup> 0.6 .6 <sup>†</sup> 0.4 .6 <sup>†</sup> 0.4 .6 <sup>†</sup> 0.4 .6 <sup>†</sup> 0.5 .6 <sup>†</sup> 0.5	5     0.3       4     0.3       4     0.2       3     0.2       3     0.2	to.2     to       to.2     to       to.2     to       to.1     to	b.1     b.1     b.1       b.1     b.1     b.1       b.1     b.1     b.1       b.1     b.1     b.1	i ō.1 ō.1 i ō.0 i ō.0 i ō.0 i ō.0	5     0.0       5     0.0       5     0.0       5     0.0       5     0.0       5     0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0     0.0       0     0.0       0     0.0       0     0.0       0     0.0       0     0.0       0     0.0       0     0.0	ъ́.о ъ́.о ъ́.о ъ́.о ъ́.о	
- - - -	0.0 to.0 0.0 to.0 0.0 to.0 0.0 to.0 0.0 to.0	0     5.0       0     5.0       0     5.0       0     5.0       0     5.0       0     5.0       0     5.0	to.o       to.o	•0.0       •0.0       •0.0       •0.0       •0.0       •0.0       •0.0			.0 0.	o <sup>+</sup> 0.	o <sup>†</sup> o.o o <sup>†</sup> o.o	5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0	<ul> <li>↓0.0</li> <li>↓0.0</li> <li>↓0.0</li> <li>↓0.0</li> </ul>	<sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0 <sup>+</sup> 0.0	€.0 €.1 €.1 €.1	<sup>+</sup> 0.0 <sup>+</sup> 0.1 <sup>+</sup> 0.1 <sup>+</sup> 0.1	<ul> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.1</li> <li>0.2</li> </ul>	0.1     0       0.1     0       0.1     0       0.1     0       0.1     0       0.2     0	0.1 <sup>†</sup> 0. 0.1 <sup>†</sup> 0. 0.1 <sup>†</sup> 0. 0.2 <sup>†</sup> 0.	.1 0.1 .1 0.1 .2 0.2 .2 0.3	1 <sup>†</sup> 0.1 1 <sup>†</sup> 0.2 2 <sup>†</sup> 0.2 3 <sup>†</sup> 0.4	1 <sup>†</sup> 0.1 2 <sup>†</sup> 0.2 2 <sup>†</sup> 0.3 4 <sup>†</sup> 0.5	<sup>†</sup> 0.1 <sup>†</sup> 0.2 <sup>†</sup> 0.4 <sup>†</sup> 0.6	<sup>†</sup> 0.1 <sup>†</sup> 0.2 <sup>†</sup> 0.4 <sup>†</sup> 0.8	to.1     to       to.2     to       to.4     to       to.9     to	.1 0.2 .2 0.3 .4 0.5 .9 1.1	<sup>†</sup> 0.2 <sup>†</sup> 0.3 <sup>†</sup> 0.6 <sup>†</sup> 1.4	0.2 0.3 0.6 1.5	<ul> <li></li></ul>	2 0.2 3 0.3 5 0.5 1 0.9	<sup>+</sup> 0.2 <sup>+</sup> 0.3 <sup>+</sup> 0.5 <sup>+</sup> 0.9	to.2     to.2       to.3     to.3       to.5     to.5       to.9     to.5	.2	ћ.2 ћ.з ћ.5 ћ.9	to.2     to.3       to.3     to.4       to.6     to.4       to.7     to.6       to.7     to.6	3 0.5 4 0.6 6 0.8 4 1.5	1.3 1.2 1.2 1.2 1.6	<sup>+</sup> 3.3 <sup>+</sup> 5. <sup>+</sup> 2.5 <sup>+</sup> 5. <sup>+</sup> 2.3 <sup>+</sup> 5. <sup>+</sup> 1.9 <sup>+</sup> 3.	9 <sup>6</sup> .4 5 <sup>6</sup> .6 1 <sup>5</sup> .5 4 <sup>4</sup> .9	6.0 t 8.0 5.2 XSPLG MH: 20 4.3	7.6 + 5.8 + 5.8 + 5.9 + 4.9 + 4.6 + 3.3 + 5.9 + 4.6 + 3.3 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6 + 5.6	$\begin{array}{c} 2 & \frac{1}{2} & 1 \\ 3 & \frac{1}{3} & 0 \\ 1 & \frac{1}{3} & 7 \\ 2 & \frac{1}{2} & 8 \\ 3 & \frac{1}{1} & 6 \\ 3 & \frac{1}{0} & \frac{1}{0} & 7 \end{array}$	1.2     t       1.3     t       1.0     t       0.5     t	b.5     b.2       b.5     b.2       b.4     b.1       b.2     b.1	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	ō.o     č       ō.o     č       ō.o     č       ō.o     č       ō.o     č	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	ћ.о ћ.о ћ.о ћ.о	
	0.0 <sup>†</sup> 0.0	0 <sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	Ď.0 <sup>†</sup> 0	to. to. to. to. to. 0.	.0 <sup>†</sup> 0. .0 <sup>†</sup> 0. .0 <sup>†</sup> 0. .0 <sup>†</sup> 0.	0     10.       0     10.       0     10.       0     10.       0     10.       0     10.	0 0.0 0 0.0 0 0.0 0 0.0 0 0.0 0 0.0	5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0       5.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0	<sup>+</sup> 0.0 <sup>+</sup> 0	0.0 <sup>†</sup> 0. 0.0 <sup>†</sup> 0.	.0 <sup>†</sup> 0.0 .0 <sup>†</sup> 0.1	0 <sup>†</sup> 0.0 1 <sup>†</sup> 0.1	0 <sup>†</sup> 0.0 1 <sup>†</sup> 0.1	<sup>+</sup> 0.0 <sup>+</sup> 0.1	<sup>†</sup> 0.0 <sup>†</sup> 0.1	<sup>†</sup> 0.0 <sup>†</sup> 0 <sup>†</sup> 0.1 <sup>†</sup> 0	.0 <sup>†</sup> 0.0 .1 <sup>†</sup> 0.1	<sup>†</sup> 0.0 <sup>†</sup> 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.1	<sup>+</sup> 0.1 <sup>+</sup> 0.1	1 <sup>†</sup> 0.0 1 <sup>†</sup> 0.1	<sup>†</sup> 0.0 <sup>†</sup> 0.1 <sup>†</sup> 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0 <sup>†</sup> 0.1 <sup>†</sup> 0 <sup>†</sup> 0.1 <sup>†</sup> 0	.1 0.1 .1 0.1 .1 0.1	<sup>†</sup> 0.1 <sup>†</sup> 0.1 <sup>†</sup> 0.1	to.1     to.1       to.2     to.1       to.2     to.1	2 <sup>†</sup> 0.2 2 <sup>†</sup> 0.3 3 <sup>†</sup> 0.5	<sup>†</sup> 0.3 <sup>†</sup> 0.5 <sup>†</sup> 0.9	<sup>+</sup> 0.4 <sup>+</sup> 0. <sup>+</sup> 0.7 <sup>+</sup> 1. <sup>+</sup> 1.2 <sup>+</sup> 1.	6 <sup>†</sup> 0.7 0 <sup>†</sup> 1.4 8 <sup>†</sup> 2.3	<sup>†</sup> 0.8 <sup>†</sup> 0.8 <sup>†</sup> 1.6 <sup>†</sup> <sup>†</sup> 2.3 <sup>†</sup>	0.7 <sup>†</sup> 0.7 .4 <sup>†</sup> 1.6 2.5 <sup>†</sup> 3.2	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	<sup>†</sup> 0.4 <sup>†</sup> 0.5 <sup>†</sup> 0.6 <sup>†</sup> 0.6 <sup>†</sup> 0.6 <sup>†</sup> 0.6	b.2     b.1       b.2     b.1       b.2     b.1       b.3     b.1	1 <sup>†</sup> 0.1 1 <sup>†</sup> 0.1 1 <sup>†</sup> 0.1	0.0 to 0.0 to 0.0 to	5.0 ō.0 5.0 ō.0 5.0 ō.0	0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0 0 <sup>†</sup> 0.0	<sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	
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	PHOTOMETRIC PLAN			7-ELEVEN STORE	NWC STATE HIGHWAY 205 & FM 549	ROCKWALL, TEXAS	
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# **PROJECT COMMENTS**



DATE: 6/25/2021

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: SP2021-020 Site Plan for Downtown Rockwall Lofts 201 W WASHINGTON ST. ROCKWALL, 75087

CASE CAPTION:

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: Ryan Miller 972-772-6441 rmiller@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	Ryan Miller	06/23/2021	Approved w/ Comments	

06/23/2021: SP2021-020; Site Plan for Rockwall Downtown Lofts

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

1.1 This request is for the approval of an approval of a Site Plan for a Multi-Family Apartment Building on a 3.338-acre tract of land identified as Lots 1, 2, 3, 4, 5, 6, 7, & 8, Block P and Lots 1 & 2, Block AB, Rockwall OT Addition and Lots 4 & 5, Block A and Lots 4 & 5, Block B, Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated at the southwest corner of the intersection of SH-66 and SH-205 [N. Goliad Street], and take any action necessary.

1.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (SP2021-020) in the lower right-hand corner of all pages on future submittals.

1.4 If approved, the subject property will require a replat to identify all the necessary easements for development {Chapter 38, Subdivisions, of the Municipal Code of Ordinances}.

M.5 Site Plan. Please change the title block to indicate proposed Lot 2, Block A, TAC Rockwall Addition.

M.6 Site Plan. Please provide a unit breakdown, count, and square footages on the site plan.

M.7 Site Plan. Please provide preliminary floor plans for each of the proposed building. Specifically, staff needs to verify that the fourth floor is setback a minimum of eight (8) feet from the front building face adjacent to public rights-of-way.

M.8 Site Plan. Please provide a separate floor plan for the proposed police parking area to ensure compliance with the approved 380 Agreement.

M.9 Site Plan. Please change the signature block to the correct site plan signature block (i.e. the signature block with on the Planning and Zoning Commission Chairman's and Planning Director's signatures).

M.10 Site Plan. Remove all streetscape call outs (i.e. trashcans, bicycle parking, etc.). These should be reflected on the streetscape plan only. Please also provide a streetscape plan.

M.11 Site Plan. Indicate all the perimeter dimensions of the building on the site plan in feet.

M.12 Site Plan. Indicate conformance with the required building setbacks for the Downtown (DT) District. These should also be reflected on the site plan. The building setbacks are measured from the back of curb and are as follows: (1) Alamo Street: 18-feet, (2) Washington Street: 24-feet, and (3) First Street: 18-feet.

M.13 Site Plan. Indicate all driveway widths on the site plan.

M.14 Site Plan. Indicate all fire lanes on the site plan.

M.15 Site Plan. Indicate the sidewalk width on the site plan. Please note that the minimum sidewalk width is ten (10) feet.

M.16 Site Plan. Indicate the location of all fire hydrants on the site plan.

M.17 Site Plan. Per our conversation on June 23, 2021, the police access and emergency exit do not provide safe ingress/egress to the police parking garage. Specifically,

there is an exit door from the building within the emergency exit, the police vehicles cannot make the turn into the emergency lane without encroaching into coming resident traffic, and no controlled exit for the police was provided. This will need to be corrected prior to site plan approval.

M.18 Site Plan. Please provide an exhibit showing the floor plan for the parking garage. The typical dimensions of a parking space will also need to be shown on this exhibit.

M.19 Site Plan. Please provide a better breakdown of the parking showing the parking required for each unit type.

M.20 Site Plan. Indicate all handicapped parking on the parking garage layout and on the site plan.

M.21 Site Plan. Move the loading area away from the police emergency exit to a dedicated area along First Street. Please note that all loading areas are required to be screened utilizing the same materials as the building, masonry walls, and/or a combination of ornamental fencing and solid landscaping.

M.22 Site Plan. On the site plan indicate the type and depth of the paving material and provide a detail cut sheet.

M.23 Site Plan. On the site plan please indicate the location of the dumpster enclosures or trash compactor, and if necessary demonstrate that this will be screened from all public rights-of-way and adjacent properties.

M.24 Line of Site Study. On the line of site study please provide an architectural screening in front of the RTU's. This will be required due to the visibility of the units from future 3-4 story buildings that are projected to be built in and around the Downtown area. This will also need to be reflected on the building elevations.

M.25 Building Elevations. The HardiPlank or siding material is not depicted in the material calculations or material sample board. Please include this on the building elevations.

M.26 Building Elevations. Only a portion of the Alamo Road building elevation was provided with no Overall elevation provided. Please include this in the resubmittal.

M.27 Building Elevations. Four (4) of the ground floor units on the Washington Street (i.e. North Elevation) and two (2) of the ground floor units on Alamo Road do not provide the required direct access to the street or the required stoops. Please correct this or it will require a Major Waiver from the City Council.

M.28 Building Elevations. The material percentages should be net of doors and windows and should equal 100%. Currently, the material percentages are not calculated correctly. Please also ensure that all building façades incorporate a minimum of 85% brick, natural stone, or cast stone.

M.29 Building Elevations. Please note that stucco shall only be used for screening walls, architectural features, and embellishments, and that HardiBoard (or similar cementitous products) shall only be allowed to be used for up to ten (10) percent of the building's exterior above the first floor. Currently it appears that portions of the building's façade use HardiBoard on the first floor and that the HardiBoard is not calculated in with the material percentages.

I.30 Building Elevations. Please note that all parking garages are required to be setback a minimum of 50-feet from the back of curb or be lined with buildings. In this case the parking garage areas along Washington Street and First Street do not comply with this requirement; however, if windows or similar adornments added to the building's façade to make the parking areas appear to look like residential units (i.e. make them look like the rest of the building), the Planning and Zoning Commission can approve this in lieu of the setback. As it stands today, a Major Waiver would be required from the City Council to the setback requirement.

M.31 Building Elevations. Please note that the Planning and Zoning Commission may grant a deviation of up to 15% of the required building materials; however, this is discretionary to the Planning and Zoning Commission.

M.32 Building Elevations. Please dash in the HVAC units or other RTU's proposed for this building. Please note that these cannot be visible at all from public spaces, public rights-of-way, or other adjacent properties. In addition, any proposed screening needs to be architecturally compatible with the building's design.

M.33 Photometric Plan. The lighting levels adjacent to Alamo Street, Washington Street, and First Street all exceed the maximum level of 0.2 FC permitted to be shed onto public right-of-way and/or adjacent property. This will require a Variance from the Planning and Zoning Commission. Please also note that in order to request a variance the applicant will need to provide a letter outlining two (2) off-setting compensatory measures that directly off-set the requested variance.

M.34 Utility Plan. Please not compliance on the Utility Plan with the City's undergrounding requirements. Power poles that are to be moved will need to be undergrounded. Any moved powerlines that are to be relocated above ground will require discretionary approval from the City Council.

M.35 Landscape Plan. Please ensure that one (1) canopy (i.e. a minimum of four-inch caliper tree) per 20-linear feet is planted along Alamo Street and Washington Street. Alamo Street will require a minimum of 20 canopy trees and Washington Street will require a minimum 17 canopy trees.

M.36 Landscape Plan. Please provide a separate detail of the landscaping proposed for the residential at-grade units. The Downtown (DT) District requires these to be landscaped in accordance with the exhibits in Section 04.07, Downtown (DT) District, of Article 05, District Development Standards, of the UDC.

I.37 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 6, 2021; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Mork Session Meeting for this case will be held on June 29, 2021.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	06/23/2021	Needs Review

06/23/2021: M - Request variance. Cannot meet the required spacing distances.

M - First Street to have 50' ROW, and 29' B-B paving. Must dedicate and pave half from the CL (min 24') of the existing roadway.

- M Add note "Parking to be maintained, repaired and replaced by property owner"
- M No overhangs in easements.
- M Must have detention for the site.
- I No vertical walls in detention. Max side slope is 4:1
- M- Dumpster area to drain to oil/water separator prior to storm.
- M Detention outfall will need to be at sheet flow conditions before crossing property lines.
- M Parking to be 20'x9'.

The following items are informational for the engineering design process. General Items:

- I Must meet City Standards of Design and Construction
- I 4% Engineering Inspection Fees
- I Impact Fees (Water, Wastewater & Roadway)
- I Minimum easement width is 20' for new easements. No structures allowed in easements.
- I Retaining walls 3' and over must be engineered.
- I All retaining walls must be rock or stone face. No smooth concrete walls.
- I Traffic rated guard rail or barrier will be required when roadway or parking lot is within 10 feet of a retaining wall that is over 30" in height.
- I Walls over 30" in height will need pedestrian rail if sidewalk is on high side.

#### Drainage Items:

- M Must have detention for the site.
- I No vertical walls in detention. Max side slope is 4:1
- M- Dumpster area to drain to oil/water separator prior to storm.
- M Detention outfall will need to be at sheet flow conditions before crossing property lines.
- M Landscape plan doesn't match site plan layout

### Water and Wastewater Items:

- I Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- I Fire hydrants and Fire Lines to have min 10' separation from all other connections to waterline.
- I Existing utilities such as City Water lines and wastewater lines are shown to be under the new Turn lane pavement. Will need to get approval from TxDOT to leave those there or if the will have to be relocated behind the back of curb of turn lane.

Roadway Paving Items:

- M Parking to be 20'x9'.
- I Drive isles to be 24' wide.
- I No dead-end parking allowed without a turnaround.
- I Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- I Any removal of a public street requires full panel replacement

I - TxDOT TIA required. TxDOT permits required.

- I TxDOT determination and approval for Additional ROW amount for Turn Lane and ROW clip.
- I City minimum ROW Clip at 1st Street/Washington and Alamo/ Washington will be 30'x30'. TXDOT may require more.

### Landscaping:

I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

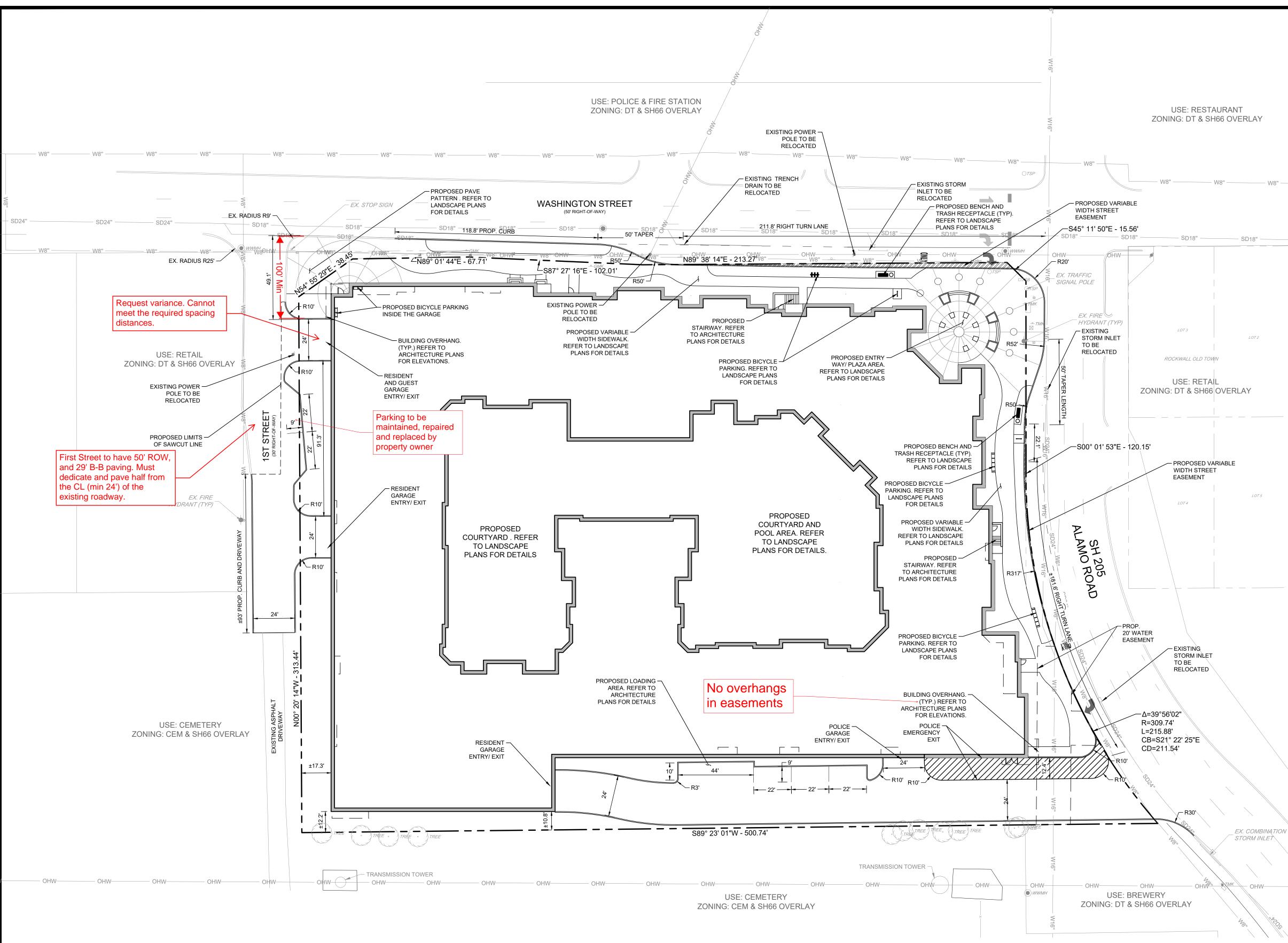
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

BUILDING	Rusty McDowell	06/21/2021	Approved	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
FIRE	Ariana Kistner	06/23/2021	Approved w/ Comments	
06/23/2021: A fire hydrant is r	equired within 100-feet of the FDC.			
A full NFPA 13 fire sprinkler sy	stem will be required; an NFPA 13R system will	not be allowed.		
The site plan shall indicate the	location of all proposed fire apparatus access ro	badways.		
All fire apparatus access roadv	ways shall have a minimum of a 30-ft radius.			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
GIS	Lance Singleton	06/21/2021	Approved w/ Comments	
06/21/2021: Building Assigned	d Address will be 201 WEST WASHINGTON ST	ROCKWALL, TX 75087;		
4" Domestic Water Meter Addr	ess will be 250 SOUTH ALAMO RD, ROCKWAL	L. TX 75087		
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
POLICE	Ryan Miller	06/25/2021	N/A	
No Comments				
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved w/ Comments	
06/21/2021: Landscape plans	approval contingent with the following;			
Please provide landscape plan	IS			
Also provide total number of ur	nits so that park fees calculations can be figured.			
06/23/2021: 1. SP2021-020	(Ryan Miller)			
Park District 19				

Cash in Lieu of Land \$663.00 x 263 = \$174,369.00

Pro Rata Equipment Fees \$628.00 x 263 = \$165,164.00

Total per lot (1) Lot \$1,291.00 & Total for 263 lots \$339,533.00



LANDSCAPE ARCHITECT: LAND PATTERNS 1804 W COMMERCE ST. STE 200, DALLAS, TX 75208 CONTACT: MICHAEL E. PIERING PHONE: (214) 219-3993 EMAIL: MIKE@LANDPATTERNS.COM

**DEVELOPER:** THOMPSON REALTY CAPITAL 1600 N. COLLINS BLVD. STE 3000, RICHARDSON, TX 75080 CONTACT: TAYLOR FIELD PHONE: (972) 644-2400 EMAIL: TAYLOR@THOMPSON-REALTY.COM **OWNER/DEVELOPER**:

TAC, Inc 102 S. GOLIAD, SUITE 205 ROCKWALL, TEXAS 75032 CONTACT: TONY S. AUSTIN PHONE: (214) 507-9055 EMAIL: TAUSTIN@TAC-INC.NET

**ARCHITECT:** HEDK ARCHITECTS **4595 EXCEL PARKWAY** ADDISON, TEXAS 75001 CONTACT: ERIK EARNSHAW PHONE: (214) 520-8878 EMAIL: EEARNSHAW@HEDK.COM STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

## APPROVED:

Council of the City of Rockwall on the [XX] day of [XX], [2021]. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this [XX] day of [XX], [2021]

CONTACT: FRANK OWENS PHONE: (972) 722-0225 EMAIL: FRANK@AJBEDFORDGROUP.COM EMAIL: JMILLSAP@KFM-LLC.COM

A J BEDFORD GROUP, INC.

ROCKWALL, TEXAS 75087

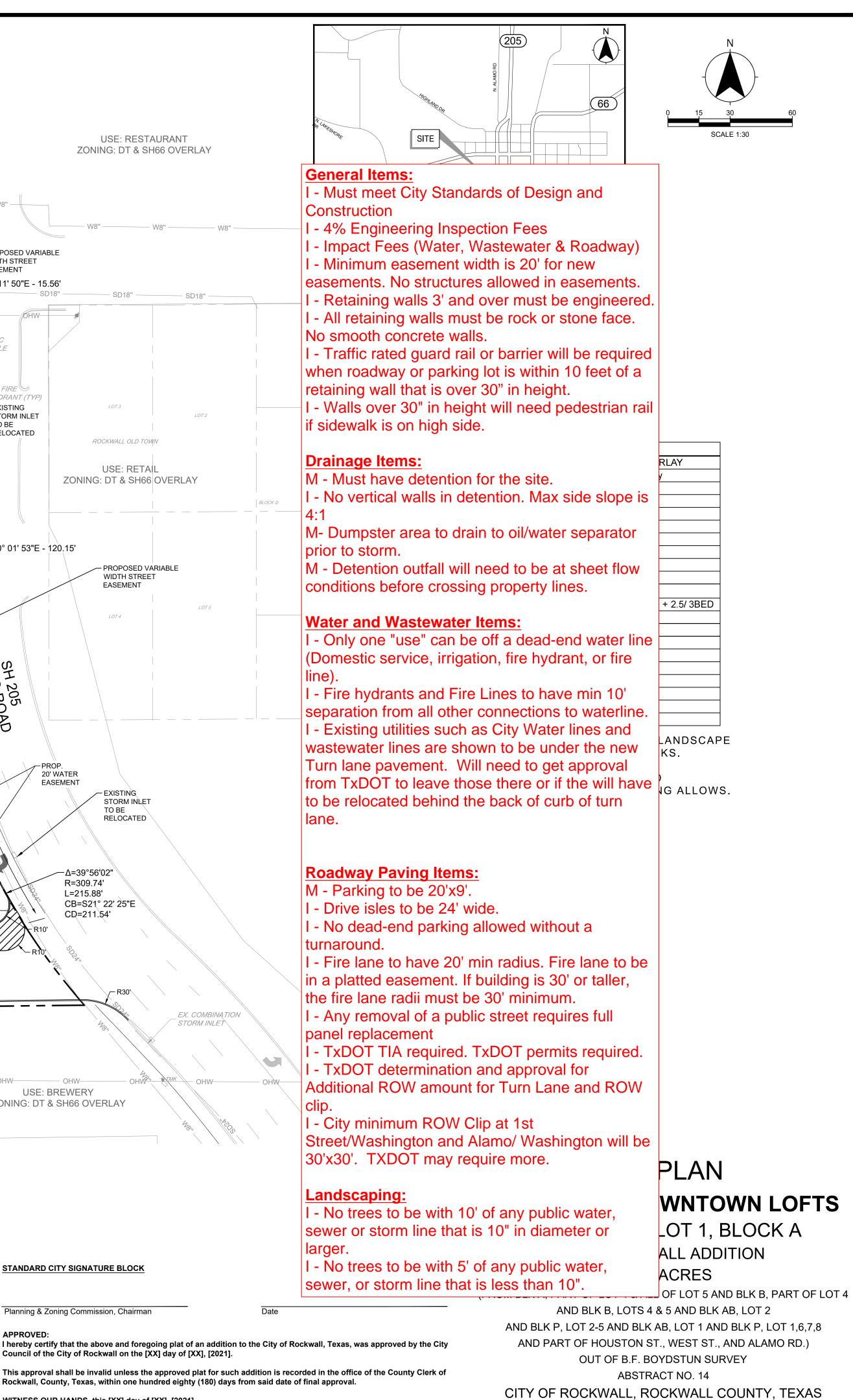
SURVEYOR:

301 N. ALAMO RD.

**ENGINEER/PREPARER:** 

KFM ENGINEERING & DESIGN, LLC 3501 OLYMPUS BOULEVARD, SUITE 100 DALLAS, TEXAS 75019 CONTACT: JOSH MILLSAP, P.E. PHONE: (469) 899-0052

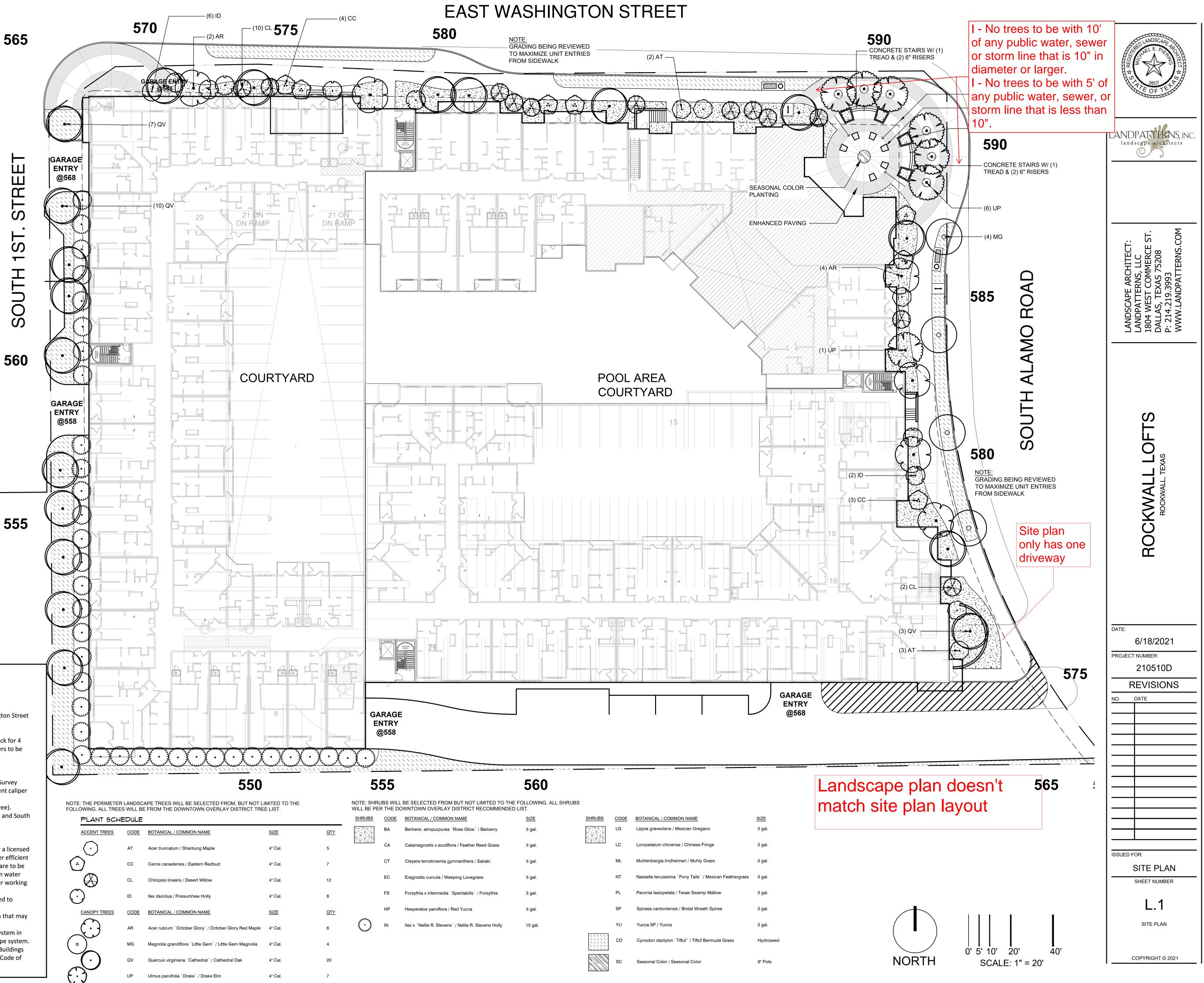
Mayor, City of Rockwall



City Engineer

June 18, 2021 CASE NO:XX-XXX

Tree Number	DBI (Inches)	Species	General Condition	Mitigated Inches
1	13.10	Eastern Red Cedar	Healthy	6.55
2	4.50	Southern Magnolia	Healthy	4.50
3	7.00	Southern Magnolia	Healthy	7.00
4	5.00	Pecan	Healthy	5.00
5	15.80	Sugarberry	Healthy	7.90
6	12.70	Sugarberry	Healthy	6.35
7	8.00	Eastern Redbud	Damaged	0.00
8	5.50	Pecan	Healthy	5.50
9	6.70	Pecan	Healthy	6.70
10	27.40	Sugarberry	Healthy	54.80
11	17.50	Sugarberry	Healthy	8.75
12	15.20	Sugarberry	Healthy	7.60
13	12.50	Sugarberry	Healthy	6.25
14	17.50	Sugarberry	Damaged	0.00
15	25.30	Sugarberry	Healthy	50.60
16	16.60	Sugarberry	Healthy	8.30
17	12.10	Sugarberry	Healthy	6.05
18	16.10	Sugarberry	Damaged	0.00
19	15.00	Sugarberry	Damaged	0.00
20	17.00	American elm	Healthy	17.00
21	6.30	Green Ash	Healthy	6.30
22	11.60	Sugarberry	Healthy	5.80
23	23.40	Sugarberry	Healthy	11.70
24	11.80	Sugarberry	Healthy	5.90
25	7.30	Southern Magnolia	Healthy	7.30
26	25.20	American elm	Healthy	50.40
27	12.30	Sugarberry	Healthy	6.15
28	12.50	American elm	Healthy	12.50
29	16.50	Sugarberry	Healthy	8.25
30	12.90	Sugarberry	Healthy	6.45
31	18.90	Osage-Orange	Healthy	0.00
32	16.70	Osage-Orange	Damaged	0.00
33	12.90	Sugarberry	Healthy	6.45
34	11.30	Sugarberry	Healthy	5.65
35	14.70	American elm	Healthy	14.70
36	18.10	American elm	Healthy	18.10
37	18.60	Sugarberry	Healthy	9.30
38	12.00	Japanese Privet	Healthy	12.00
39	13.00	Sugarberry	Healthy	6.50
40	26.50	Osage-Orange	Damaged	0.00
41	18.90	Osage-Orange	Healthy	0.00
42	12.20	Sugarberry	Healthy	6.10
Tree			General	Mitigated
Number	DBI (Inches)	Species	Condition	Inches
43	13.50	Sugarberry	Healthy	6.75
44	22.40	Sugarberry	Healthy	11.20
45	13.90	Sugarberry	Healthy	6.95
46	19.70	Sugarberry	Healthy	9.85
47	11.20	Sugarberry	Healthy	5.60
48	12.00	Sugarberry	Healthy	6.00
49	14.40	Sugarberry	Healthy	7.20
50	20.40	American elm	Healthy	20.40
51	8.70	American elm	Healthy	8.70
E 2	0.20	Croop Ach	Lloolthy	0 20



LANDSCAPE NOTES

8.20

6.50

20.50

20.40

19.70

17.70

14.30

31.50

19.80

7.90

8.50

22.00

29.00

27.40

12.40

14.60

11.90

11.50

8.00

11.90

28.60

4.70

4.50

5.50

18.20

11.20

7.40

49.80

1193.90

62

73

77

78

79 TOTALS Green Ash

Green Ash

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Osage-Orange

Osage-Orange

Sugarberry

Green Ash

Green Ash

Osage-Orange

Osage-Orange

Crape Myrtle

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Osage-Orange

Pecan

Pecan

Pecan

Crape Myrtle

Crape Myrtle

Pecan

Sugarberry

## Street Furniture

- Benches will be provided along Washington Street and South Alamo Road
- Catalog Number. Du Mor Bench # 140 60 One Trash Receptacles will be provided at each bench location along Washington Street and South Alamo Road

8.20

6.50

10.25

0.00

9.85

8.85

0.00

0.00

9.90

7.90

8.50

0.00

0.00

0.00

7.30

5.95

5.75

4.00

0.00

0.00

4.70

4.50

5.50 0.00

0.00

7.40

99.60

705.70

In Lieu of Fee \$70,570.00

Healthy

Healthy

Healthy

Damaged

Healthy

Healthy

Healthy

Damaged

Healthy

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Damaged

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Healthy

Healthy

Healthy

Healthy

Healthy

 Catalog Number. Du Mor Receptacle 84-22DM Bicycle Racks will be provided at 1 per 10 parking spaces for a total of 46. A rack for 4 bikes will be located near the main Entry Plaza with the remaining racks/lockers to be located within the parking garage.

Tree Mitigation

- Based on the City of Rockwall Tree Replacement Guidelines and the Tree Survey prepared by Integrated Environmental Solutions, there are 734 replacement caliper inches required
- (refer to surveyed tree list with required replacement caliper inches per tree). Approximately 150 caliper inches will be planted along Washington Street and South Alamo Road.

Irrigation

- All landscaping is required to have an irrigation system that is designed by a licensed irrigator. Additionally, all irrigation systems should be designed to be water efficient utilizing low-flow irrigation equipment. The plan will show that turf areas are to be watered separately, and plants will be grouped in separate zones based on water need. Finally, all irrigation systems are required to be maintained in proper working order.
- Landscaped Areas. One (1) of the following irrigation methods shall be used to ensure adequate watering of plant material in landscaped areas:
  - Conventional System. An automatic underground irrigation system that may be a conventional spray or bubbler type heads.
  - Drip or Leaky-Pipe System. An automatic underground irrigation system in
- conjunction with a water saving system such as a drip or a leaky pipe system. All irrigation systems shall comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City Rockwall Code of Ordinances, and all applicable state laws.

1.		WILL DE I EIN THE DOWNTOWN OVERLAT DISTRICT N					
		SHRUBS	CODE	BOTANICAL / COMMON NAME			
<u> </u>	QTY		BA	Berberis atropurpurea 'Rose Glow' /			
al.	5		CA	Calamagrostis x acutiflora / Feather Re			
al.	7		СТ	Cleyera ternstroemia gymnanthera / S			
al.	12		EC	Eragrostis curvula / Weeping Lovegras			
al.	8		FS	Forsythia x intermedia `Spectabilis` /			
Ē	<u>QTY</u>		HP	Hesperaloe parviflora / Red Yucca			
al.	6	$\bigcirc$	IN	Ilex x `Nellie R. Stevens` / Nellie R. Ste			
al.	4						

	SIZL
tropurpurea `Rose Glow` / Barberry	3 gal.
ostis x acutiflora / Feather Reed Grass	3 gal.
rnstroemia gymnanthera / Sakaki	3 gal.
curvula / Weeping Lovegrass	3 gal.
x intermedia `Spectabilis` / Forsythia	3 gal.
e parviflora / Red Yucca	3 gal.
ie R. Stevens` / Nellie R. Stevens Holly	15 gal.

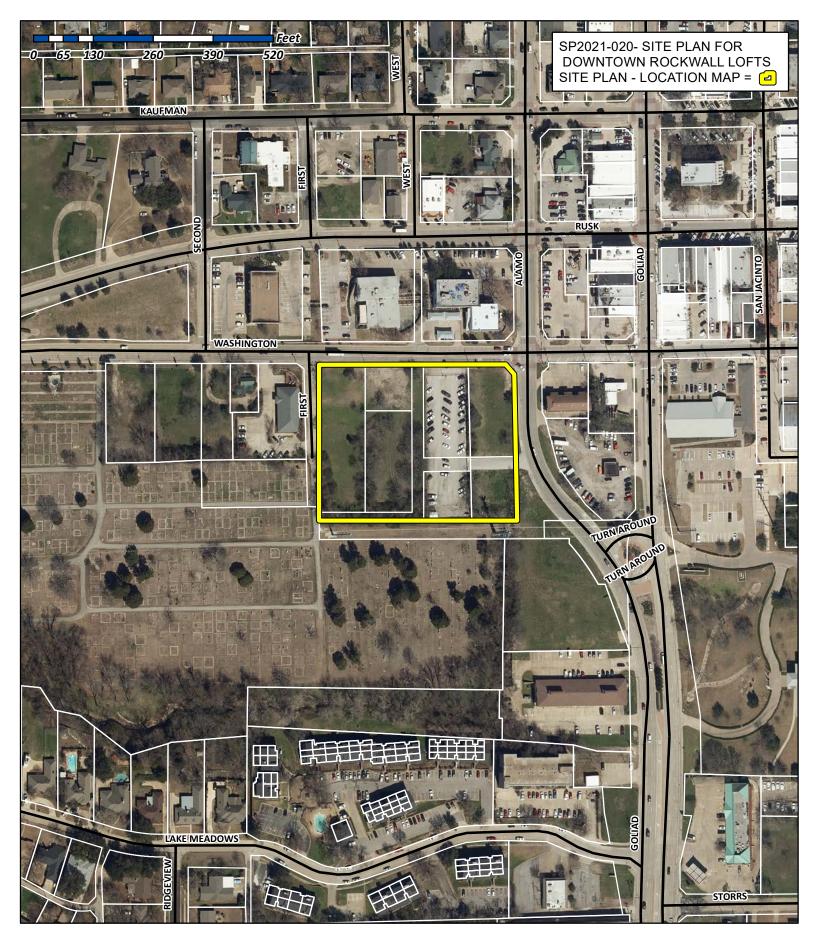


<u>DE</u>	BOTANICAL / COMMON NAME	SIZE
	Lippia graveolens / Mexican Oregano	3 gal.
	Loropetalum chinense / Chinese Fringe	3 gal.
	Muhlenbergia lindheimeri / Muhly Grass	3 gal.
	Nassella tenuissima `Pony Tails` / Mexican Feathergrass	3 gal.
	Pavonia lasiopetala / Texas Swamp Mallow	3 gal.
	Spiraea cantoniensis / Bridal Wreath Spirea	3 gal.
	Yucca SP / Yucca	3 gal.
	Cynodon dactylon `Tiftuf` / Tiftuf Bermuda Grass	Hydros
	Seasonal Color / Seasonal Color	6" Pots

	DEVELOPMENT APPLICATION City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087			STAFF USE ONLY PLANNING & ZONING CASE NO. SP202(-020 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:				
PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:								
PLATTING APPLICATION FEES:         MASTER PLAT (\$100.00 + \$15.00 ACRE) 1         PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1         FINAL PLAT (\$300.00 + \$20.00 ACRE) 1         REPLAT (\$300.00 + \$20.00 ACRE) 1         AMENDING OR MINOR PLAT (\$150.00)         PLAT REINSTATEMENT REQUEST (\$100.00)         SITE PLAN (\$250.00 + \$20.00 ACRE) 1         MARENDING OR MINOR PLAT (\$150.00)         IPLAT REINSTATEMENT REQUEST (\$100.00)         SITE PLAN (\$250.00 + \$20.00 ACRE) 1         AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)			ZONING APPLICATION FEES:         ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1         SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1         PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1         OTHER APPLICATION FEES:         TREE REMOVAL (\$75.00)         VARIANCE REQUEST (\$100.00)         NOTES:         1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.					
PROPERTY INFO	RMATION [PLEASE PRINT]							
	201 W. WASHINGTON ST							
SUBDIVISION	ROCKWALL LOT			LOT	1,6,7,8	BLOCK	Р	
GENERAL LOCATION	S-W INTERSECTION OF WASHIN	IGTON ST	. ANI	D S. ALAM	O RD.			
ZONING SITE PI	AN AND PLATTING INFORMATION [PLEAS							
CURRENT ZONING		CURREI	NT USE	VACAN	Г			
PROPOSED ZONING		PROPOSED USE		MULTI FAMILY				
ACREAGE			LD OOL		S [PROPOSED]	1		
SITE PLANS AND REGARD TO ITS	PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE TH APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF ENIAL OF YOUR CASE.	HAT DUE TO TH		AGE OF <u>HB3167</u> 1	THE CITY NO LOI	NGER HAS FLE		
OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CH	ECK THE PRIMA	ARY CON	TACT/ORIGINAL S	IGNATURES ARE	REQUIRED]		
OWNER	MYRELI LLC		ICANT	KFM ENC	GINEERING	G & DESI	GN	
CONTACT PERSON		CONTACT PE	RSON	JOSH MII	LSAP			
ADDRESS	627 SORITA CIR	ADD	RESS	3501 OLY	MPUS BLY	VD		
				STE 100				
CITY, STATE & ZIP	HEATH, TX 75032	CITY, STATE	& ZIP	DALLAS,	TX 75019			
PHONE		Р	HONE	469899053				
E-MAIL		E	E-MAIL	JMILLSAI	P@KFM-LI	LC.COM		
	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE		y A	. Kanto	<u>Pron</u> (OWNER)	THE UNDER	signed, who	
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF 								
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE TO DAY OF JUNE 2021 KATHRYN DIANE ENGLISH								
OWNER'S SIGNATURE								
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelliplica aylen								
DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727								

PLEASE CHECK THE A	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		PLAN NOTE CITY SIGN DIRE CITY	FF USE ONLY         NNING & ZONING CASE NO.       SP2021-020         E: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE 'UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE IED BELOW.         SCTOR OF PLANNING:         E ENGINEER:         QUEST [SELECT ONLY ONE BOX]:
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OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE PRINT/CH	ECK THE PRIMA	RY CON	NTACT/ORIGINAL SIGNATURES ARE REQUIRED]
	ESTATE OF BILLY W PEOPLES		CANT	KFM ENGINEERING & DESIGN
CONTACT PERSON		CONTACT PE	RSON	JOSH MILLSAP
ADDRESS	302 S GOLIAD ST	ADD	RESS	3501 OLYMPUS BLVD
				STE 100
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE	& ZIP	DALLAS, TX 75019
PHONE		Р	HONE	4698990536
E-MAIL		E	-MAIL	JMILLSAP@KFM-LLC.COM
	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARE ON ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE		do	a Adris [OWNER] THE UNDERSIGNED, WHO
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GIVEN UNDER MY HAND	AND SEAL OF OFFICE ON THIS THE 16th DAY OF	ure	_, 20_ <del>_</del>	KATHRYN DIANE ENGLISH
	OWNER'S SIGNATURE	love.	>	
NOTARY PUBLIC IN AND	FOR THE STATE OF TEXAS fattiplices	Iglise	_	MY COMMISSION EXPIRES tary ID 6276665
DEVELOPME	NT APPLICATION . CITY OF ROCKWALL . 385 SOUTH GOL	IAD STREET + RO	DCKWAI	LL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727

	DEVELOPMENT APP City of Rockwall Planning and Zoning Departr 385 S. Goliad Street Rockwall, Texas 75087		PLAN <u>NOTE</u> CITY ( SIGNE DIREC	F USE ONLY NING & ZONING CASE NO. THE APPLICATION IS NOT C UNTIL THE PLANNING DIRECT ED BELOW. CTOR OF PLANNING: ENGINEER:		TED BY THE
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OWNER/APPLIC	ANT/AGENT INFORMATION [PLEASE	PRINT/CHECK THE PRIMA	ARY CON	TACT/ORIGINAL SIGNATURES	SARE REQUIRED]	
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CONTACT PERSON		CONTACT PE	RSON	JOSH MILLSAP		
ADDRESS	627 SORITA CIR	ADD	RESS	3501 OLYMPUS	BLVD	
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CITY, STATE & ZIP	HEATH, TX 75032	CITY, STATE		DALLAS, TX 750	)19	
PHONE			HONE	4698990536		
E-MAIL		E	-MAIL	JMILLSAP@KFN	1-LLC.COM	
	CATION [REQUIRED] RSIGNED AUTHORITY, ON THIS DAY PERSONALLY ON ON THIS APPLICATION TO BE TRUE AND CERT		A.K.	eatmin ion	WNER] THE UNDERS	SIGNED, WHO
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	ION WITH THIS APPLICATION, IF SUCH REPRODUCTIC	true	ESPONSE			
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DEVELOPME	NT APPLICATION • CITY OF ROCKWALL • 385 SOL	UTH GOLIAD STREET © RC	DCKWALL	, TX 75087 • [P] (972) 771-7	745 • [F] (972) 771-7	7727





## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



## **CHECKLIST FOR SITE PLAN SUBMITTALS**



City of Rockwall

Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

CASE NUMBER:

**OVERLAY DISTRICT:** 

**REVIEWED BY:** 

**REVIEW DATE:** 

#### 1.1 GENERAL INFORMATION FOR ALL PLANS SUBMITTED

Requirements	✓= OK	N/A	Comments	UDC Reference
Items Necessary for Site Plan Review:		-		Per Application
✓ Site Plan				§03.04, of Art. 11
✓ Landscape Plan				-
<ul> <li>✓ Treescape Plan</li> <li>✓ Photometric Plan</li> </ul>				-
✓ Building Elevations				-
Building Material Sample Deard and Caler			If required the sample board should detail all building materials,	a San an an an
Building Material Sample Board and Color Rendering of Building Elevations			with each material clearly labeled and indicating manufacturer info, color, etc. Check with Planning Staff to see which is appropriate for the submitted project.	§03.04.A, of Art. 11
Submittal Requirements			Four (4) large (24" x 36") <b>folded</b> copies and one (1) PDF digital copy of each plan is required at the time of submittal.	§03.04.A, of Art. 11
Is the property properly platted?			Indicate if the property has been properly platted.	19 A.B.
Title Block		_	The title block is to be located in the lower right-hand corner of	§03.04.A, of
(Project Name, Legal Description and/or Address)			all sheets and contain the project name, street address, and/or the lot and block designation.	Art. 11
Case Number	ſ		The case number should be placed in the lower right-hand corner below the title block of all sheets.	§03.04.A, of Art. 11
Owners (Name, Address, and Phone Number)			The owners name, address, and phone number are required to be in the lower right-hand corner left of the title block.	§03.04.A, of Art. 11
Developer (Name, Address, and Phone Number)			The name, address, and phone number of the person or company that prepared the plans are required in the lower right- hand corner left of the title block.	§03.04.A, of Art. 11
North Point			The north point or north arrow must be facing true north (or straight up) on all plans, unless the scale of the drawings or scope of the project requires a different position.	§03.04.A, of Art. 11
Numeric and Graphic Scale		ilin 🗖 🛛	The recommended engineering scales are $1" = 20'$ , $1" = 40'$ , etc with a maximum of $1" = 100'$ .	§03.04.A, of Art. 11
Vicinity Map	e		The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	Art. 11
Signature Block			Standard signature block with signature space for the Planning & Zoning Chairman and Planning Director.	§03.04.A, of Art. 11
Date			The date that the plans were prepared is required on all submittals.	§03.04.A, of Art. 11
Proposed Land Use:			Indicate the proposed use for this site. Additionally, indicate the proposed use for all structures.	§03.04.A, of Art. 11
✓Commercial			Land Uses Permitted in the RO, NS, GR, C, DT, RC & Designated Planned Development District Ordinances.	-
✓ Industrial			Land Uses Permitted in the RT, LI, HI & Designated Planned Development District Ordinances.	

2.1 SITE PLAN: MISCELLANEOUS AND DENSITY & DIMENSIONAL INFORMATION				
Requirements	✓= 0K	N/A	Comments	UDC Reference
Total Lot or Site Area (Acreage and Square Footage)	ē		If the site is part of a larger tract include a key map showing the entire tract of land and the location of the site being planned.	§03.04.B, of Art. 11

Perimeter Dimensions of the Site		Indicate the perimeter dimensions of the site in feet.	§03.04.B, of Art. 11
Buildings (Square Footage)	5	Indicate the location and total square footage of all existing and planned buildings on the site.	§03.04.B, of Art. 11
Perimeter Dimensions of all Buildings		Indicate the wall lengths of all buildings on the site.	§03.04.B, of Art, 11
Distance Between Buildings	e	Indicate the distance between all existing and planned buildings located on the site.	§03.04.B, of Art. 11
Distance Between Buildings and Property Lines		Indicate the distance between all property lines and existing and planned buildings located on the site.	§03.04.B, of Art. 11
Indicate all Property Lines		Indicate all existing property lines. If the site plan requires a platting case that will alter the property lines show the proposed changes in a different line weight.	§03.04.B, of Art. 11
Indicate all Building Setbacks		Indicate all building setbacks adjacent to right-of-way.	§03.04.B, of Art. 11
Indicate all Easements		Additionally, indicate all utilities both existing and proposed.	§03.04.B, of Art. 11
Indicate all Drive/Turning Radii			§03.04.B, of Art. 11
Indicate all Drive Widths			§03.04.B, of Art. 11
Indicate all Fire Lanes		Indicate and label the widths of all fire lanes existing and proposed for the site.	§03.04.B, of Art. 11
Indicate location of all Fire Hydrants			§03.04.B, of Art. 11
Indicate all Sidewalks		Indicate and label the widths of all sidewalks existing and proposed for the site.	§03.04.B, of Art. 11
Adjacent Street Right-Of-Way	Ľ	Reference the City's Master Transportation Plan for right-of- way information.	§03.04.B, of Art. 11
Label all Adjacent Street Name		Label all adjacent existing and proposed street names.	§03.04.B, of Art. 11
Adjacent Street Centerlines	Ľ	Indicate the street centerline for all existing and proposed streets.	§03.04.B, of Art. 11
Median Breaks in Adjacent Streets		1999 - J. 2017 - Construction of the Construction Construction Statement of the Construction of the Statement of Statement	§03.04.B, of Art. 11

2.2 SITE PLAN: PARKING INFORMATIO	2.2 SI	TE PLA	AN: PAR	KING IN	FORM/	ATION
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Requirements	✓= OK	N/A	Comments	UDC Reference
Dimension of a Typical Parking Space	2		See the comment section in Adequate Parking and Maneuvering below.	§05.03, of Art. 06
Parking Table			Provide parking table indicating the total number of required parking spaces by use, the total number of required handicapped parking spaces and the total parking provided.	§05.01, of Art. 06
Handicap Parking Spaces Shown				§05.04, of Art. 06
Adequate Parking			Reference Table 3 of Article VI.	Table 5, Art. 06
Adequate Parking and Maneuvering	₽∕		All parking spaces and aisle dimensions shall conform to the off-street parking requirements in section 2.19 of the City's Standards of Design and Construction (Check w/ the Engineering Department).	§05.03.C, of Art. 06
Adequate Loading Area	•		Loading spaces shall be a minimum of 12 feet in width, 65 feet in length, and 14 feet in height except as may otherwise be approved by the city engineer ( <i>Art. VI 6.5 Loading</i> <i>Requirements</i> ).	§06.04, of Art. 06
Adequate Loading Maneuvering	ſ		It is also the purpose of this Article to require allocation of sufficient off-street/on-site loading facilities by businesses and industry to ensure that the loading and unloading of vehicles will not interfere with traffic flow or block roadways or fire lanes.	§01.02, of Art, 06
Type and Depth of Paving Material	2		Indicate the type and depth of the paving material and provide a detail or cut-sheet. All required parking and loading areas shall be constructed of concrete, but may have a surface treatment of brick, stone or other similar material.	§03.02, of Art. 06

2.3 SITE PLAN: SIGNAGE				
Requirements	<b>√</b> = 0K	N/A	Comments	UDC Reference
<b>NOTE:</b> All signage shall conform to Chapter 32 of th Planned Development District with specific signage i		icipal Cod	e of Ordinance, ι	inless otherwise specified in an Overlay District or

2.4 SITE PLAN: SCREENING	And a schemost	10 M 100 M		A REAL PROPERTY OF	the state of the state of the	Martin St. Martin
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§06.02.F, of Art. 05

Requirements	✓= OK	N/A	Comments	UDC Reference
Indicate the Type and Location of any Existing and/or Proposed Fences	ø		Label the height and type of fence proposed or existing.	§08.02.F, of Art. 08
Utility Equipment Screening (Pad or Ground Mounted)	ď		Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings, berms, or walls matching the main structure.	§01.05.C, of Art. 05
Utility Equipment Screening (Roof Mounted)	Ø		All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction.	§01.05.C, of Art. 05
Above Ground Storage Tanks	ď		Aboveground storage tanks shall be screened utilizing walls matching the main structure. Screening plans for above ground storage tanks shall generally conform to the diagram below (i.e. incorporate primary screening – screening wall – and secondary screening) and be approved by the Planning and Zoning Commission in conjunction with a site plan.	§01.05.D, of Art. 05
Dumpster Screening			Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards.	§01.05.B, of Art. 05
Outside Storage				
Off-Street Loading Dock Screening	ď		Off-street loading docks must be screened from all public streets and any residential district that abuts or is directly across a public street or alley from the lot. The screening must be at least six feet in height and may be provided by using a masonry fence, berms, plantings or a combination of the above.	§01.05.A, of Art. 05
Residential Adjacency Standards	Ø		The director may require wing walls, landscape screens, changes in building orientation, and/or other architectural elements to minimize the impact of uses adjacent to residential property within 150 feet (also reference <i>Art. VIII 5.2</i> ).	§01.06, of Art. 05

2

#### 3.1 LANDSCAPE PLAN

Requirements	√= 0K	 N/A	Comments	UDC Reference
Provide Site Data	Ľ		Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Impervious Area vs. Landscape/Open Space Area Provided and Required (As Per Zoning District)	đ		Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided.	§01.01.B, of Art. 05
Landscape Table	đ		Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan.	§05.03.B, of Art. 08
Indicate all Landscaping			Indicate the locations of all existing and proposed landscaping.	§05.03.B, of Art. 08
Location of Water Courses and Significant Drainage Features	Ø		Indicate the locations of all existing and/or proposed water courses and the location of any existing and/or proposed significant drainage features.	e e la Cese del <mark>E</mark> langia e
Indicate all Landscape Buffers			Indicate the locations and dimensions of the required landscape buffers.	§05.01, of Art. 08

Acceptable Landscape Materials:			Sec. 04., of Art. 08
✓ Trees allowed in Street Landscape Buffers	e	Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Bald Cypress, Chinese Pistachio, October Glory Maple, Pecan, Texas Ash, Live Oak, Chinquapin Oak, and Burr Oak (Understory Trees: Texas Redbud, Mexican Plum, Downy Hawthorn, Wax Myrtle, Yaupon, and Deciduous Yaupon)	Appendix C
✓ Trees not allowed in Landscape Buffers	đ	Silver Maple, Box Elder, Mimosa, Catalpa, Hackberry, Sugarberry, Honey Locust, Tulip Tree, Chinaberry, Sycamore, Cottonwood, Willows, American Elm, Siberian Elm, Jerusalem Thorn/Petuma, Bois D'Arc, Flowering Crabapple Tree, Ginko Tree, Peach/Plum, Mulberry, Texas Mountain Laurel, Lilac Chaste Tree, and Pine Tree.	Appendix C
Protected Trees (That Will Remain On-Site)	ď	Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Prior to any construction or land development, the developer shall clearly mark all protected and feature trees with an aluminum tag indicating the trees relationship to the treescape plan and flag (i.e. bright fluorescent red vinyl tape). In those instances where a protected tree is so close to the construction area that construction equipment could possibly damage the tree, a protective fence shall be required.	§07.01, of Art. 09
Parking Lot Landscaping	ď	Complete description of landscaping and screening to be provided in or near off-street parking and loading areas, including the information as to the amount (in sq. ft.) of landscape area to be provided internal to parking areas, the total square footage included in the parking area, and the number and location of required off-street parking and loading	§05.03.E, of Art. 08
Location of all Site Amenities	Ę	spaces. Identify the size, height, location, and material of proposed seating, lighting, planter's sculptures, water features and landscape paving and other public amenities.	-
Identify Visibility Triangles		Identify visibility triangles on all lots for all driveway intersections and public streets.	§01.08, of Art. 05
Landscape Buffer - Street Trees	e	Large trees (a species which normally reaches a height of 30 feet or more upon maturity) shall be provided in the required street landscape buffer in numbers equal to one (1) tree for every 50 feet of street frontage.	§05.01, of Art. 08
Tree Locations		Trees must be planted at least five (5) feet from water, sewer and storm sewer lines.	§05.03.E, of Art. 08
Irrigation Requirements Note	2	Provide note indicating irrigation will meet requirements of UDC.	§05.04, of Art. 08
Hydro mulch (or non-sod option)	C.	The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City.	Sec. 4.2, Coverage, Engr Standards of Design and Construction
Rights-of-Way & Landscape Buffers	<b>e</b>	All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).	§05.03.G, of Art. 08

## 4.1 TREESCAPE PLAN

Requirements	✓= OK	N/A	Comments	UDC Reference
Provide Site Data	ď		Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist
Buildings	Ø		Indicate the location of all existing or proposed structures, and/or the building pads as shown on the grading plan.	§03.01.A, of Art. 09
Indicate all Site Elevations, Grades, Major Contours and the Limits of Construction	Ľ			§03.01.C, of Art. 09

Protected Trees (To Remain On Site)	ſ	
Protected Trees (To be Removed from the Site)	ď	
Treescape Table	2	

## 5.1 PHOTOMETRIC AND LIGHTING PLANS

Indicate the location and provide a description by type and size of all existing protected trees (4" or larger) proposed to be retained. Such trees shall be marked and a drip line of said tress shall be protected prior to and during all construction, including dirt work.	§03.01.E, of Art. 09
Indicate the location of all protected trees (4" or larger) that are to be removed from the site and the proposed locations of all replacement trees.	§03.01.F, of Art. 09
Provide a table showing the total inches of trees to be removed and the total inches of trees to be replaced.	§03.01.G, of Art. 09

Requirements	<b>√</b> = 0K	N/A	Comments	UDC Reference
Provide Site Data Table	₽∕		Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist.	See Sec. 2.1 of this checklist -
Indicate Lighting Levels (in Foot Candles [FC])	<b>e</b> ⁄		Show lighting levels in foot-candles (FC) measured throughout the site and extended to all property lines of the subject property.	§03.03, of Art. 07
Adjacent Property with Common Lot Lines:				
✓ Residential Use			The allowable maximum light intensity measured at the property line of a residential property shall be 0.2 of one foot candle.	§03.03.B, of Art. 07
✓ Commercial Use	Ľ		The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. Subject to requirements in Art. VII 3.3.C.	§03.03.C, of Art. 07
Under-Canopy Lighting			Under canopy lighting (i.e. fuel stations, drive through lanes and covered parking structures) shall not exceed 35 foot candles (with the exception below).	§03.03.E.1, of Art. 07
Lighting for Motor Vehicle Dealerships	ď		Shall not exceed 0.3 of one foot candle within the front yard of the development. The remainder will comply with the 0.2 of one foot candle.	§03.03.E.2, of Art. 07
Lighting in Parking Areas	₽∕		The maximum outdoor maintained, computed and measured illumination level within any nonresidential development shall not exceed 20 FC outdoors at any point on the site, with a maximum of 0.2 FC at the property line. (Exceptions: (1) under canopy lighting and (2) motor vehicle dealerships)	§03.03.G, of Art. 07
Building and Pole Mounted Lighting			Indicate the location and type of all exterior lighting, including pole mounted, wall-mounted, signage, etc.	§03.03.E, of Art. 07
Indicate the Mounting Height for all Proposed Light Fixtures			No light pole, base or combination thereof shall exceed 30 feet, unless further restricted within an Overlay District.	§03.03.D of Art. 07
Indicate the Wattage of all Light Sources			Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line.	§03.03.A, of Art. 07
Proposed Light Fixtures	2		Provide elevation drawings and/or cut-sheets of proposed light fixtures on/with photometric plan.	§03.03, of Art. 07

## 6.1 BUILDING ELEVATIONS: NON-INDUSTRIAL

Requirements	<b>√</b> = 0K	N/A	Comments	UDC Reference
Provide Exterior Elevations			<u>North South East West</u> (Circle all that apply)	alashiri <del>,</del> iberra
Indicate Exterior Elevations Adjacent to Public Right-of-Way			North South East West (Circle all that apply)	-
Minimum 90% Masonry Requirement OVERLAY DISTRICTS ONLY			Exterior walls should consist of 90% masonry materials excluding doors and windows.	§06.02.C, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement OVERLAY DISTRICTS ONLY			Applies to <u>facades that are visible from a public right-of-way</u> and/or open space.	§06.02.C, of Art. 05
Indicate the Surface Area of Each Facade			Indicate the surface area (square feet) of each façade and the percentage and square footage of each material used on that façade.	§04.01, of Art. 05
Proposed Building Materials	٢ /		Specifications and description of all proposed building materials, on all proposed buildings.	§04.01, of Art. 05
Indicate the Roofing Materials and Color			nationalo, on all proposod buildings.	741.00

Indicate Parapet Wall Height **(If Applicable, finish the interior side of the parapet wall)	ď	If applicable indicate the parapet wall by dashing in the top of roof deck. **Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall.	§04.01, of Art. 05
Indicate all Roof Mounted Mechanical Equipment (If Applicable)	2	If applicable indicate any proposed roof mounted mechanical equipment and indicate how these will be screened from view.	§01.05.C, of Art. 05
Indicate Any Additional Design Elements Proposed (If Applicable)	e	Indicate any additional design elements for the base, walls, or parapets (such as cornice, arcades, and covered walkways/windows). Be sure to include the location, size, color, and material of any proposed structure.	
Indicate Building Height(s)	ď	The height of the building shall be measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building if it is a flat, mansard or shed roof; or to the midpoint of the roof if it is gable, hip or gambrel roof.	§07.03 of Art. 05
Minimum Standards for Articulation: Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)	ď	1. Wall Height $[H] = H$ 2. Wall Length $[L] = 3 \times H$ 3. Secondary Entry/Arch. Element Length = 25% x L 4. Wall Projection = 25% x H 5. Primary Entry/Arch. Element Width = 2 x (25% x L) 6. Projection Height = 25% x H 7. Primary Entry/Arch. Element Length = 2 x (25% x L)	§04.01.C.1, of Art. 05
Secondary Facades		<ol> <li>Wall Height [H] = H</li> <li>Wall Length [L] = 3 x H</li> <li>Secondary Entry/Arch. Element Length = 15% x L</li> <li>Secondary Entry/Arch. Element Width = 15% x H</li> <li>Projection Height = 15% x H</li> </ol>	§04.01.C.2, of Art. 05

## 6.2 BUILDING ELEVATIONS: INDUSTRIAL

Requirements	<b>√</b> = 0K	N/A	Comments	UDC Reference
<b>NOTE:</b> Industrial buildings are subject to all the elem standards.	nents listed in Se	ection 6.1	Building Elevations: Non-Industrial with the exception of the	following
Minimum 90% Masonry Requirement			Exterior walls should consist of 90% masonry materia excluding doors and windows.	ls §05.01.A.1, of Art. 05
Indicate Amount and Location of the Minimum 20% Stone Requirement			Applies to facades that are visible from a public right-of-way and/or open space.	§05.01.A.1.a.1, of Art. 05
Minimum Standards for Articulation:				
Primary Facades (i.e. facades visible from a public ROW, open space/green space, public/private park, and or residential zoning district or residentially used property)			1. Wall Height [H] = H 2. Wall Length [L] = $4 \times H$ 3. Wall Projection = $25\% \times H$ 4. Entry/Arch. Element Length = $33\% \times L$ 5. Projection Height = $25\% \times H$ 6. Entry/Arch. Element Width = $2 \times (25\% \times H)$	§05.01.C.1, of Art. 05
Secondary Facades			<ol> <li>Wall Height [H] = H</li> <li>Wall Length [L] = 3 x H</li> <li>Entry/Arch. Element Length = 15% x L</li> <li>Entry/Arch. Element Width = 15% x H</li> <li>Projection Height = 15% x H</li> </ol>	§05.01.C.2, of Art. 05

**DEVELOPMENT APPLICATION SUBMITTAL REQUIREMENTS** 



City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

#### PLATTING APPLICATION SUBMITTAL REQUIREMENTS [ALL PLAT TYPES]

- [] PLAT TYPE.
  - [] MINOR/AMENDING PLAT.
  - ] MASTER PLAT.
  - ] PRELIMINARY PLAT.
  - ] FINAL PLAT.
  - [] REPLAT.
  - [] VACATION PLAT.

Staff requires two (2), 18" x 24" copies be submitted at the time the application is submitted. See Folding Requirements in this development packet.

- [] DIGITAL COPY OF THE PLAT. The following is required with all plat submittals:
  - [] ONE (1) PDF COPY OF THE PLAT
  - [ ] ONE (1) SURVEY BOUNDARY CLOSURE REPORT.

\* AFTER APPROVAL STAFF WILL REQUIRE ONE (1) AUTOCAD/ESRI (DWG, DXF, OR SHP FILE FORMAT) FILE

- [] TREESCAPE PLAN [IF APPLICABLE].
- [] LANDSCAPE PLAN [IF APPLICABLE].
- [] APPLICATION AND APPLICATION FEE.

#### SITE PLAN APPLICATION SUBMITTAL REQUIREMENTS

PLAN SET. A plan set is composed of the following items (failure to submit all of the items required shall constitute an incomplete application):

SITE PLAN. LANDSCAPE PLAN. TREESCAPE PLAN. PHOTOMETRIC PLAN.

BUILDING ELEVATIONS.

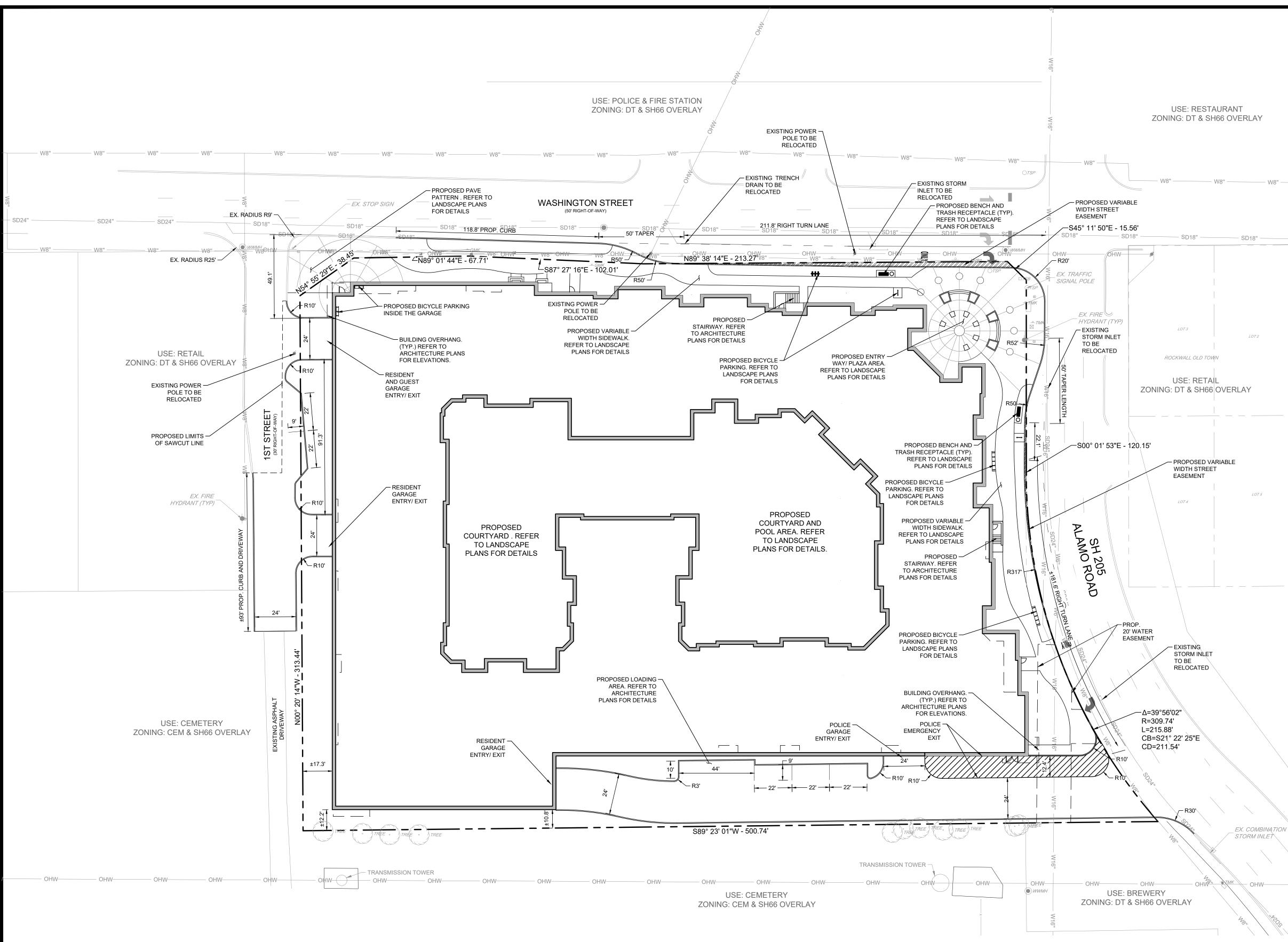
Staff requires the submittal of two (2) complete plan sets and one (1) digital copy in .pdf format with a site plan application. All sheets submitted to staff shall be 24" x 36", arranged into sets, and be folded to a 9" x 12" *Tri-Fold* with the project title or identifier facing out.

- PHYSICAL BUILDING MATERIAL SAMPLE BOARD (11" x 17"). See the Material Sample Board Design Guidelines in this development packet. Individual material samples or sample boards that are larger than 11" x 17" will <u>not</u> be accepted.
- [] VARIANCE REQUEST LETTER. The letter must indicate the variance being requested, the reason for the variance, <u>and the two (2) required</u> <u>compensatory measures being offered to off-set the variance</u> in accordance with the requirements of the UDC.
- APPLICATION AND APPLICATION FEE.

#### ZONING CHANGE APPLICATION SUBMITTAL REQUIREMENTS

- [] LEGAL DESCRIPTION. A legal description consists of written words that delineate a specific piece of real property. A legal description may be a metes and bounds description or, if the property is platted, a copy of the plat may be submitted to verify the lot and block survey system.
- [] ZONING EXHIBIT OR CONCEPT PLAN. A zoning exhibit is generally a survey, plat, concept plan or other visual description of the property [Specific Use Permit (SUP) exhibits can be a site plan or building elevations; check with staff for prior to submitting an application for what is appropriate]. Staff requires two (2), 24" x 36" copies and one digital copy (PDF preferred) be submitted at the time the application is submitted. All submittals should be folded individually so that the project title or identifier is facing out. In order to reduce the applicant's costs and to conserve paper, staff may accept other sheet sizes for a submittal if an appropriate scale and level of detail is maintained. Check with staff prior to submitting a small or larger drawing size.
- [] LETTER OF EXPLANATION. A letter from the applicant or property owner explaining the purpose of the zoning application.
- [] APPLICATION AND APPLICATION FEE.

IT IS IMPORTANT TO YOU AS AN APPLICANT TO RETURN A FULLY COMPLETED APPLICATION PACKAGE. INCOMPLETE APPLICATION PACKAGES WILL NOT BE ACCEPTED BY STAFF AND WILL BE RETURNED TO APPLICANTS. DUE TO THE PASSAGE OF HB3167, APPLICATIONS AND APPLICATION PACKAGES WILL ONLY BE ACCEPTED ON THE SUBMITTAL DATE AND EARLY AND/OR LATE APPLICATIONS WILL BE RETURNED.



LANDSCAPE ARCHITECT: LAND PATTERNS 1804 W COMMERCE ST. STE 200, DALLAS, TX 75208 CONTACT: MICHAEL E. PIERING PHONE: (214) 219-3993 EMAIL: MIKE@LANDPATTERNS.COM DEVELOPER: THOMPSON REALTY CAPITAL 1600 N. COLLINS BLVD. STE 3000, RICHARDSON, TX 75080 CONTACT: TAYLOR FIELD PHONE: (972) 644-2400 EMAIL: TAYLOR@THOMPSON-REALTY.COM

**OWNER/DEVELOPER:** 

TAC, Inc 102 S. GOLIAD, SUITE 205 ROCKWALL, TEXAS 75032 CONTACT: TONY S. AUSTIN PHONE: (214) 507-9055

**ARCHITECT:** HEDK ARCHITECTS 4595 EXCEL PARKWAY ADDISON, TEXAS 75001 CONTACT: ERIK EARNSHAW PHONE: (214) 520-8878 EMAIL: TAUSTIN@TAC-INC.NET EMAIL: EEARNSHAW@HEDK.COM EMAIL: FRANK@AJBEDFORDGROUP.COM EMAIL: JMILLSAP@KFM-LLC.COM STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

## APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the [XX] day of [XX], [2021]. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this [XX] day of [XX], [2021].

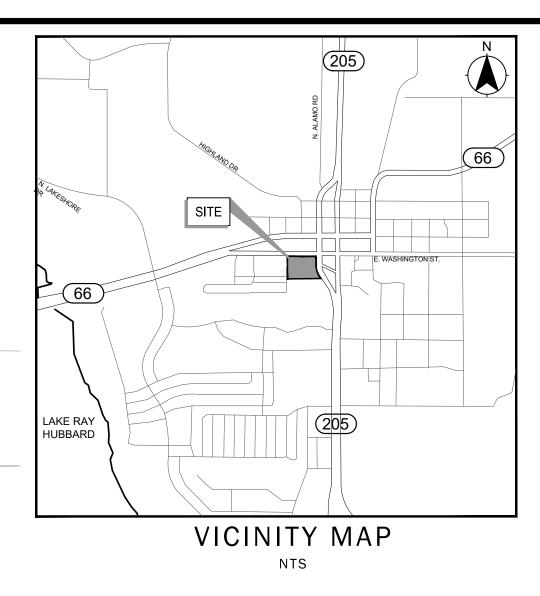
Mayor, City of Rockwall

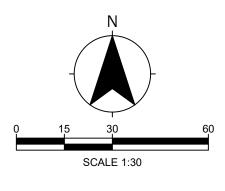
City Secretary

SURVEYOR: A J BEDFORD GROUP, INC. 301 N. ALAMO RD. ROCKWALL, TEXAS 75087 CONTACT: FRANK OWENS PHONE: (972) 722-0225

**ENGINEER/PREPARER:** 

KFM ENGINEERING & DESIGN, LLC 3501 OLYMPUS BOULEVARD, SUITE 100 DALLAS, TEXAS 75019 CONTACT: JOSH MILLSAP, P.E. PHONE: (469) 899-0052





Zoning (from Zoning Map)	DT/ SH66 OVERLAY
Land Use (from Zoning Ordinance)	Multi Family
Lot Area (acres)	3.338
Lot Area (square feet)	145,403
Building Footprint Area (square feet)	108,002
Total Building Area (square feet)	306,582
Building Height (# stories)	4
Building Height (feet - distance to tallest building element)	80'-7"
Lot Coverage (percent - x.xx%)	74.28%
Floor Area Ratio (ratio x.xx:1)	2.11:1
Parking	
Parking Ratio (from Zoning Ordinance)	1.5/ 1BED + 2.0/ 2BED + 2.5/ 3BEI
Required Parking (# spaces)	446
Provided Resident Parking (# spaces)	485
Provided Gues Parking (# spaces)	17
Provided Police Parking (# spaces)	93
Total Parking	595
Accessible Parking Required (# spaces)	9
Accessible Parking Provided (# spaces)	11
Bicycle Parking Required (# spaces)	45
Bicycle Parking Provided (# spaces)	46

• REFER TO LANDSCAPE PLANS FOR DETAILS ON THE LANDSCAPE AREA PROVIDED AND BREAKDOWN ON THE BIKE RACKS.

• AT GRADE STOOP ENTRIES ALONG ALAMO ROAD AND WASHINGTON STREET WILL BE PROVIDED AS GRADING ALLOWS.

## SITE PLAN **ROCKWALL DOWNTOWN LOFTS** PROPOSED LOT 1, BLOCK A

TAC ROCKWALL ADDITION

3.338 ACRES

(FROM BLK A, PART OF LOT 4 & ALL OF LOT 5 AND BLK B, PART OF LOT 4 AND BLK B, LOTS 4 & 5 AND BLK AB, LOT 2 AND BLK P, LOT 2-5 AND BLK AB, LOT 1 AND BLK P, LOT 1,6,7,8 AND PART OF HOUSTON ST., WEST ST., AND ALAMO RD.) OUT OF B.F. BOYDSTUN SURVEY ABSTRACT NO. 14 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS June 18, 2021 CASE NO:XX-XXX

BLOCK Q

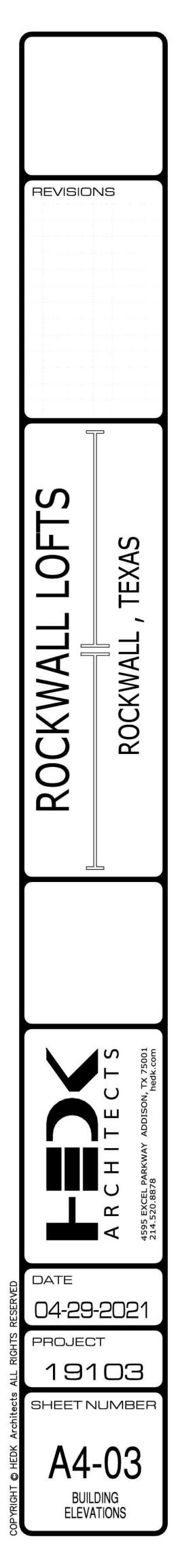
City Engineer













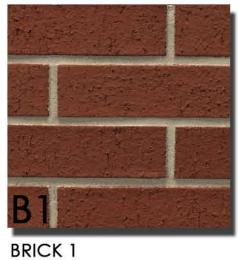


## 5 BUILDING - NORTHEAST ELEVATION (WASHINGTON STREET & ALAMO ROAD CORNER) SCALE: 1/8" = 1'-0"

BUILDING ELEVA MATERIALS POR	
BRICK	48%
STUCCO	5%

	ROCKWALL LOFTS ROCKWALL, TEXAS
	A R C H I T E C T S 4595 EXCEL PARKWAY ADDISON, TX 75001 214.520.8878
GHTS RESERVED	DATE 04-29-2021 PROJECT
rchitects ALL RI	19103 Sheet Number
COPYRIGHT @ HEDK Architects ALL RIGHTS	A4-04 BUILDING ELEVATIONS





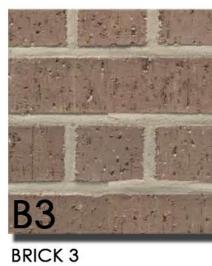
MAIN BRICK BODY COLOR FEATURE BRICK COLOR

ACME BRICK GARNET VELOUR TEXTURE



BRICK 2

ACME BRICK STEELE GRAY



ACCENT BRICK COLOR

ACME BRICK TEXAS ROSEWOOD









**P1** PAINT 1

**BALCONY SIDING &** CORNICE FEATURE COLOR

SHERWIN WILLIAMS **GRECIAN IVORY** SW 7541



PAINT 2 ACCENT COLOR

SHERWIN WILLIAMS ATTITUDE GRAY SW 7060

**P3** 

PAINT 1 TERRACE FEATURE COLOR

SHERWIN WILLIAMS BALANCED BEIGE SW 7037



PAINT 5 RAILINGS AND CANOPIES COLOR

SHERWIN WILLIAMS GREENBLACK SW 6994

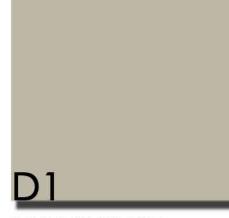


PLYGEM CLAY COLOR

ROCKWALL LOFTS SCHEMATIC MATERIAL BOARD

## Rockwall, Texas





D1-DOWNSPOUT

SENOX CLAY COLOR



M1-METAL ROOF

BERRIDGE DARK BRONZE





19103/06.16.2021 Thompson Realty Capital/TAC INC.

# BRICK 1, GARNET



# BRICK 2 STEELE GRAY

# BRICK 3 TEXAS ROSEWOOD





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# ROCKWALL LOFTS MATERIAL BOARD



# METAL 1 DARK BRONZE



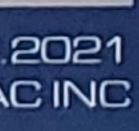


Rockwall, Texas

19103/06.18.2021 Thompson Realty Capital/TAC INC

7669 MS

**E8** 



ROCKW	ALL DOWN	#19103			
UNIT TAE	BULATION		CREATED	06-17-2021	
TYPE	AREA	NO.	%	TOTAL AREA	
E1	576	24	9.13%	13,824	64.64%
L1	793	36	13.69%	28,548	
A1	676	48	18.25%	32,448	
A2	740	46	17.49%	34,040	
A3	791	14	5.32%	11,074	
A4	739	1	0.38%	739	
A5	794	1	0.38%	794	
B1	1,070	7	2.66%	7,490	32.70%
B2	982	43	16.35%	42,226	
B3	1,169	20	7.60%	23,380	
B4	1,194	12	4.56%	14,328	
B5	1,335	4	1.52%	5,340	
C1	1,406	7	2.66%	9,842	2.66%
TOTAL		263	100.00%	224,073	100.00%

AVERAGE UNIT SIZE : 851.99

## BUILDING TABUL ATION

BUILDING	IABULA	TION		
ELEV	COUNT	UNIT TYPES	BLDG. AREA	TOT. AREA
548	1		0	0
558	1		0	0
568	1		0	0
579	1	6-E1;9-L1;12-A1;11-A2;2-A3;11-B2;5-B3;3-B4;2-C1;	51,468	51,468
590	1	6-E1;9-L1;15-A1;12-A2;4-A3;11-B2;5-B3;3-B4;2-C1;	55,818	55,818
601	1	6-E1;9-L1;18-A1;12-A2;4-A3;11-B2;5-B3;3-B4;2-B5;2-C1	60,516	60,516
612	1	6-E1;9-L1;3-A1;11-A2; 4-A3;1-A4;1-A5;7-B1;10-B2;5- B3;3-B4;2-B5;1-C1;	56,271	56,271
TOTAL	8			224,073

565 SPACES

## MISCELLANEOUS:

AVERAGE UNIT SIZE:	851.99	S.F.	
LAND AREA:	3.338	ACRES	
DENSITY:	78.79	UNITS/ACRE	
PARKING:			
REQUIRED Multi Family			445 SPACES
PROVIDED Multi Family			452 SPACES
VISITOR PARKING			17 SPACES
POLICE PARKING			96 SPACES

**Total Parking** 

## Code Required

1.5P/1BD + 2.0P/2BD + 2.5P/3BD 1.72 P/UNIT 1.25 P/BED AT 568 EL

			E	LEVATIO	ON			TOTAL	-
	548	558	568	579	590	601	612		
NO. LEVEL	1	1	1	1	1	1	1	8	
E1				6	6	6	6	24	
L1				9	9	9	9	36	
A1				12	15	18	3	48	
A2				11	12	12	11	46	
A3				2	4	4	4	14	
A4							1	1	
A5							1	1	
B1							7	7	
B2				11	11	11	10	43	
B3				5	5	5	5	20	
B4				3	3	3	3	12	
B5						2	2	4	
C1				2	2	2	1	7	
UNITS/EL	0	0	0	61	67	72	63		
UNITS/EL	0	0	0	61	67	72	63	263	
GARAGE TAE	BULATI	ON							
PODIUM	160	200	200	0	0	0	0	560	TOTAL P
GAR/EL	160	200	200	0	0	0	0	560	TOTAL P



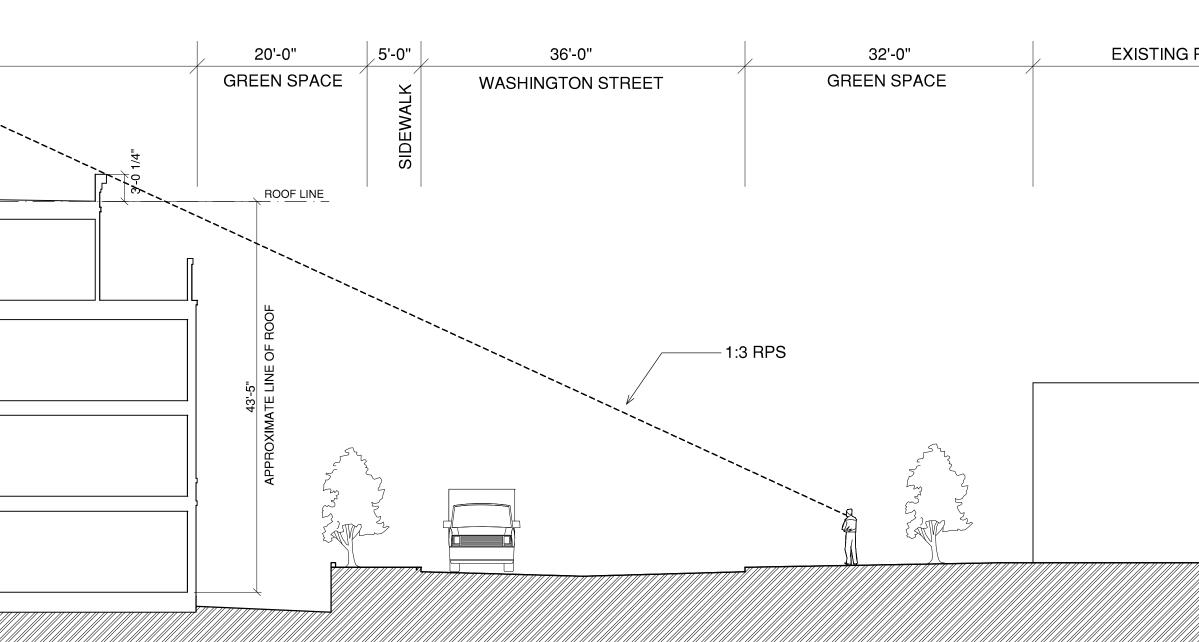
<	MULTIFAMILY STRUCTURE
	ROOFTOP CONDENSER
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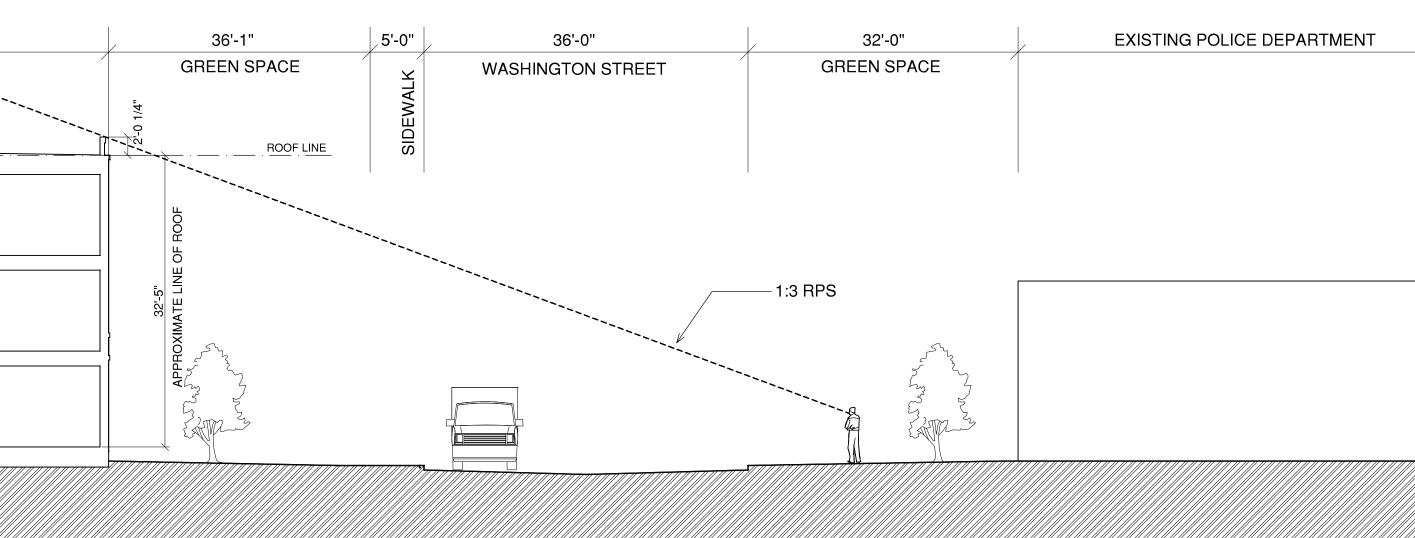
2 MULTIFAMILY DEVELOPMENT SITE SECTION AT WASHINGTON STREET SCALE: 3/32"=1'-0"

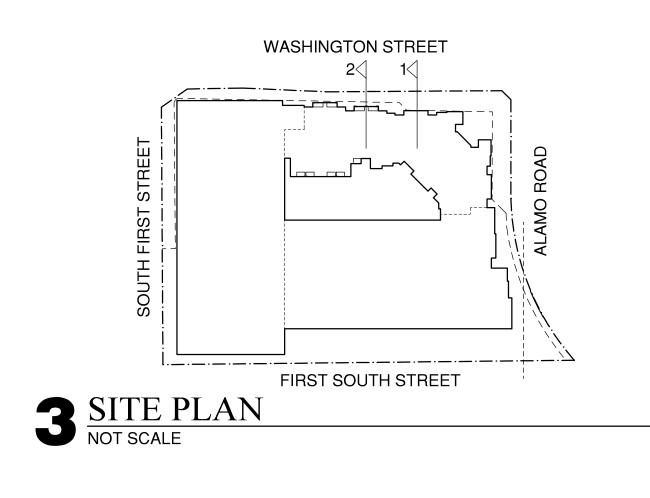
<	MULTIFAMILY STRUCTURE
	ROOFTOP
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■ MULTIFAMILY DEVELOPMENT SITE SECTION AT WASHINGTON STREET SCALE: 3/32"=1'-0"







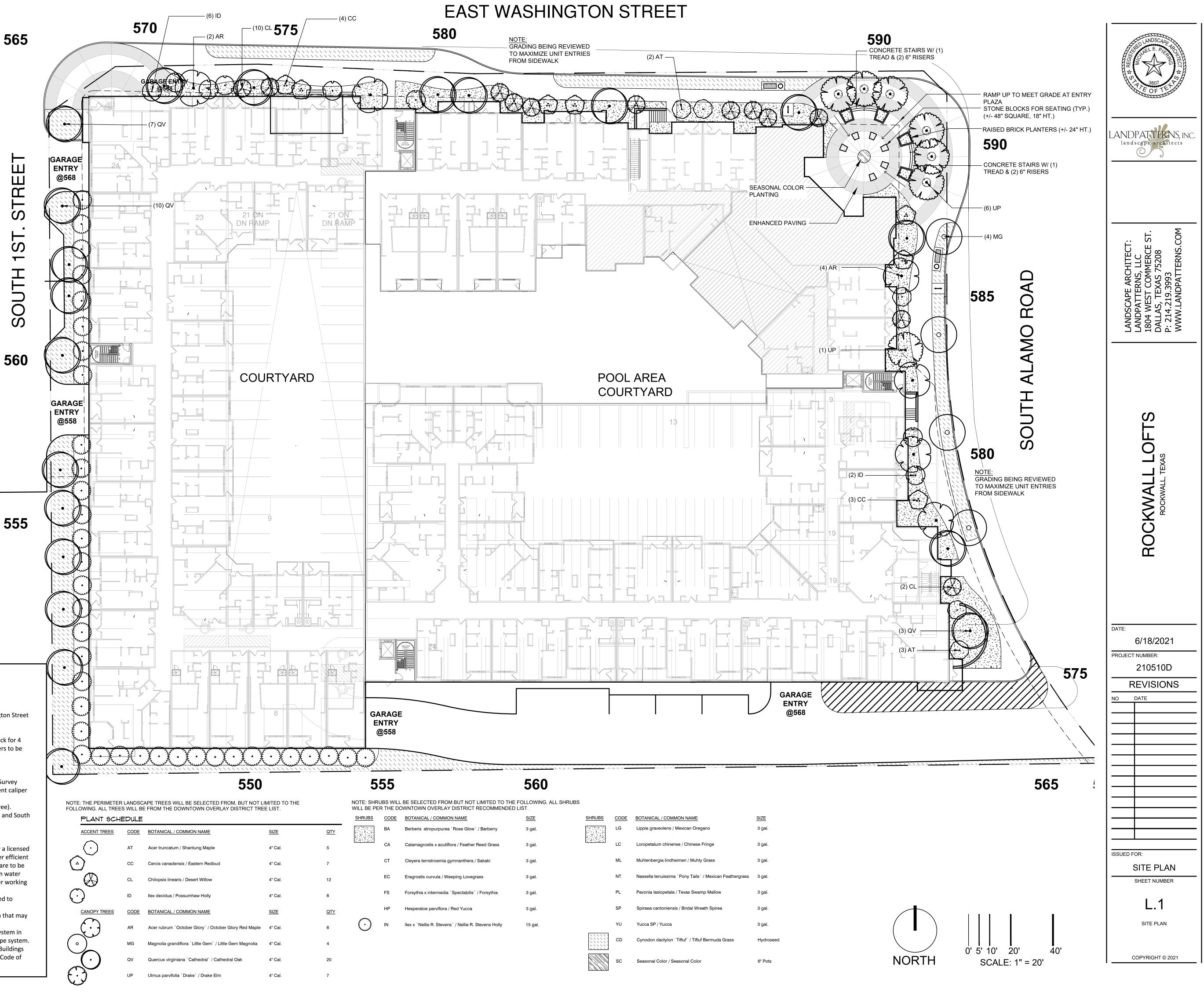
EXISTING POLICE DEPARTMENT

EXISTING POLICE DEPARTMENT

			- \ 
	ISSUED		
		ARCHITECTS	4595 EXCEL PARKWAY ADDISON, TX 75001 214.520.8878 hedk.com
ts ALL RIGHTS RESERVED	DATE 06-18 PROJEC 191		21

SHEET NUMBER A5-01 NEIGHBORHOOD SECTION

Tree Number	DBI (Inches)	Species	General Condition	Mitigated Inches
1	13.10	Eastern Red Cedar	Healthy	6.55
2	4.50	Southern Magnolia	Healthy	4.50
3	7.00	Southern Magnolia	Healthy	7.00
4	5.00	Pecan	Healthy	5.00
5	15.80	Sugarberry	Healthy	7.90
6	12.70	Sugarberry	Healthy	6.35
7	8.00	Eastern Redbud	Damaged	0.00
8	5.50	Pecan	Healthy	5.50
9	6.70	Pecan	Healthy	6.70
10	27.40	Sugarberry	Healthy	54.80
11	17.50	Sugarberry	Healthy	8.75
12	15.20	Sugarberry	Healthy	7.60
13	12.50	Sugarberry	Healthy	6.25
13	17.50	Sugarberry	Damaged	0.00
15	25.30	Sugarberry	Healthy	50.60
16	16.60	Sugarberry	Healthy	8.30
10	12.10	Sugarberry	Healthy	6.05
18	16.10	Sugarberry	Damaged	0.00
18	15.00	Sugarberry	Damaged	0.00
20	17.00	American elm	Healthy	17.00
20	6.30	Green Ash	Healthy	6.30
22	11.60	Sugarberry	Healthy	5.80
23	23.40	Sugarberry	Healthy	11.70
23	11.80	Sugarberry	Healthy	5.90
25	7.30	Southern Magnolia	Healthy	7.30
26	25.20	American elm	Healthy	50.40
20	12.30	Sugarberry	Healthy	6.15
28	12.50	American elm	Healthy	12.50
29	16.50	Sugarberry	Healthy	8.25
30	12.90	Sugarberry	Healthy	6.45
31	18.90	Osage-Orange	Healthy	0.00
32	16.70	Osage-Orange	Damaged	0.00
33	12.90	Sugarberry	Healthy	6.45
34	11.30	Sugarberry	Healthy	5.65
35	14.70	American elm	Healthy	14.70
36	18.10	American elm	Healthy	14.70
37	18.60	Sugarberry	Healthy	9.30
38	12.00	Japanese Privet	Healthy	12.00
39	13.00	Sugarberry	Healthy	6.50
40	26.50	Osage-Orange	Damaged	0.00
40	18.90	Osage-Orange	Healthy	0.00
41	12.20	Sugarberry	Healthy	6.10
72	12.20	Sugarberry	ricality	0.10
Tree			General	Mitigated
Number	DBI (Inches)	Species	Condition	Inches
43	13.50	Sugarberry	Healthy	6.75
43	22.40	Sugarberry	Healthy	11.20
45	13.90	Sugarberry	Healthy	6.95
45	19.70	Sugarberry	Healthy	9.85
40	11.20	Sugarberry	Healthy	5.60
47 48	11.20	Sugarberry	Healthy	6.00
48 49	12.00		-	6.00 7.20
		Sugarberry American elm	Healthy	
50	20.40		Healthy	20.40
51	8.70	American elm	Healthy	8.70



## LANDSCAPE NOTES

8.20

6.50

20.50

20.40

19.70

17.70

14.30

31.50

19.80

7.90

8.50

22.00

29.00

27.40

12.40

14.60

11.90

11.50

8.00

11.90

28.60

4.70

4.50

5.50

18.20

11.20

7.40

49.80

1193.90

52

53

62

65

69

71

72

73

74

75

76

77

78

79 TOTALS Green Ash

Green Ash

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Osage-Orange

Osage-Orange

Sugarberry

Green Ash

Green Ash

Osage-Orange

Osage-Orange

Osage-Orange

Crape Myrtle

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Sugarberry

Osage-Orange

Pecan

Pecan

Pecan

Crape Myrtle

Crape Myrtle

Pecan

Sugarberry

## Street Furniture

- Benches will be provided along Washington Street and South Alamo Road
- Catalog Number. Du Mor Bench # 140 60 One Trash Receptacles will be provided at each bench location along Washington Street and South Alamo Road

8.20

6.50

10.25

0.00

9.85

8.85

0.00

0.00

9.90

7.90

8.50

0.00

0.00

0.00

7.30

5.95

5.75

4.00

0.00

0.00

4.70

4.50

5.50

0.00

0.00

7.40

99.60

705.70

In Lieu of Fee \$70,570.00

0.0

Healthy

Healthy

Healthy

Damaged

Healthy

Healthy

Healthy

Damaged

Healthy

Healthy

Healthy

Damage

Damaged

Damaged

Damaged

Healthy

Healthy

Healthy

Healthy

Damaged

Damaged

Healthy

Healthy

Healthy

Healthy

Healthy

Healthy

Healthy

 Catalog Number. Du Mor Receptacle 84-22DM Bicycle Racks will be provided at 1 per 10 parking spaces for a total of 46. A rack for 4 bikes will be located near the main Entry Plaza with the remaining racks/lockers to be located within the parking garage.

#### Tree Mitigation

- Based on the City of Rockwall Tree Replacement Guidelines and the Tree Survey prepared by Integrated Environmental Solutions, there are 734 replacement caliper inches required
- (refer to surveyed tree list with required replacement caliper inches per tree). Approximately 150 caliper inches will be planted along Washington Street and South Alamo Road.

#### Irrigation

- All landscaping is required to have an irrigation system that is designed by a licensed irrigator. Additionally, all irrigation systems should be designed to be water efficient utilizing low-flow irrigation equipment. The plan will show that turf areas are to be watered separately, and plants will be grouped in separate zones based on water need. Finally, all irrigation systems are required to be maintained in proper working order.
- Landscaped Areas. One (1) of the following irrigation methods shall be used to ensure adequate watering of plant material in landscaped areas:
  - Conventional System. An automatic underground irrigation system that may be a conventional spray or bubbler type heads.
  - Drip or Leaky-Pipe System. An automatic underground irrigation system in
- conjunction with a water saving system such as a drip or a leaky pipe system. All irrigation systems shall comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City Rockwall Code of Ordinances, and all applicable state laws.

51.		WILL BE PE	RINED	JWNTOWN OVERLAY DIS
		SHRUBS	CODE	BOTANICAL / COMMON NA
<u>2E</u>	QTY		BA	Berberis atropurpurea `Ros
Cal.	5		CA	Calamagrostis x acutiflora / F
Cal.	7		СТ	Cleyera ternstroemia gymna
Cal.	12		EC	Eragrostis curvula / Weeping
Cal.	8		FS	Forsythia x intermedia `Spec
<u>2E</u>	<u>QTY</u>		HP	Hesperaloe parviflora / Red V
Cal.	6	$\bigcirc$	IN	llex x `Nellie R. Stevens` / N
Cal.	4			

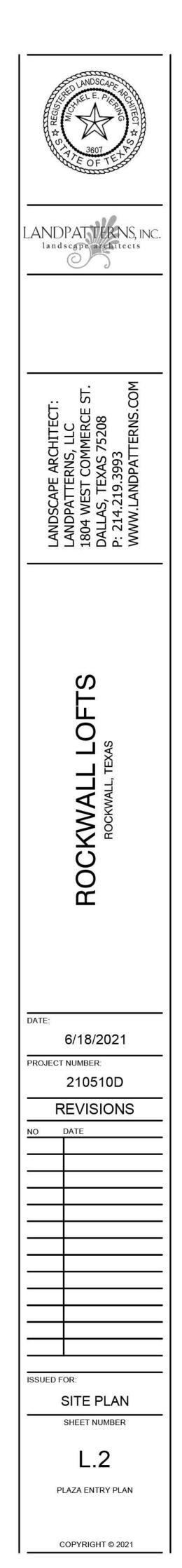
ODE	BOTANICAL / COMMON NAME	SIZE
٩	Berberis atropurpurea `Rose Glow` / Barberry	3 gal.
A	Calamagrostis x acutiflora / Feather Reed Grass	3 gal.
Т	Cleyera ternstroemia gymnanthera / Sakaki	3 gal.
C	Eragrostis curvula / Weeping Lovegrass	3 gal.
6	Forsythia x intermedia `Spectabilis` / Forsythia	3 gal.
Ρ	Hesperaloe parviflora / Red Yucca	3 gal.
	llex x `Nellie R. Stevens` / Nellie R. Stevens Holly	15 gal.

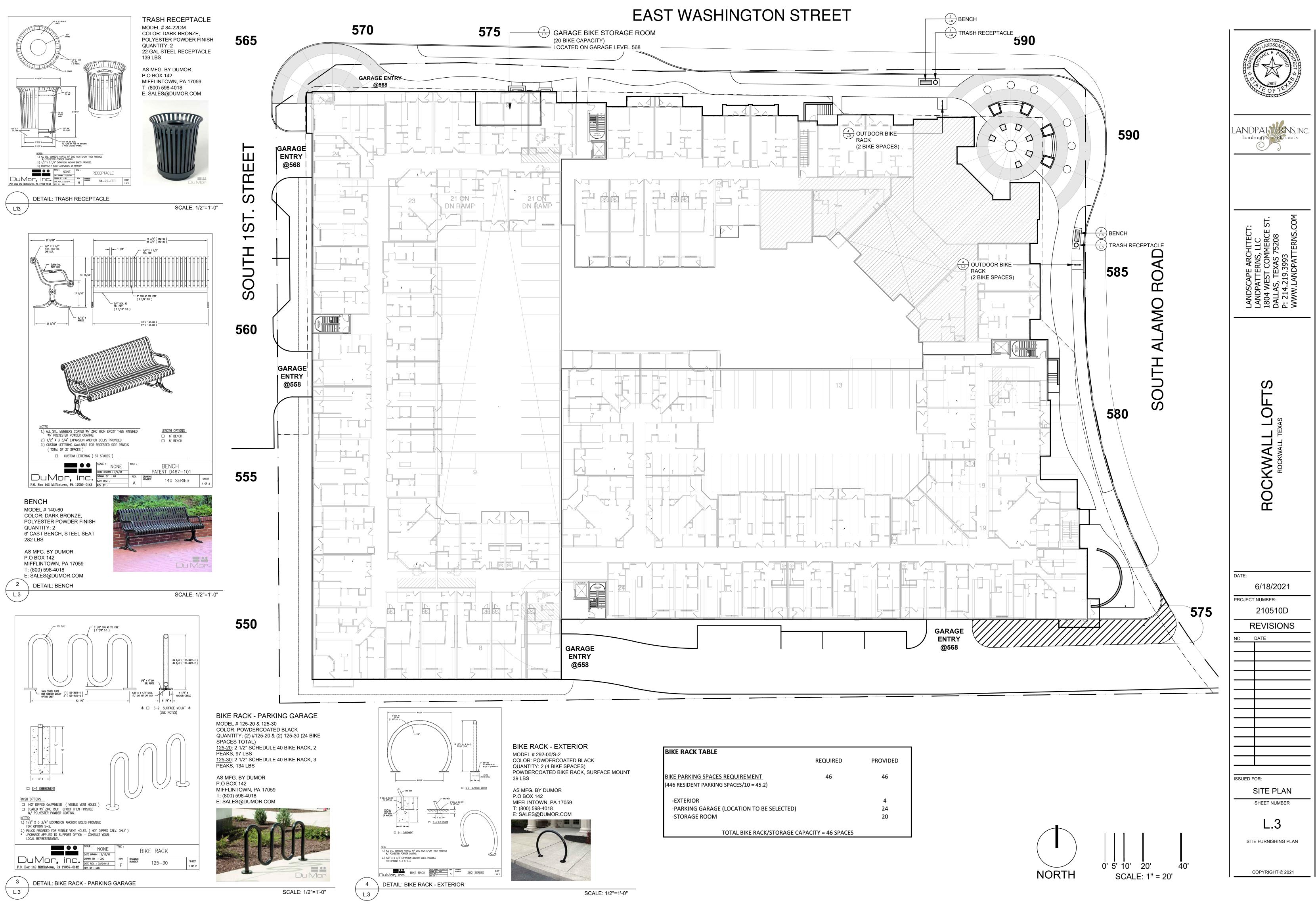
ML	Muhlenb
NT	Nassella
PL	Pavonia
SP	Spiraea o
YU	Yucca SI
CD	Cynodor

E	BOTANICAL / COMMON NAME	SIZE
	Lippia graveolens / Mexican Oregano	3 gal.
	Loropetalum chinense / Chinese Fringe	3 gal.
	Muhlenbergia lindheimeri / Muhly Grass	3 gal.
	Nassella tenuissima `Pony Tails` / Mexican Feathergrass	3 gal.
	Pavonia lasiopetala / Texas Swamp Mallow	3 gal.
	Spiraea cantoniensis / Bridal Wreath Spirea	3 gal.
	Yucca SP / Yucca	3 gal.
	Cynodon dactylon `Tiftuf` / Tiftuf Bermuda Grass	Hydros
	Seasonal Color / Seasonal Color	6" Pots









	REQUIRED	PROVIDED
BIKE PARKING SPACES REQUIREMENT	46	46
(446 RESIDENT PARKING SPACES/10 = 45.2)		
-EXTERIOR		4
-PARKING GARAGE (LOCATION TO BE SELECTED)		24
-STORAGE ROOM		20
TOTAL BIKE RACK/STORAGE CAP	ACITY = 46 SPACES	

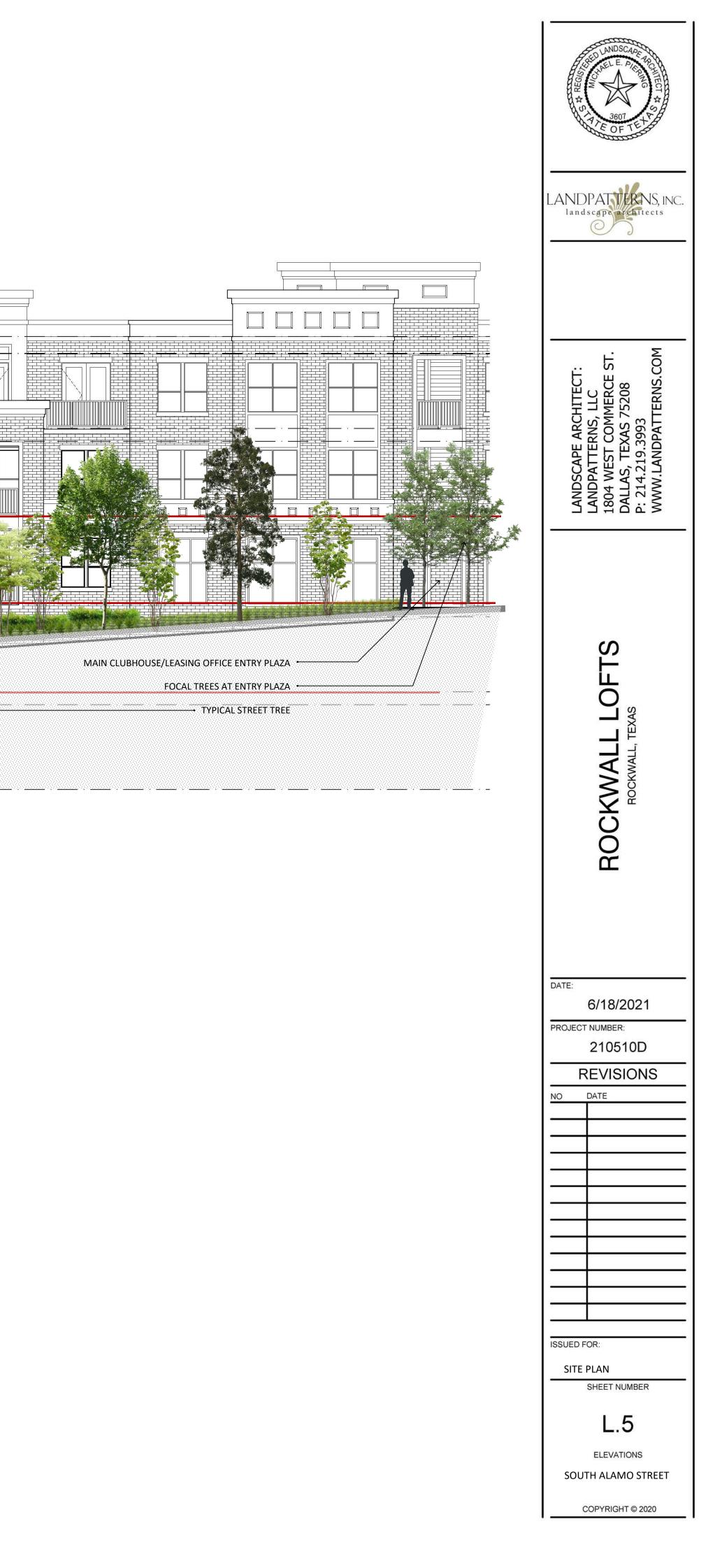




EAST WASHINGTON STREET — STREETSCAPE — 1/8" =1'-0"



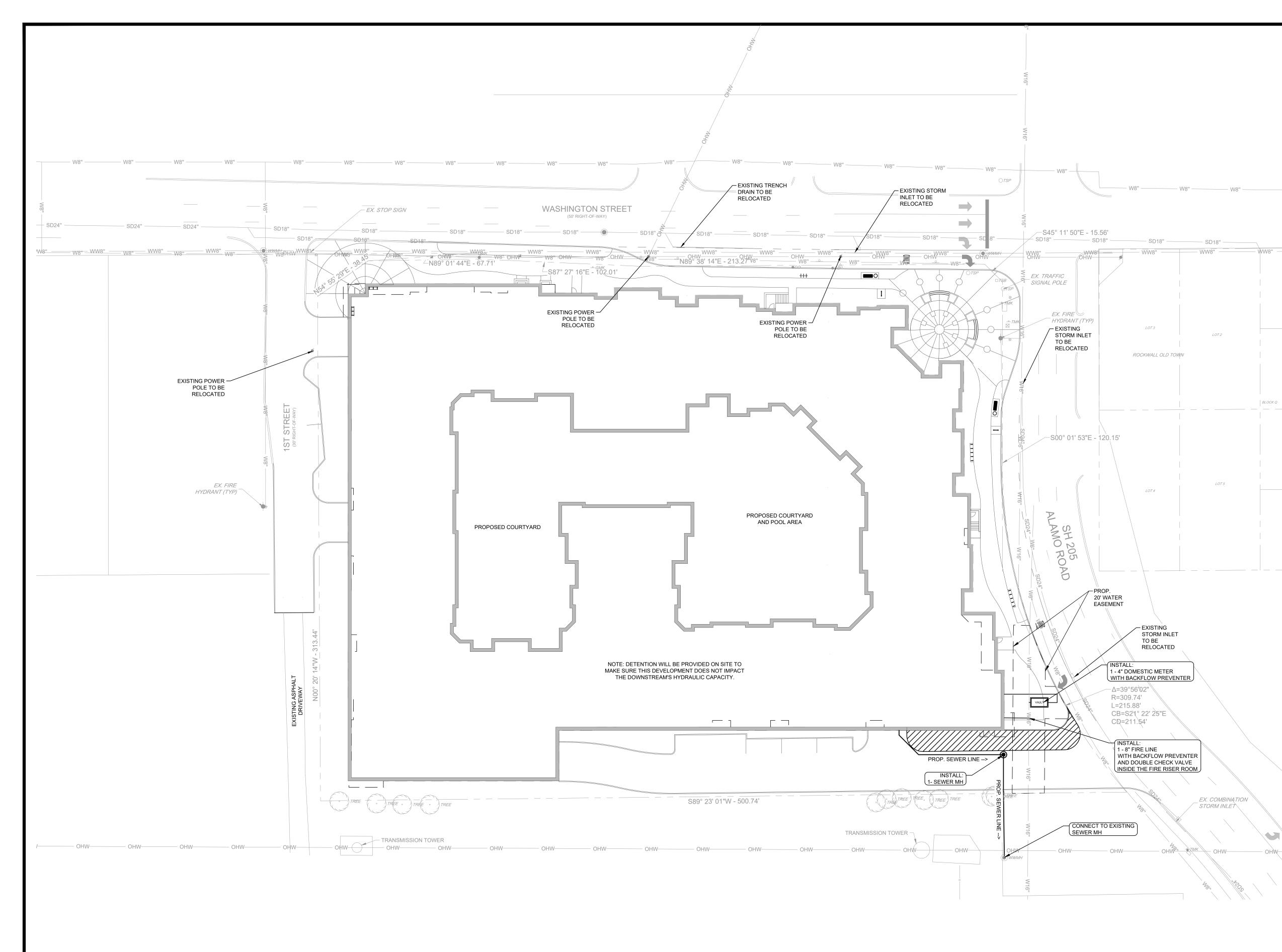






SOUTH FIRST STREET 1/8" =1'-0"





LANDSCAPE ARCHITECT: LAND PATTERNS 1804 W COMMERCE ST. STE 200, DALLAS, TX 75208 CONTACT: MICHAEL E. PIERING PHONE: (214) 219-3993 EMAIL: MIKE@LANDPATTERNS.COM

DEVELOPER: THOMPSON REALTY CAPITAL 1600 N. COLLINS BLVD. STE 3000, RICHARDSON, TX 75080 CONTACT: TAYLOR FIELD PHONE: (972) 644-2400 EMAIL: TAYLOR@THOMPSON-REALTY.COM EMAIL: TAUSTIN@TAC-INC.NET EMAIL: EEARNSHAW@HEDK.COM EMAIL: FRANK@AJBEDFORDGROUP.COM EMAIL: JMILLSAP@KFM-LLC.COM

**OWNER/DEVELOPER:** 

TAC, Inc 102 S. GOLIAD, SUITE 205 ROCKWALL, TEXAS 75032 CONTACT: TONY S. AUSTIN PHONE: (214) 507-9055

**ARCHITECT:** HEDK ARCHITECTS 4595 EXCEL PARKWAY ADDISON, TEXAS 75001 CONTACT: ERIK EARNSHAW PHONE: (214) 520-8878

## STANDARD CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman

#### APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the [XX] day of [XX], [2021]. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this [XX] day of [XX], [2021].

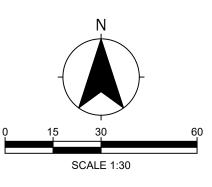
## SURVEYOR: A J BEDFORD GROUP, INC. 301 N. ALAMO RD. ROCKWALL, TEXAS 75087 CONTACT: FRANK OWENS

PHONE: (972) 722-0225

## **ENGINEER/PREPARER:**

KFM ENGINEERING & DESIGN, LLC 3501 OLYMPUS BOULEVARD, SUITE 100 DALLAS, TEXAS 75019 CONTACT: JOSH MILLSAP, P.E. PHONE: (469) 899-0052

Mayor, City of Rockwall



L	UTILITY EXHIBIT LEGEND				
EXISTING	PROPOSED				
WW	WW —►	WASTEWATER LINE			
$\bigcirc$	$\bigcirc$	WASTEWATER MANHOLE			
W	2" W	WATER LINE			
——— F ——— •	6" F	FIRE LINE			
	-	FIRE HYDRANT			
	VAULT	METER VAULT			
	-	BACKFLOW PREVENTOR			
Þ	۶	POWER POLE			
		STORM DRAIN			
$\bigcirc$		STORM DRAIN MANHOLE			
		STORM DRAIN GRATE INLET			

## PRELIMINARY UTILITY PLAN **ROCKWALL DOWNTOWN LOFTS**

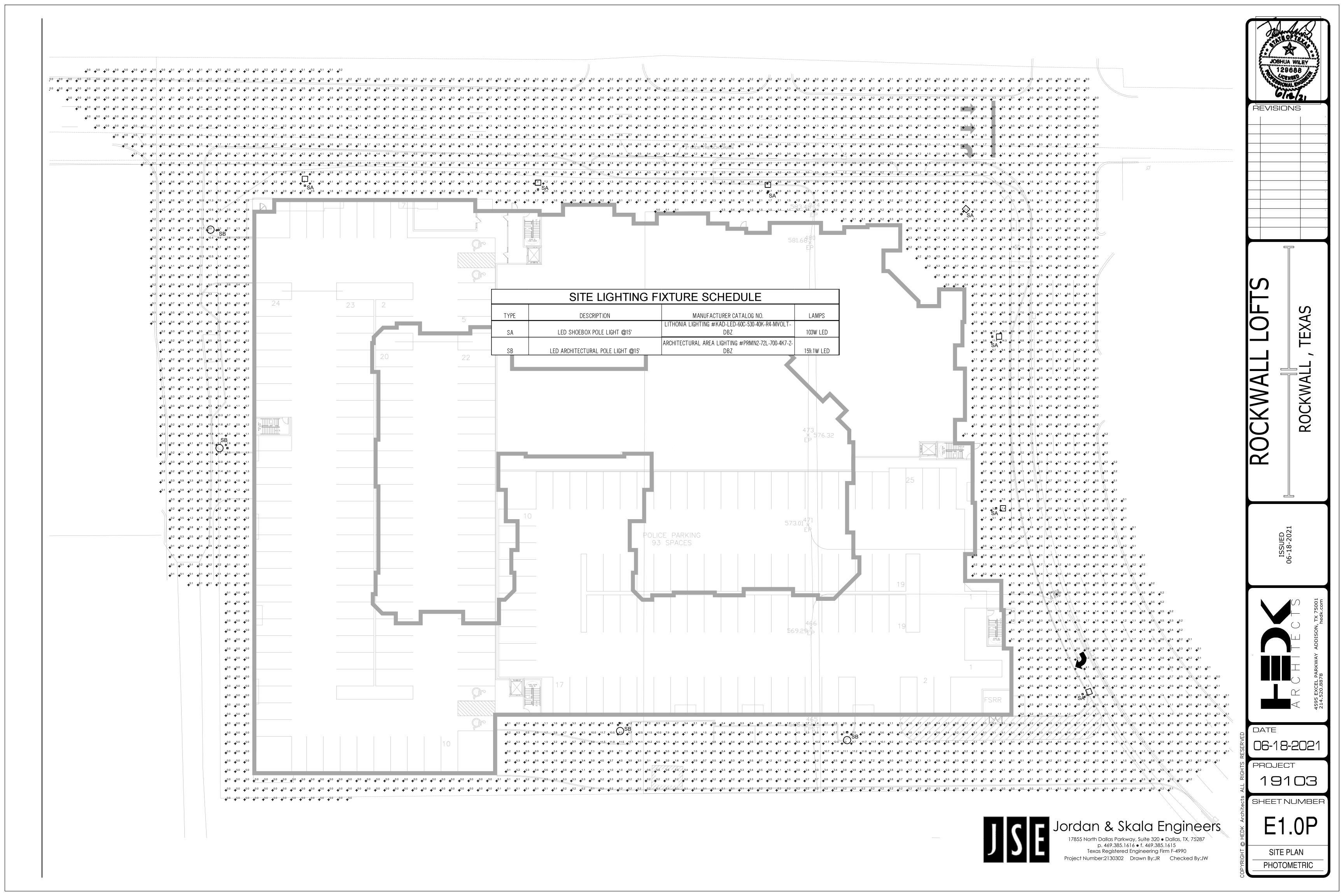
PROPOSED LOT 1, BLOCK A TAC ROCKWALL ADDITION

3.338 ACRES

(FROM BLK A, PART OF LOT 4 & ALL OF LOT 5 AND BLK B, PART OF LOT 4 AND BLK B, LOTS 4 & 5 AND BLK AB, LOT 2 AND BLK P, LOT 2-5 AND BLK AB, LOT 1 AND BLK P, LOT 1,6,7,8 AND PART OF HOUSTON ST., WEST ST., AND ALAMO RD.) OUT OF B.F. BOYDSTUN SURVEY ABSTRACT NO. 14 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS June 18, 2021 CASE NO:XX-XXX

City Engineer

City Secretary





**FD | ITFPAK** 

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

#### FEATURES

- Litepak LNC3 is a mid-sized wallpack in the popular Litepak series
- The LNC3 features luminaires with TIR optics and four different lumen packages, multiple distributions and CCT for maximum light level and mounting height flexibility
- Capable of replacing up to 250w HID solutions at over 70% energy savings
- Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources
- Typical mounting heights of 8-20"



**RELATED PRODUCTS** 

8 INC2

8 LNC

00

LNC3 PSG PAGE

00

LNC3 BROCHURE

Ø

LED BUILDING GUIDE

00

INSTALLATION INSTRUCTIONS



#### CONTROL TECHNOLOGY





#### CONSTRUCTION

- Die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments
- Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit
- Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions
- CS Frosted acrylic diffuser option for reduced glare
- CSU Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

#### OPTICS

- Ambient operating temperature -40°C to 40°C
- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Available in 4 or 24 LED configuration
- L70 at 60,000 hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

#### INSTALLATION

 Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box)

#### INSTALLATION (CONTINUED)

- Fixture attaches by two Allen-head hidden fasteners for tamper resistance
- Designed for direct j-box mount or conduit feed on all four sides in single SKU

#### ELECTRICAL

- 120-277, 347 and 480 voltage, 50/60Hz, 0-10V dimming drivers
- Electronic driver
- 10kA surge protection

#### CONTROLS

- Button photocontrol for dusk to dawn
   energy savings
- 7-pin photo-receptacle available for twist lock photocell and controls by others
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commisioned wireless controls (with or without sensor)
- In addition, LITEPAK can be specified with SiteSync<sup>™</sup> wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7
- See ordering information or visit www.hubbelllighting.com/sitesync for more details

#### CERTIFICATIONS

 DLC<sup>®</sup> DesignLights Consortium Qualified, with some Premium Qualified configurations.
 Please refer to the DLC website for specific product qualifications at www.designlights.org

8 LNC4

- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 Assembly

• IDA Approved (3000K configurations )

#### WARRANTY

- 5 year limited warranty
- See <u>HLI Standard Warranty</u> for additional information

KEY DATA	7
Lumen Range	2,991–7,603
Wattage Range	28–83
Efficacy Range (LPW)	84–115
Fixture Projected Life (Hours)	L70>60K
Weights lbs. (kg)	18.0 (8.2)





#### LNC3 MEDIUM LED LITEPAK

# DATE: LOCATION: TYPE: PROJECT: CATALOG #:

#### ORDERING GUIDE

Example: LNC3-24L-3K-035-2-U-DBT-PCU
CATALOG #

#### ORDERING INFORMATION

		_			-					]-				_			_			
Series LNC3	Medium Litepak Wallpack		# LE 24L	24LEDs		<b>4K</b> 4	000	K nomina K nomina K nomina	I, 70 CRI		035 050 075 105				2 3 4	Type II <sup>1</sup> Type III <sup>1</sup> Type III <sup>1</sup> Type IV <sup>1</sup>		U 1 2 3 4 5 F	120V <sup>1</sup> 208V <sup>1</sup> 240V <sup>1</sup> 277V <sup>1</sup> 480V <sup>1</sup>	
Finish		- Co	ontrol	Options			]_	Options					Note 1 2	Mus Fact	ory in				for E & EH) SCP or SWPM sen	nsor/
BLT BLS DBT	Black Matte Textured Black Gloss Smooth Dark Bronze Matte Textured		CU PR	Universal Button P 7pin PCR <sup>6</sup> Programmable occ				F	Fusing (musi per footnote Frosted acry	)	,	Ū.	3	Mus dimr dimr	t orde ning s	settings, 0-10V full	/ adju light	ustał	ontrol to program ble bration and different	t time
DBS GTT LGS	Dark Brone Gloss Smooth Graphite Matte Textured Light Grey Gloss Smooth	sv	VP	sensor <sup>3,4</sup> SiteSync Pre-Comr SiteSync Pre-comr	misi	on <sup>7,10</sup>		CSU	Inverted/Up acrylic diffus inverted fixtu factory instal	er (re ure ir	equire Istallat	d for up/ ions,	4 5	20F 350 SWF	= up mA, 5 9 or S	to 20ft) 00mA & 750mA v WPM options	ersio	ons o	n sensor (8F = up to nly. Not available w G controls (by other	vith F,
PSS WHT WHS	Platinum Silver Smooth White Matte Textured White Gloss Smooth			OCC Sensor <sup>4,7,8,10</sup>				E EH	Integral batte for 0°C <sup>1,5</sup> Integral batte heater rated	ery b	Jackup	with	8	avail Mus www Spee	able t speo v.Hub cify tir	with PCU, SWP or cify group and zor bellLighting.com/p me delay; dimming	SWPI e info rodu i leve	M co orma icts/s el ani	ontrol options tion at time or orde itesync for future de d mounting height	er. Sei letails
VGT Color ( CC	Verde Green Textured Option Custom Color							2DR	Dual Driver <sup>9</sup>	101	550		9 10			nd 1050mA versio only, not available			ot available with 34 ′ or 480V	7/480

#### ACCESSORIES AND SERVICES (ORDERED SEPARATELY)

	Catalog Number	Description
	LNC3-CS	Frosted acrylic comfort shield/lens, reduces glare and improves uniformity with only 20% lumen reduction
	SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
	SWUSB	SiteSync interface software loaded on USB flash drive for use with owner supplied PC (Windows based only). Includes SiteSync license, software and USB radio bridge node*
	SWTAB	Windows tablet and SiteSync interface software. Includes tablet with preloaded software, SiteSync license and USB radio bridge node <sup>*</sup>
	SWBRG	SiteSync USB radio bridge node only. Order if a replacement is required or if an extra bridge node is requested
	SW7PR	SiteSync 7 Pin on fixture module On/Off/Dim, Daylight Sensor 120-480VAC*
Notes:		

\* When ordering SiteSync at least one of these two interface options must be ordered per project

+ Available as a SiteSync retrofit solution for fixtures with an existing 7pin receptacle

#### Hubbell Control Solutions — Accessories (Sold Separately)

#### NX Distributed Intelligence<sup>™</sup>

NXOFM-1R1D-UNV On-fixture Module (7-pin), On / Off / Dim, Daylight Sensor with HubbNET Radio and Bluetooth® Radio, 120–480VAC

#### wiSCAPE® Lighting Control

WIR-RME-L On-fixture Module (7-pin or 5-pin), On / Off / Dim, Daylight Sensor with wiSCAPE Radio, 110–480VAC For additional information related to these accessories please visit <u>www.hubbellcontrolsolutions.com</u>. Options provided for use with integrated sensor, please visit <u>www.hubbellcontrolsolutions.com</u>.

Page 2/5 Rev. 04/23/20 LNC3LED-SPEC © 2020 Hubbell Outdoor Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice. 701 Millennium Blvd • Greenville, SC 29607 / Tel 864.678.1000 / Website www.hubbelloutdoor.com



HUBBELL	HUBBELL Outdoor Lighting

MEDIUM LED LITEPAK

## CONTROLS

#### <u>SiteSync – Precommissioned Ordering Information:</u>

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit the SiteSync family page on our website or contact Hubbell Lighting tech support at 800-345-4928.

SiteSync fixtures with Motion control (SWPM) require the mounting height of the fixture for selection of the lens.

Examples: LNC3-24L-4K-075-3-U-BL-SWP LNC3-24L-4K-075-3-U-BL-SWPM-20F

SiteSync only SiteSync with Motion Control

#### SiteSync 7-Pin Module:

SiteSync features in a new form

• Available as an accessory for new construction or retrofit applications (with existing 7-Pin receptacle)

Does not interface with occupancy sensors

#### PERFORMANCE DATA

# Of	Nominal	System	Dist.	5K (5000	5K (5000K NOMINAL 70 CRI) 4K (4000K NOMINAL 70 CRI)			3K (3000		L 80	CRI)							
LEDs	Wattage	Watts	Туре	/ <sup>pe</sup> Lumens LPW* B U G Lumens LPW* B U		υ	G	Lumens	LPW*	в	U	G						
4	N/A	N/A	E	671	-	-	-	-	657	-	-	-	-	591	-	-	-	-
			2	3,212	115	1	0	1	3,145	113	1	0	1	2,991	107	1	0	1
	350mA	28	3	3,160	113	1	0	1	3,094	111	1	0	1	2,944	106	1	0	1
			4	3,182	114	1	0	1	3,116	112	1	0	1	2,964	106	1	0	1
			2	4,143	101	1	0	2	4,057	99	1	0	2	3,858	94	1	0	2
	500mA	41	3	4,076	99	1	0	1	3,991	97	1	0	1	3,797	93	1	0	1
24			4	4,104	100	1	0	1	4,019	98	1	0	1	3,823	93	1	0	1
24			2	5,918	99	1	0	2	5,795	97	1	0	2	5,512	92	1	0	2
	750mA	60	3	5,823	97	1	0	2	5,702	95	1	0	2	5,424	90	1	0	2
			4	5,863	98	1	0	2	5,741	96	1	0	2	5,461	91	1	0	2
			2	7,630	92	2	0	2	7,472	90	2	0	2	7,107	86	2	0	2
	1050mA	83	3	7,508	90	1	0	2	7,352	89	1	0	2	6,993	84	1	0	2
			4	7,559	91	1	0	2	7,402	89	1	0	2	7,041	85	1	0	2

#### ELECTRICAL DATA

# OF LEDS	Drive Current (mA)	Input Voltage (V)	Oper. Current (Amps)	System Power (W)
		120	0.23	28
	350mA	277	0.10	28
	S50IIA	347	0.08	28
		480	0.06	28
		120	0.34	41
	E00mA	277	0.15	41
	500mA	347	0.12	41
24		480	0.09	41
24		120	0.50	60
	750mA	277	0.22	60
	/50MA	347	0.17	60
		480	0.13	60
		120	0.69	83
	1050mA	277	0.30	83
	1050mA	347	0.24	83
		480	0.17	83

#### PROJECTED LUMEN MAINTENANCE

Ambient			OPE	RATING HOURS		
Temperature	0	0 25,000		TM-21-11* L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.94	0.93	0.89	>296,000
40°C / 104°F	1.00	0.95	0.91	0.89	0.83	>191,000

Projected per IESNA TM-21-11 \* (Nichia 219B, 700mA, 85°C Ts, 10,000hrs). Data references the extrapolated performance projections for the LNC-12LU-5K base model in a 40°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08. 

SW7PF



	1
DATE:	LOCATION

TYPE: PROJECT:

CATALOG #:

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

MEDIUM LED LITEPAK

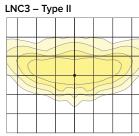
#### LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Te	emperature	Lumen Multiplier
0° C	32° F	1.02
10° C	50° F	1.01
20° C	68° F	1.00
25° C	77° F	1.00
30° C	86° F	1.00
40° C	104° F	0.99

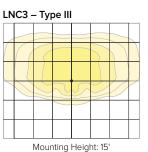
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

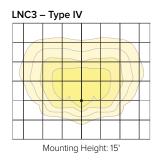
#### PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see <u>website photometric test reports</u>.



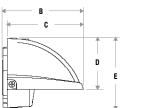
Mounting Height: 15'

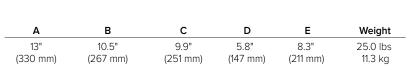




#### DIMENSIONS







#### ADDITIONAL INFORMATION

#### CSU - INVERTED MOUNTING OPTION

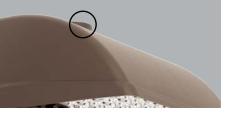


\*Requires Factory Installed Lens Option

Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser option softens output, improves uniformity and protects LED lenses.

#### SHIPPING INFORMATION

SCP - PROGRAMMABLE OCCUPANCY SENSOR



\*Photocontrol and Wireless Controls by Others

Standard NEMA 7-Pin receptacle for twist lock photocell or wireless controls (by others).

#### SCP - PROGRAMMABLE OCCUPANCY SENSOR



Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

Visit: http://www.hubbelllighting.com/solutions/controls/ for control application information

Catalag		(	Carton Dimension	S	Cartan Oty nor
Catalog Number	G.W(kg)/ CTN	Length Inch (cm)	Carton Qty. per Master Pack		
LNC3-24LU	18.0 (8.2)	15.8 (40)	11.0 (28)	13.0 (33)	1

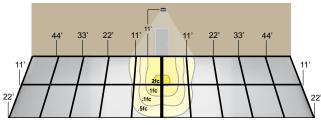




LNC3 MEDIUM LED LITEPAK

#### ADDITIONAL INFORMATION (CONTINUED)

#### LNC2 - BATTERY BACK UP

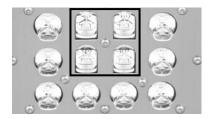


#### 11' Mounting Height

Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout. Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

#### **E & EH EMERGENCY BATTERY BACKUP**



24 High Power LEDs generate up to 7,500 lumens in Normal Mode, and use 4 LEDs for up to 700 lumens in emergency.

#### USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks <sup>w</sup> or registered trademarks <sup>®</sup> of Hubbell Lighting, Inc. or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

Page 5/5 Rev. 04/23/20	
LNC3LED-SPEC	



DATE:	LOCATION:	_
TYPE:	PROJECT:	
CATALOG #:		_



#### FEATURES

- Reliable, uniform, glare free illumination
- Types 1, 2, 3, 4W, 5Q, and 5W distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral surge suppression
- Upgrade Kits



# DATE: LOCATION: TYPE: PROJECT: CATALOG #: CATALOG #:

PROMENADE



#### SPECIFICATIONS

#### CONSTRUCTION

- All housing components aluminum 360 alloy, sealed with continuous silicone rubber gaskets
- Standard configurations do not require a flat lens, optional lenses is tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat
- Optical bezel finish is match the luminaire housing

#### LED/OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate.
- Cartridge is easily disassembled to replace components. Optics are held in place without the use of adhesives.
- Molded silicone gasket ensures a weather-proof seal around each individual LED.
- Features revolutionary individual LED optical control based on high performance TIR optical designs.
- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens.

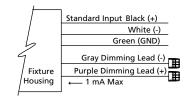
#### INSTALLATION

• Fixtures must be grounded in accordance with national, state and/or local electrical codes.

Failure to do so may result in serious personal injury.

#### ELECTRICAL

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control



Driver and surge suppressor are mounted to a prewired tray with quick disconnects that may be removed from the gear compartment

#### CONTROLS

• Egress adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.

#### CONTROLS (CONTINUED)

- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others

#### CERTIFICATIONS

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. <u>See Buy</u> <u>American Solutions</u>.

#### WARRANTY

 See <u>HLI Standard Warranty</u> for additional information

KEY DATA	4
LUMEN RANGE	6,200-17,600
WATTAGE RANGE	55-159
EFFICACY RANGE (LPW)	93-134
INPUT CURRENT RANGE (mA)	245-700 mA
WEIGHT	38 lbs/17 kg
EPA	1.53



SPHOTOMETRY



DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Example: PRMN2-72L-365-3K7-4W-BL-TRA1M-CL-HS-AD5-UNV

#### ORDERING GUIDE

#### CATALOG #

#### HOUSING

PRMN2													
Housing		LED	Quantity	Lumer	n output	CCT/CR	I	Distri	oution	Finish			
PRMN2	Promenade	72L	72 LED	245	450mA, MicroCore Equivalent	AMB	Amber-595nm Peak <sup>1</sup>		Type I	BLS	Black Gloss Smooth		
				335	335mA, 8,500 lumens	3K7	3000K, 70 CRI	2	Type II	BLT	Black Matte Textured		
				365	700mA, MicroCore Equivalent	4K7	4000K, 70 CRI	3	Type III	DBS	Dark Bronze Gloss Smooth		
				500	500 500mA, 12,000 lumens		5000K, 70 CRI	4W	Type IV Wide	DBT	Dark Bronze Matte Textured		
				700 700mA, 16,000 Lumens				5Q	Type V Square	GTT	Graphite Matte Textured		
								5W	Type V Wide	LGS	Light Grey Gloss Smooth		
										LGT	Light Grey Matte Textured		
										PSS	Platinum Silver Gloss Smooth		
										VGT	Verde Green Matte Textured		
										WHS	White Gloss Smooth		
				I				WHT	White Matte Textured				
										Color (	Option		
										CC <sup>2</sup>	Custom Color		

Ма	punting	Optio	nal Lens	Option	s	Options F	Photocontrol Egress	Mountir	ng Options	Voltage	
STND_MNT Stand	lard mounting slips oole or may choose	DL	Diffused Lens	HS BPS	House Side Shield Brass Painted Struts	PCA-C	Photocontrol Adaptor Cont.	AD5	Adaptor-5" OD Pole	UNV	120-277\
Post Top Mount Slips over a 5"/125 tenon	Smm DIA. pole or			снс внс	Copper Hood Cover Brass Hood Cover	PCA-T EPA-C	Photocontrol Adaptor Trad. Egress Adaptor				
PT5				SF	Single Fuse (120,277, 347)	EPA-T	Contemporary Egress Adaptor				
Pole Mount Arms Slips over a 4"/100 tenon				DF	Double Fuse (208,240, 480)		Traditional				
SLA1	SLA1-2										
Bolts to the side o or 5"/125mm DIA.	f a 4"/100mm DIA. pole										
TRA1M TRA1L	TRA3 TRA5U										
TRA55	TRA56 (4" only)	I		I		1	Nete	1		I	
TRA57	TRA6U				19" (480 mm)		Note 1	s: Turtle Frie	endly		
Wall Mount		DIM	ENSIONS		(-100 mm) 	•	2	Consult fa	ctory for custom color, mar	ine and corr	osive finish op
WMA1M	WMA1L			-							
WMA3	WMA35U			Ĩ		n n					
WMA36U	WMA55					\$					
WMA56	WMA57		39" (990 n								
WMA7	WMA9U		(990 h	1111)							
Pier Mount											
PM1	PM2				<u> </u>						
PM3											
										-	

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DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

#### DELIVERED LUMENS

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

						3000K 70CRI 4000K 70CRI						I	5000K 70CRI										
LED #	Drive Current	Lumen	Lens	Distribution		Bu	g Rat	ting	Efficancv		Bu	g Rat	ing	Efficancy		Bug Rating			Efficancy				
#	Current	Package			Lumen				(Lm/W)	Lumen				(Lm/W)	Lumen				(Lm/W)				
				1	6854	1	3	1	125.08	7080	1	3	1	129.20	7345	1	3	1	134.03				
				2	6435	2	3	2	117.43	6647	2	3	2	121.30	6896	2	3	2	125.83				
				3	8410	2	3	2	153.47	8687	2	3	2	158.52	6829	2	3	2	124.62				
				4W	6292	2	3	2	114.82	6499	2	3	2	118.60	6743	2	3	2	123.04				
	245	Microcore		1-HS	4040	1	3	1	73.72	4173	1	3	1	76.15	4329	1	3	1	79.00				
	245	Equivalent		2-HS	3337	1	3	1	60.89	3447	1	3	1	62.90	3576	1	3	1	65.25				
				3-HS	3121	1	3	1	56.95	3223	1	3	1	58.82	3344	1	3	1	61.02				
				4W-HS	3162	1	3	1	57.71	3267	1	3	1	59.61	3389	1	3	1	61.84				
				5Q	6681	2	3	1	121.92	6901	2	3	1	125.93	7159	3	3	1	130.65				
				5W	6188	3	3	1	112.91	6391	3	3	1	116.63	6630	3	3	1	120.99				
				1	9046	1	4	1	119.08	9343	1	4	1	123.01	9693	1	4	1	127.47				
				2	8492	2	3	2	111.80	8772	2	3	2	115.48	9100	2	3	2	119.86				
				3	8410	2	3	2	110.11	8687	2	3	2	114.26	9012	2	3	2	118.39				
				4W	8304	2	3	2	109.32	8577	2	3	2	112.92	8898	2	3	2	116.91				
	335	8 E 0 0		1-HS	5331	1	3	1	70.19	5507	1	3	1	72.50	5713	1	3	1	75.35				
	335	8,500		2-HS	4404	1	3	1	57.98	4549	1	3	1	59.89	4719	1	3	1	62.27				
				3-HS	4118	1	3	1	54.22	4254	1	3	1	56.00	4413	1	3	1	58.16				
								4W-HS	4173	1	3	1	54.94	4311	1	3	1	56.75	4472	1	3	1	59.14
								5Q	8817	3	3	1	116.07	9107	3	3	1	119.90	9448	3	3	1	124.40
				5W	8166	3	3	2	107.50	8434	3	3	2	111.04	8750	3	3	2	115.34				
				1	9694	1	4	1	176.90	10013	1	4	1	182.72	10388	1	4	1	189.56				
				2	9101	2	3	2	166.07	9401	2	3	2	171.54	9752	2	3	2	177.96				
				3	8410	2	3	2	153.47	8687	2	3	2	158.52	9658	2	3	2	176.24				
				4W	8899	2	3	2	162.39	9192	2	3	2	167.74	9536	2	3	2	174.01				
72	365	Microcore	Clear	1-HS	5714	1	3	1	104.26	5902	1	3	1	107.70	6123	1	3	1	111.72				
12	505	Equivalent	Lens	2-HS	4719	1	3	1	86.12	4875	1	3	1	88.96	5057	1	3	1	92.29				
					3-HS	4413	1	3	1	80.54	4559	1	3	1	83.19	4729	1	3	1	86.30			
								4W-HS	4472	1	3	1	81.61	4620	1	3	1	84.30	4793	1	3	1	87.46
							5Q	9449	3	3	1	172.42	9760	3	3	1	178.10	10125	3	3	1	184.77	
				5W	8751	3	3	2	159.69	9039	3	3	2	164.95	9377	3	3	2	171.12				
				1	12674	2	4	2	110.21	13091	2	4	2	113.84	13581	2	4	2	118.10				
				2	11899	2	3	2	103.47	12290	2	3	2	106.87	12750	3	3	3	110.87				
				3	11784	2	3	2	102.47	12172	2	3	2	105.84	12627	2	3	2	109.80				
				4W	11634	2	3	3	101.17	12018	3	3	3	104.50	12467	3	3	3	108.41				
	500	12,000		1-HS	7470	1	3	1	64.96	7716	1	3	1	67.10	8005	1	3	1	69.61				
	000	12,000		2-HS	6170	1	3	1	53.65	6373	1	3	1	55.42	6612	1	3	1	57.50				
				3-HS	5770	1	3	1	50.18	5960	1	3	1	51.83	6183	1	3	1	53.77				
				4W-HS	5847	1	3	1	50.85	6040	1	3	2	52.52	6266	1	3	2	54.49				
				5Q	12354	3	3	2	107.42	12760	3	3	2	110.96	13238	3	3	2	115.11				
				5W	11441	4	3	2	99.49	11818	4	3	2	102.76	12260	4	3	2	106.61				
				1	16478	2	4	2	103.56	17021	2	4	2	106.97	17658	2	4	2	110.97				
				2	15470	3	4	3	97.22	15979	3	4	3	100.42	16577	3	4	3	104.18				
				3	15320	3	4	3	96.28	15825	3	4	3	99.45	16417	3	4	3	103.17				
				4W	15127	3	3	3	95.06	15625	3	3	3	98.19	16209	3	3	3	101.87				
	700	16,000		1-HS	9712	1	4	1	61.04	10032	1	4	1	63.05	10407	1	4	1	65.41				
				2-HS	8022	1	3	1	50.42	8287	1	3	1	52.08	8597	1	3	1	54.03				
				3-HS	7502	1	3	2	47.15	7749	1	3	2	48.70	8039	1	3	2	50.52				
				4W-HS	7602	1	3	2	47.78	7853	1	3	2	49.35	8147	1	3	2	51.20				
				5Q	16062	3	4	2	100.94	16591	3	4	2	104.26	17211	4	4	2	108.17				
				5W	14875	4	3	2	93.48	15365	4	3	2	96.56	15940	4	3	2	100.17				





DATE:	LOCATION:
TYPE:	PROJECT:

## **DELIVERED LUMENS**

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

						300	0K 7	0CR	l		400	0K 7	0CR	I		500	0K 7	'OCR	I
LED #	Drive Current	Lumen Package	Lens	Distribution	Lumon	Bug	g Rat	ing	Efficancy	Lumon	Bu	g Rat	ing	Efficancy	Lumen	Bu	g Rat	ing	Efficancy
					Lumen				(Lm/W) Lumen				(Lm/W)	Lumen				(Lm/W)	
	245	Microcore		3	5839	1	4	3	106.5	6031	2	4	3	110.1	6257	2	4	3	114.2
	245	Equivalent		5W	5271	2	4	3	96.2	5444	2	4	3	99.3	5648	2	4	3	103.1
	335	8.500		3	7135	2	4	3	93.92	7370	2	4	3	97.02	7646	2	4	3	100.62
	335	0,500		5W	6983	3	4	3	91.92	7213	3	4	3	94.95	7483	3	4	3	98.53
72	365	Microcore	Diffused	3	7677	2	4	3	93.4	7930	2	4	4	96.5	8227	2	4	4	100.1
12	305	Equivalent	Lens	5W	7454	3	4	3	90.7	7700	3	4	3	93.7	7988	3	4	3	97.2
	500	12.000		3	10037	2	5	4	87.28	10368	2	5	4	90.16	10756	2	5	4	93.53
	500	12,000		5W	9746	3	5	3	84.74	10067	3	5	4	87.53	10443	3	5	4	90.81
	700	16,000		3	13050	3	5	5	82.01	13480	3	5	5	84.72	13984	3	5	5	87.88
	700	10,000		5W	12671	3	5	4	79.63	13088	3	5	4	82.25	13578	3	5	4	85.33





## PHOTOMETRY

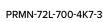
## PRMN-72L-700-4K7-1

## LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	17021
Watts	159.1
Efficacy	107.0
IES Type	I
BUG Rating	B2-U4-G2
Mounting Height	30 ft
Grid Scale	30 ft

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	13358	78.5%
Downward House Side	2436	14.3%
Downward Total	15794	92.8%
Upward Street Side	649	3.8%
Upward House Side	578	3.4%
Upward Total	1227	7.2%
Total Flux	17021	100%

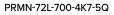


## LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	15825
Watts	159.12
Efficacy	99.5
IES Type	III
BUG Rating	B3-U4-G3
Mounting Height	30 ft
Grid Scale	30 ft

## ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	11987	75.0%
Downward House Side	3147	19.7%
Downward Total	15134	94.7%
Upward Street Side	428	2.7%
Upward House Side	416	2.6%
Upward Total	844	5.3%
Total Flux	15979	100%

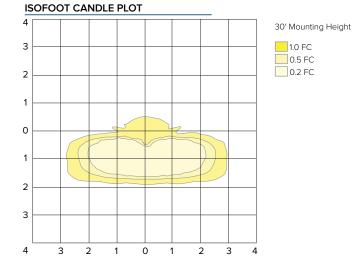


### LUMINAIRE DATA

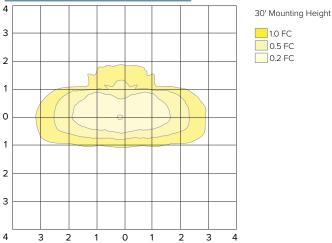
Description	4000 Kelvin, 70CRI
Delivered Lumens	16591
Watts	159.1
Efficacy	104.3
IES Type	VS
BUG Rating	B3-U4-G2
Mounting Height	30 ft
Grid Scale	30 ft

### ZONAL LUMEN SUMMARY

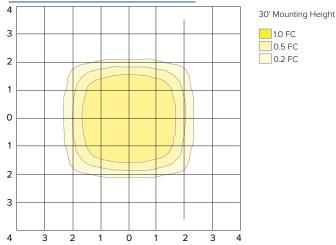
Zone	Lumens	% Luminaire
Downward Street Side	12138	76.7%
Downward House Side	2913	18.4%
Downward Total	15051	95.1%
Upward Street Side	383	2.4%
Upward House Side	391	2.5%
Upward Total	774	4.9%
Total Flux	15825	100%



## ISOFOOT CANDLE PLOT



## ISOFOOT CANDLE PLOT



## DATE: LOCATION: TYPE: PROJECT: CATALOG #:



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## PHOTOMETRY

## PRMN-72L-700-4K7-2

## LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	15979
Watts	159.1
Efficacy	100.4
IES Type	II
BUG Rating	B3-U4-G3
Mounting Height	30 ft
Grid Scale	30 ft

## ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	12223	78.2%
Downward House Side	2763	17.7%
Downward Total	14986	95.9%
Upward Street Side	309	2.0%
Upward House Side	329	2.1%
Upward Total	638	4.1%
Total Flux	15625	100%

## PRMN-72L-700-4K7-4

#### LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	15625
Watts	159.1
Efficacy	98.2
IES Type	IV
BUG Rating	B3-U3-G3
Mounting Height	30 ft
Grid Scale	30 ft

## ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	7919	47.7%
Downward House Side	7919	47.7%
Downward Total	15838	95.5%
Upward Street Side	376	2.3%
Upward House Side	376	2.3%
Upward Total	752	4.5%
Total Flux	16591	100%

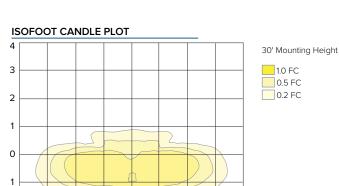
#### PRMN-72L-700-4K7-5W

#### LUMINAIRE DATA

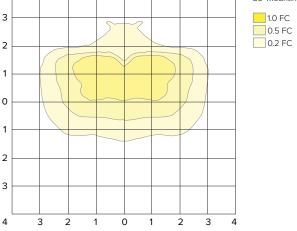
Description	4000 Kelvin, 70CRI
Delivered Lumens	15365
Watts	159.1
Efficacy	97
IES Type	VS
BUG Rating	B4-U3-G2
Mounting Height	30 ft
Grid Scale	30 ft

### ZONAL LUMEN SUMMARY

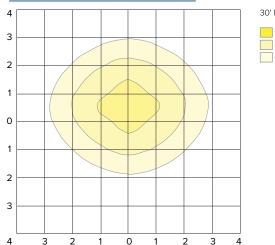
Zone	Lumens	% Luminaire
Downward Street Side	7345	47.8%
Downward House Side	7345	47.8%
Downward Total	14690	95.6%
Upward Street Side	337	2.2%
Upward House Side	337	2.2%
Upward Total	674	4.4%
Total Flux	15365	100%



### 2 3 4 3 2 1 0 1 2 3 4 ISOFOOT CANDLE PLOT 4



## **ISOFOOT CANDLE PLOT**



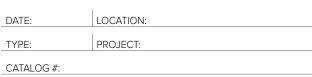
## 30' Mounting Height

1.0 FC 0.5 FC 0.2 FC









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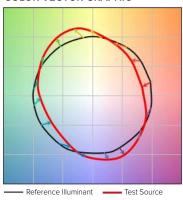




DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## TM-30 DATA

## COLOR VECTOR GRAPHIC



TEST SOURCE			
MBM TEST RESULTS			
CCT (K)	3947		
CIE Ra	72		
Duv	0.0004		
х	0.3831		
У	0.3793		
Rf	68		
Rg	99		

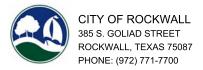
## ELECTRICAL DATA

	Electrical										Dimming	-			
Light			oltage	Amps AC				Dimming	Source current out of 0-10V		Absolute voltage range on 0-10V (+)				
Engine	Watts	Current	VAC	HZ	120	208	240	277	Factor	THD (%)	Range	Min	Max	Min	Max
	54.8	245 mA			0.46	0.26	0.23	0.20							
	76.0	335 mA			0.63	0.37	0.32	0.27							
72L	82.2	365 mA	120-277	50/60	0.69	0.40	0.34	0.30	>0.9	20	10% to 100%	0mA	1mA	οv	10V
	115.0	500 mA			0.96	0.55	0.48	0.42			100%				
	159.1	700 mA	1		1.33	0.76	0.66	0.57	1						

AMBER M	ULTIPLIER	2700K MI	JLTIPLIER	LENS OPTION MULTIPLIER
сст	MULTIPLIER	ССТ	MULTIPLIER	DIFFUSED LENS
5000K	1	5000K	1	0.8518
AM	0.1727	2700K	0.897	



# **PROJECT COMMENTS**



DATE: 6/25/2021

CASE CAPTION:

PROJECT NUMBER: PROJECT NAME: SITE ADDRESS/LOCATIONS: SP2021-018 Site Plan for Lakeshore Office Building 1942 N LAKESHORE DR

CASE MANAGER: CASE MANAGER PHONE: CASE MANAGER EMAIL: David Gonzales (972) 772-6488 dgonzales@rockwall.com

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PLANNING	David Gonzales	06/25/2021	Needs Review	

06/25/2021: SP2021-018; Site Plan for a Lots 2 & 4, Block A, North Lake Shore Daycare Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for two (2) office buildings on a 1.128-acre tract of land identified as Lots 2 & 4, Block A, North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for General Retail (GR) District land uses, addressed as 1942 & 1944 N. Lakeshore Drive.

1.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.

M.3 For reference, include the case number (SP2021-018) in the lower right-hand corner of all pages of all revised plan submittals. (§03.04.A, Art. 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), The General Overlay District Standards as indicated in PD-41, Planned Development District 41 (PD-41), and the Development Standards of Article 05 that are applicable to the subject property.

M.5 All pages of the site plan (i.e. photometric plan, landscape plan, treescape plan, and building elevations) are required to have a signature block affixed to each plan for the Planning and Zoning Commission Chairman and the Director of Planning to sign once approved. (§03.04.A, Art. 11, UDC)

M.6 All pages of the site plan (i.e. photometric plan, landscape plan, and treescape plan) are required to have the site plan data table affixed on the front page. (§03.04.A, Art. 11, UDC)

1.7 All comments must be addressed prior to the approved site plan being signed by the Planning and Zoning Commission Chairman and the Director of Planning. Once signed, a copy of the approved/signed site plan will be forwarded to you. A copy of the signed site plan must be included upon submittal of the civil engineering plans.

1.8 Signage Plan. Please note that all plans for signage must be submitted and approved through a separate permit with the Building Inspections Department. Contact Craig Foshee, Plans Examiner at cfoshee@rockwall.com for permitting requirements for your proposed sign(s).

M.9 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards

and commissions (§01.02, Art. 11, UDC):

1) Mechanical Equipment Screening. Are the units on the ground or on the roof? If on roof, dash-in RTU's or indicate on building elevations. If ground mounted, indicate locations on site and provide screening detail - All buildings shall be designed so that no HVAC, satellite dishes, appurtenances and/or any other mechanical equipment visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site? Provide screening detail. (§06.02.C.3, of Art. 05, UDC)

2) Remove the 'R.O.W Dedication' label from the Site Data Summary Table if not dedicating ROW. If dedicating, hatch and label area to be dedicated.

3) Will there be a trash dumpster for the subject property? If so, enclosures shall be four (4) sided, shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Provide detail. (§06.02.D.7, Art. 05,UDC)

M.10 Landscape Plan. Please make the following clarifications and changes to the landscape plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Canopy trees are required to be a minimum of four (4) caliper inch at DBH. Correct plans. (§06.02.E.2, Art. 05, UDC)

2) Clarify the statement under Plant Material Schedule "(4) 5" caliper cedar elm trees that were planted...tree location and specifications" and indicate on plans which trees were removed and the proposed location of where these trees are to be planted. (Section 05 and Section 06, Art. 09, UDC)

M.11 Treescape Plan. Revise and resubmit plan meeting all requirements of Section 03, Article 09, UDC.

- 1) Refer to checklist of the submittal package for site plans (Section 4.1 Treescape Plan)
- a. Provide site data
- b. Building
- c. Protected trees (to remain on site)
- d. Protected trees (to be removed)
- e. Treescape table
- 2) Provide a darker gray scale for the ghosted in portions of the plan, not visible.

M.12 Photometric Plan. Please make the following clarifications and changes to the photometric plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions (§01.02, Art. 11, UDC):

1) Reduce the lighting levels at both entrances; south of the N. Lakeshore Drive entrance and at the entrance of East Fork Road. The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (§03.03.C, Art. 07, UDC)

M.13 Building Elevations. Requires review by the Architectural Review Board (ARB) and a recommendation from the ARB forwarded to the Planning and Zoning Commission for consideration.

1) Recalculate exterior materials for each façade by removing the calculation for the roof shingles. Additionally, are these architectural roof shingle? (§06.02.C.1.a.3.a, Art. 05,UDC)

2) Exterior Material Samples Board (MSB) is required for Architectural Review Board (ARB) review. Provide an MSB prior to the ARB meeting to be held on June 29, 2021. (§03.04.A, Art. 11, UDC)

Variances Required - Refer to the Subsection 06.01, General Overlay District Standards, of Article 05, UDC for the following:

1) Stone – a minimum of 20% natural or quarried stone is required on all building facades. The north, south, and east elevations do not meet this standard. (§06.02.C.1.a.1, Art. 05,UDC)

2) Four Sided Architecture - all buildings are required to be architecturally finished on all four sides utilizing the same materials, detailing, articulation and features. (§06.02.C.5, Art. 05.UDC)

3) Cementitious Siding - shall be limited to 50% of the building's exterior façade. The east elevation exceeds the maximum allowed. (§06.02.C.1.a.2, Art. 05, UDC)

Exception Required – Refer to Subsection 04.01, General Commercial District Standards, of Article 05, UDC for the following:

1) Building Articulation – As depicted, the building elevations do not meet the articulation standards as required in Figure 7 of Subsection 04.01.C, of Article 05, of the UDC for the following: (§04.01.C, Art. 05,UDC)

a. Wall projections (i.e. horizontal articulation – north elevation)

#### Letter of Request Required

Two (2) compensatory measures are required for each variance and/or exception being requested. Additionally, you will need to provide a written request and indicate how the compensatory measures will offset the requested variance/exceptions. See the attached list of compensatory measures. A request for variance/exceptions requires approval of a  $\frac{3}{4}$  majority vote by the Planning and Zoning Commission.

(Section 09, Article 11, UDC)

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on July 6, 2021 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.15 Please make all revisions and corrections, and provide any additional information that is requested by staff no later than July 6, 2021. It is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 13, 2021 Planning & Zoning Meeting.

M.16 Please provide one (1) hard copy and a PDF/electronic version for a subsequent review by staff.

I.17 The Architectural Review Board (ARB) meeting will be held on June 29, 2021 and will begin at 5:00 p.m. in the City's Council Chambers. The ARB will provide comments or may forward a recommendation to the Planning and Zoning Commission.

I.18 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on June 29, 2021.

2) Architectural Review Board (ARB) meeting will be held on June 29, 2021.

3) Planning & Zoning regular meeting will be held on July 13, 2021.

4) Architectural Review Board (ARB) meeting will be held on July 13, 2021 (if required).

1.19 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 5:00 p.m. (ARB) and 6:00 p.m. (P&Z). The City requires that a representative(s) be present for all meetings.

REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Sarah Johnston	06/23/2021	Approved w/ Comments	
be rock or stone faced.			
Rusty McDowell	06/21/2021	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Ariana Kistner	06/23/2021	Approved	
REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
Lance Singleton	06/21/2021	Approved w/ Comments	
-	Sarah Johnston be rock or stone faced. REVIEWER Rusty McDowell REVIEWER Ariana Kistner REVIEWER	Sarah Johnston     06/23/2021       be rock or stone faced.	Sarah Johnston       06/23/2021       Approved w/ Comments         be rock or stone faced.

### 06/21/2021: Office A will be: 1944 N Lakeshore Dr (75087) Office B will be: 1942 N Lakeshore Dr (75087)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT	
PARKS	Travis Sales	06/21/2021	Approved w/ Comments	

06/21/2021: Tree Mitigation plans approved

-

Landscape plan approval contingent on the following;

No trees shall be planted within 5' of water or sewer lines up to 10"

No trees shall be planted within 10' of water or sewer lines 10" or larger

If this facility of part of the Academy property need to look at replacing the dead landscape with the original construction site.

## COMPENSATORY MEASURES

These may include -- but are not limited to -- any two (2) of the following options:

(A) Increased landscape buffer.

(B) Increased landscaping (i.e. additional canopy trees, accent trees, landscaping percentage, etc.).

(C) Increased open space.

(D) The provision of trails above and beyond the requirements of the City's Master Trail Plan.

(E) Increased building articulation.

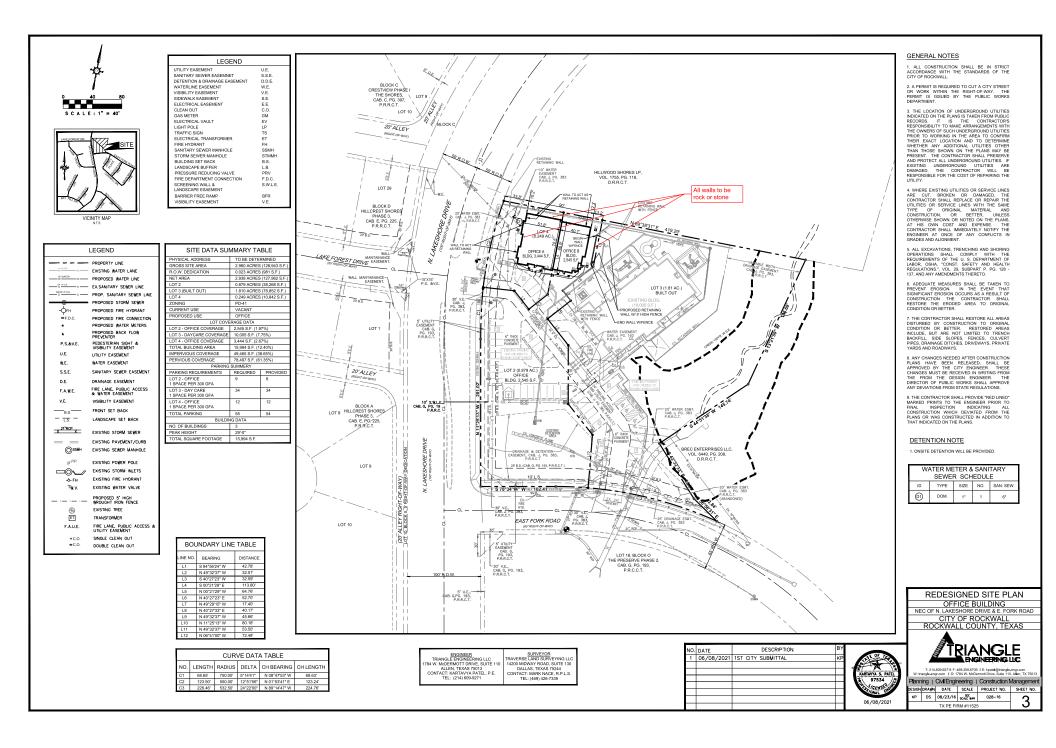
(F) Masonry building materials in percentages equal to or greater than surrounding properties. Where there are no properties adjacent to the subject property the percentage shall be 90% masonry (i.e. brick, stone, or cultured stone).

(G) The inclusion of 20% natural or cultured stone.

(H) Increased architectural elements (i.e. canopies, awnings, porticos, arcades, peaked roof forms, arches, outdoor patio/plaza space, display windows, articulated cornice lines, varied roof heights, etc.).

(I) Undergrounding existing overhead utility lines.

(J) Other additional standards that are above and beyond the general standards that appropriately offset the requested exception or exceptions.

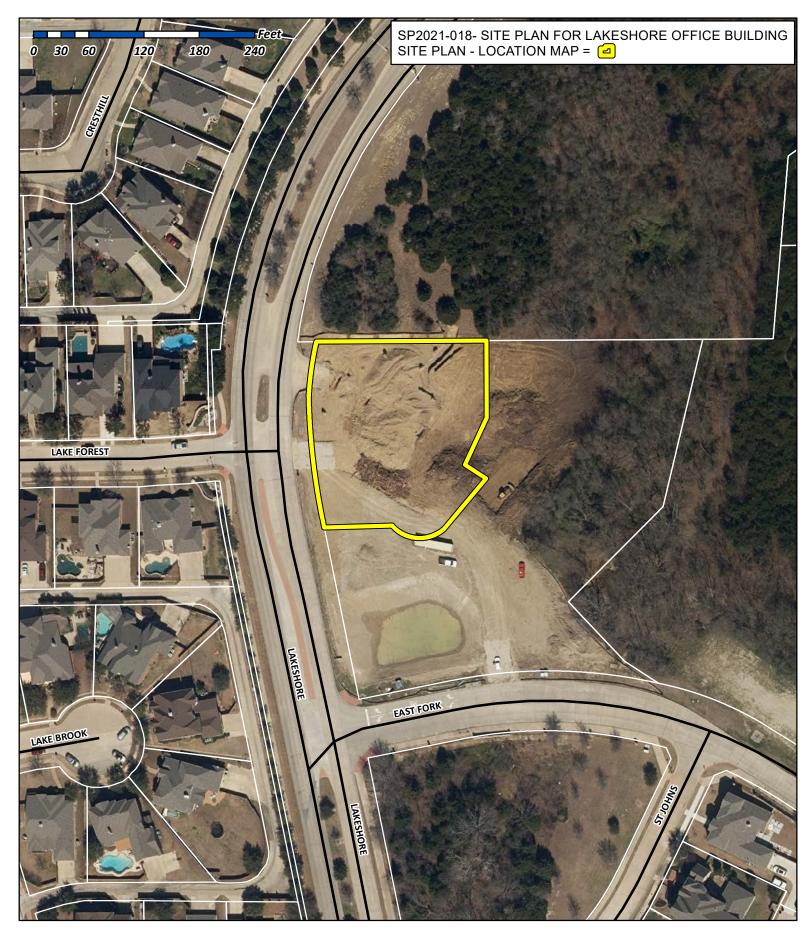


	DEVELOPMEN City of Rockwall Planning and Zoning 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE ONLY PLANNING & ZONING CASE NO. SP 2020 -018 <u>NOTE</u> : THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:					
PLEASE CHECK THE	APPROPRIATE BOX BELOW TO IN	DICATE THE TYPE OF DI	EVELOPMENT	REQUE	ST SELECT O	NLY ONE BOX	]:	and the second secon
PLATTING APPLICATION FEES: MASTER PLAT (\$100.00 + \$15.00 ACRE) 1 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1 FINAL PLAT (\$300.00 + \$20.00 ACRE) 1 REPLAT (\$300.00 + \$20.00 ACRE) 1 AMENDING OR MINOR PLAT (\$150.00) PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES:			ZONING APPLICATION FEES:         ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1         SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1         PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1         OTHER APPLICATION FEES:         TREE REMOVAL (\$75.00)         VARIANCE REQUEST (\$100.00)         MOTES:         1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN					
	0.00 + \$20.00 ACRE) 1 PLAN/ELEVATIONS/LANDSCAPIN	G PLAN (\$100.00)	MULTIPLYING	BRY TH	E PER ACRE AMO	UNT. FOR REQU	JESTS ON LESS	S THAN ONE
			ACRE, ROUN	DUPIO	ONE (1) ACRE.	4)		
PROPERTY INFO	RMATION [PLEASE PRINT]							
	5 1944 & 1942 N Lakesho	re Dr, Rockwall, TX	(75087					
	NORTH LAKE SHORE				LOT	2 & 4	BLOCK	А
GENERAL LOCATION	NEC OF N LAKESHOR	E DR & EAST FOR	KDR					
ZOMING SITE PI	AN AND PLATTING INFO							
CURRENT ZONING		ININA I ION (PLEASE PR						
			CURRENT U		VACANT			
PROPOSED ZONING			PROPOSED U	SE	OFFICE			
ACREAGE	LOT 2- 0.879, LOT 4- 0.249 TOTAL- 1.128 ACRES	LOTS [CURRENT]	2		LOTS	[PROPOSED]	(	כ
REGARD TO ITS /	<u>PLATS</u> : BY CHECKING THIS BOX YO APPROVAL PROCESS, AND FAILURE T ENIAL OF YOUR CASE.	DU ACKNOWLEDGE THAT TO ADDRESS ANY OF STAF	DUE TO THE P FF'S COMMENTS	ASSAGE BY TH	E OF <u>HB3167</u> TH E DATE PROVIDE	E CITY NO LON ED ON THE DEV	IGER HAS FLE ELOPMENT CA	EXIBILITY WITH ALENDAR WILL
OWNER/APPLIC	ANT/AGENT INFORMATIO	N [PLEASE PRINT/CHECK	THE PRIMARY (	ONTAC	T/ORIGINAL SIG	NATURES ARE	REQUIRED	
	GOTROCK PROPERTIES LLC				ARTAVYA PAT			
CONTACT PERSON	GENE COOPER	CO	NTACT PERSO					
ADDRESS	2560 TECHNOLOGY DRIVE		ADDRES	S 17	784 W. MCDEF	MOTT DR		
	SUITE 100			SI	JITE 110			
CITY, STATE & ZIP	PLANO, TX 75074	СП	TY, STATE & ZI	P AI	LLEN, TX 7501	3		
PHONE	512.689.9494		PHON	E 2'	14.609.9271			
E-MAIL	DOUG@VIADUCTDEV.COM		E-MA	IL K	PATEL@TRIA	NGLE-ENGR.	COM	
NOTARY VERIFIC BEFORE ME, THE UNDER STATED THE INFORMATION	CATION (REQUIRED) ISIGNED AUTHORITY, ON THIS DAY PE ON ON THIS APPLICATION TO BE TRUI		LOWING:			[OWNER]	THE UNDERS	SIGNED, WHO
THEREBY CERTIFY THAT \$_272.56	AM THE OWNER FOR THE PURPOSE OF	THIS APPLICATION, HAS BEE	EN PAID TO THE	CITY OF	ROCKWALL ON T	HIS THE		DAY OF
INFORMATION CONTAINED SUBMITTED IN CONJUNCT	20 BY SIGNING THIS D WITHIN THIS APPLICATION TO THE ION WITH THIS APPLICATION, IF SUCH R	S APPLICATION, I AGREE TH PUBLIC. THE CITY IS ALSI EPRODUCTION IS ASSOCIATI	O AUTHORIZED	AND PF	RMITTED TO RE	PRODUCE ANY	MOVDIGUTED	D TO PROVIDE

20 21 GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_ DAY OF me ARY PU OWNER'S SIGNATURE SCOTT M. SCHUBERT habes AV COMMESSION EXPIRES Comm. Expires 03-28-2023 otary Public, State of lexas THE OF TEN Notary ID 126027315

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DEVELOPMENT APPLICATION

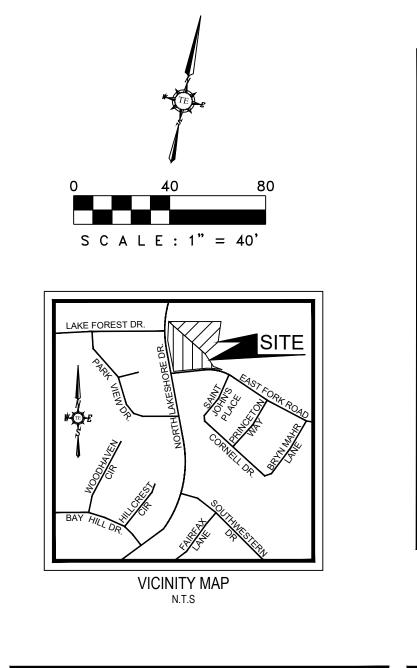




## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departm 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMNET	S.S.E.
DETENTION & DRAINAGE EASEMENT	D.D.E.
WATERLINE EASEMENT	W.E.
VISIBILITY EASEMENT	V.E.
SIDEWALK EASEMENT	S.E.
ELECTRICAL EASEMENT	E.E.
CLEAN OUT	C.O.
GAS METER	GM
ELECTRICAL VAULT	EV
LIGHT POLE	LP
TRAFFIC SIGN	TS
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	STMMH
BUILDING SET BACK	B.S.
LANDSCAPE BUFFER	L.B.
PRESSURE REDUCING VALVE	PRV
FIRE DEPARTMENT CONNECTION	F.D.C.
SCREENING WALL & LANDSCAPE ESAEMENT	S.W.L.E.
	BFR
VISIBILITY EASEMENT	V.E.

	LEGEND
	PROPERTY LINE
W	EXISTING WATER LANE
12" WATER W	PROPOSED WATER LINE
EX. 10" S.S. S — S — S —	EX.SANITARY SEWER LINE
PROP. 8" S.S.	PROP. SANITARY SEWER LINE
	PROPOSED STORM SEWER
-фгн	PROPOSED FIRE HYDRANT
∞F.D.C.	PROPOSED FIRE CONNECTION
8	proposed water Meters
41	PROPOSED BACK FLOW PREVENTER
P.S.&V.E.	PEDESTERIAN SIGHT & VISIBILITY EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
D.E.	DRAINAGE EASEMENT
F.A.W.E.	FIRE LANE, PUBLIC ACCESS & WATER EASEMENT
V.E.	VISIBILITY EASEMENT
	FRONT SET BACK
— <u>L.S.</u> —	LANDSCAPE SET BACK
<u>21"RCP</u> X X	EXISTING STORM SEWER
	EXISTING PAVEMENT/CURB
© SSMH	EXISTING SEWER MANHOLE
Ø PP	EXISTING POWER POLE
	EXISTING STORM INLETS
-¢- FH	EXISTING FIRE HYDRANT
⊤ <b>₩</b> . ∨.	EXISTING WATER VALVE
x x x	PROPOSED 5' HIGH WROUGHT IRON FENCE
(C)	EXISTING TREE
ĒT	TRANSFORMER
F.A.U.E.	FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
° C.O.	SINGLE CLEAN OUT
∞C.O.	DOUBLE CLEAN OUT

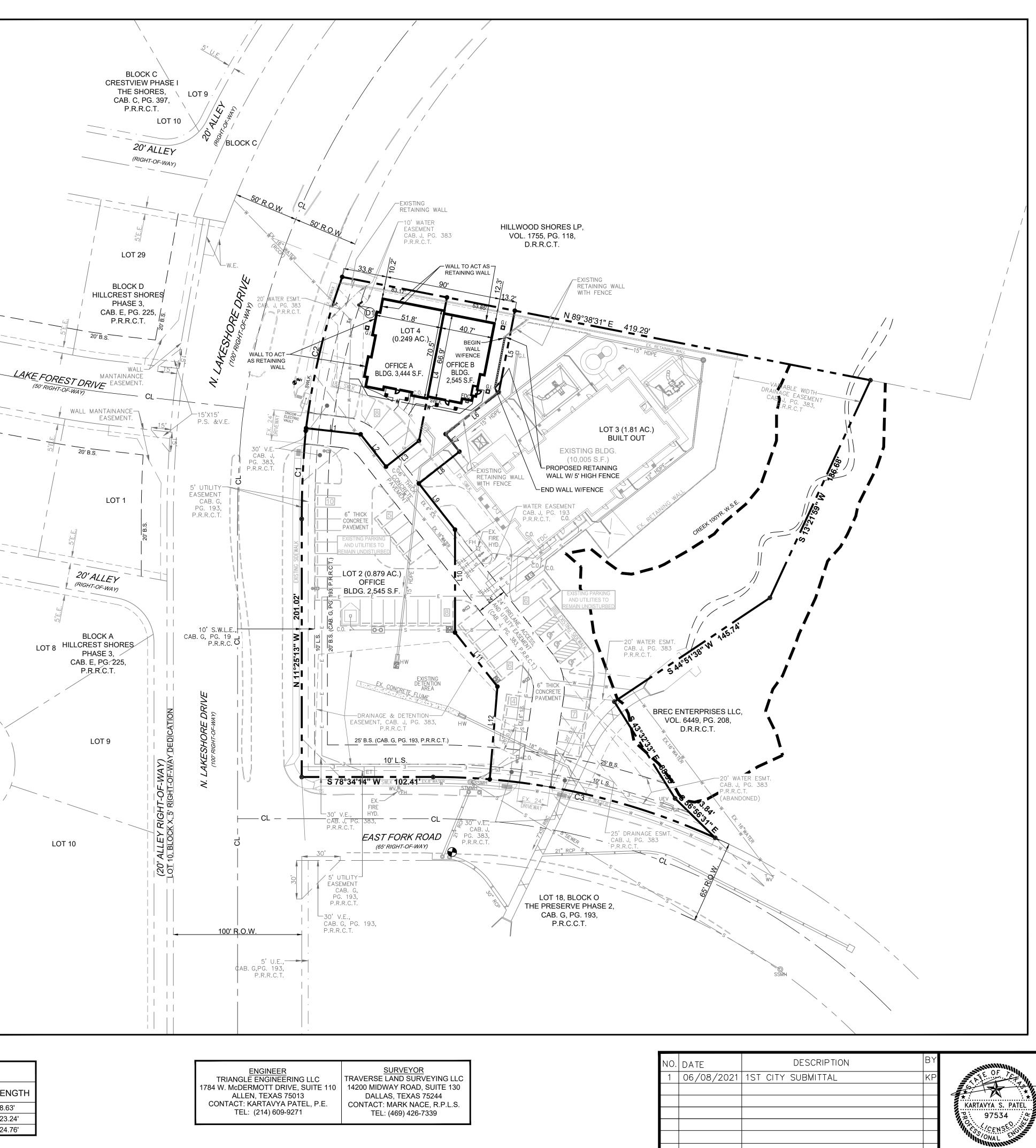
SITE DATA SUMMARY TABLE					
PHYSICAL ADDRESS	TO BE DETER	RMINED			
GROSS SITE AREA	2.960 ACRES	(128,943 S.F.)			
R.O.W. DEDICATION	0.023 ACRES	(981 S.F.)			
NET AREA	2.938 ACRES	(127,962 S.F.)			
LOT 2	0.879 ACRES	(38,268 S.F.)			
LOT 3 (BUILT OUT)	1.810 ACRES	(78,852 S.F.)			
LOT 4	0.249 ACRES	(10,842 S.F.)			
ZONING	PD-41				
CURRENT USE	VACANT				
PROPOSED USE	OFFICE				
LOT COVE	RAGE DATA				
LOT 2 - OFFICE COVERAGE	2,545 S.F. (1.9	07%)			
LOT 3 - DAYCARE COVERAGE	10,005 S.F. (7.	.75%)			
LOT 4 - OFFICE COVERAGE	3,444 S.F. (2.67%)				
TOTAL BUILDING AREA	15,994 S.F. (12	2.40%)			
IMPERVIOUS COVERAGE	49,465 S.F. (38	8.65%)			
PERVIOUS COVERAGE	78,497 S.F. (6	1.35%)			
PARKING	SUMMERY				
PARKING REQUIREMENTS	REQUIRED	PROVIDED			
LOT 2 - OFFICE 1 SPACE PER 300 GFA	9	8			
LOT 3 - DAY CARE 1 SPACE PER 300 GFA	34	34			
LOT 4 - OFFICE 1 SPACE PER 300 GFA	12	12			
TOTAL PARKING	55	54			
BUILDIN	IG DATA				
NO. OF BUILDINGS	3				
PEAK HEIGHT	29'-0"				
TOTAL SQUARE FOOTAGE	15,994 S.F.				

(50' RIGHT-OF-WAY)

LOT 10

BOUNDARY LINE TABLE							
LINE NO.	BEARING	DISTANCE					
L1	S 84°56'24" W	42.78'					
L2	N 49°32'37" W	32.01'					
L3	S 40°27'23" W	32.59'					
L4	S 00°21'29" E	113.80'					
L5	N 00°21'29" W	64.76'					
L6	N 40°27'23" E	52.70'					
L7	N 49°29'15" W	17.40'					
L8	N 40°27'33" E	40.17'					
L9	N 49°32'37" W	45.66'					
L10	N 11°25'13" W	80.18'					
L11	N 49°32'37" W	53.50'					
L12	N 06°41'00" W	72.48'					

	CURVE DATA TABLE									
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH					
C1	68.65'	750.00'	5°14'41"	N 08°47'53" W	68.63'					
C2	123.50'	550.00'	12°51'56"	N 01°53'41" E	123.24'					
C3	226.46'	532.50'	24°22'00"	N 89°14'47" W	224.76'					



ENGINEER	SURVEYOR		NO.	D/
TRIANGLE ENGINEERING LLC	TRAVERSE LAND SURVEYING LLC		1	
4 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013	14200 MIDWAY ROAD, SUITE 130			
CONTACT: KARTAVYA PATEL, P.E.	DALLAS, TEXAS 75244 CONTACT: MARK NACE, R.P.L.S.			
TEL: (214) 609-9271	TEL: (469) 426-7339			
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## **GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.

2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.

3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.

5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 -137, AND ANY AMENDMENTS THERETO.

6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.

7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.

9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

## DETENTION NOTE

1. ONSITE DETENTION WILL BE PROVIDED.

WATER METER & SANITARY SEWER SCHEDULE								
ID	TYPE	SIZE	NO.	SAN. SEW.				
(D1)	DOM.	1"	1	6"				

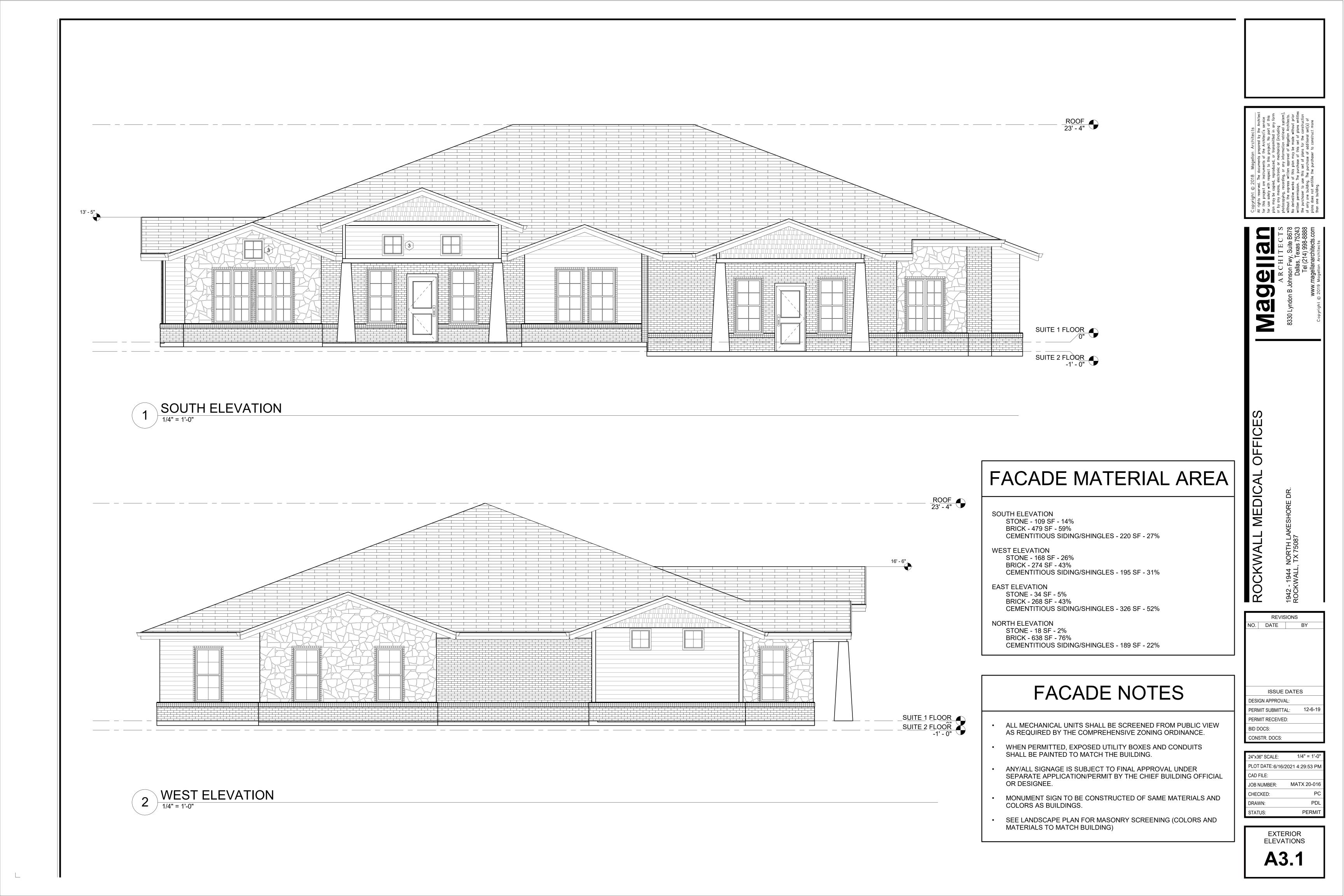
REDESIGNED SITE PLAN OFFICE BUILDING NEC OF N. LAKESHORE DRIVE & E. FORK ROAD **CITY OF ROCKWALL** ROCKWALL COUNTY, TEXAS



T: 214.609.92711 F: 469.359.6709 I E: kpatel@triangle-engr.com W: triangle-engr.com I O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Plann	Vanagement								
DESIGN	DRA₩N	DATE	SCALE	PROJECT NO.	SHEET NO.				
KP	DS	08/23/16	SEE SCALE BAR	028–16	2				
	TX PE FIRM #11525								

06/08/2021





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SW 7014 **Eider White** 

SW 9148 **Smoky Azurite** 

SW 9639 **Rain Cloud** 

## FRONT ELEVATION











**CEDAR VALLEY** ACME BRICK





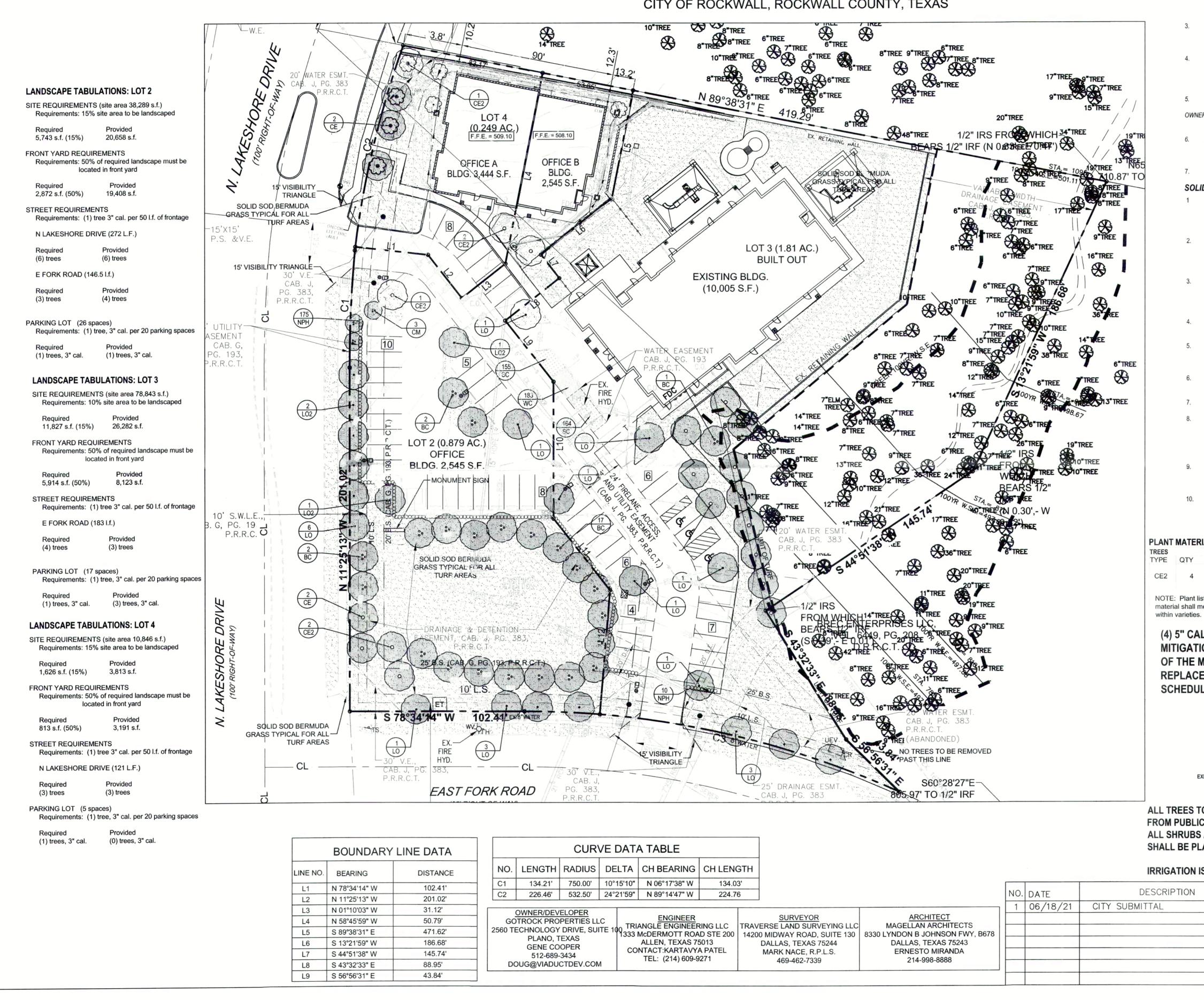
LAKESHORE MEDICAL

A.1

ROOF COMPOSITION SHINGLE

STONE **GRANBURY REGULAR CHOPPED GRAY** 

## HARDIE SIDING STAGGERED EDGE PANEL



## DUNKIN ACADEMY SITE DEVELOPMENT

2.960 ACRES OF LAND BEING A REPLAT OF LOT 1, BLOCK S OF THE PRESERVE PHASE 3, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

1	RADIUS D	ELIA	CH BEARING	CHLENGT	н				IRRIGATION	ß
_		)°15'10" I°21'59"		134.03' 224.76			NO.	DATE 06/18/21	DESCRIPTION	_
0 Y 1 0 9	ELOPER PERTIES LLC DRIVE, SUITE EXAS OPER -3434 CTDEV.COM	100	ENGINEER ANGLE ENGINEER McDERMOTT ROA ALLEN, TEXAS 75 NTACT:KARTAVY/ TEL: (214) 609-9	D STE 200 1 5013 A PATEL	SURVEYOR RAVERSE LAND SURVEYING LLC 4200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 MARK NACE, R.P.L.S. 469-462-7339	ARCHITECT MAGELLAN ARCHITECTS 8330 LYNDON B JOHNSON FWY, B678 DALLAS, TEXAS 75243 ERNESTO MIRANDA 214-998-8888				

## GENERAL LAWN NOTES

- 1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S
- CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

## SOLID SOD NOTES

- 1 FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF ARFAS
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- 4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- 10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

## PLANT MATERIAL SCHEDULE

4	COMMON NAME	BOTANICAL NAME Ulmus crassifolia	5ï2E	REMARKS B&B, 16' ht., 7' spread min., 7' clear trunk

NOTE: Plant list is an aid to bidders only. Contractor shall verify all guantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching

## (4) 5" CALIPER CEDAR ELM TREES THAT WERE PLANTED MITIGATION MUST BE REMOVED FOR CONSTRUCTION OF THE MEDICAL BUILDING. THESE TREES WILL BE REPLACED ON SITE. REFER TO PLAN AND PLANT MATERIAL SCHEDULE FOR THE TREE LOCATION AND SPECIFICATIONS.

EXISTING P	LANT L	EGEND
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LANDSCAPE PLAN

LAKESHORE MEDICAL

1942-1944 N. LAKESHORE DRIVE

**CITY OF ROCKWALL** 

ROCKWALL COUNTY, TEXAS

TYPE	COMMON NAME	SIZE
BC CE CM LO LO2 NPH SC	Bald Cypress Cedar Elm Cedar Elm Crepe Myrtle Live Oak Live Oak Needlepoint Holly Seasonal Color	5" cal. 4" cal. 5" cal. 6' ht. 4" cal. 5" cal.
WC	Purple Wintercreeper	

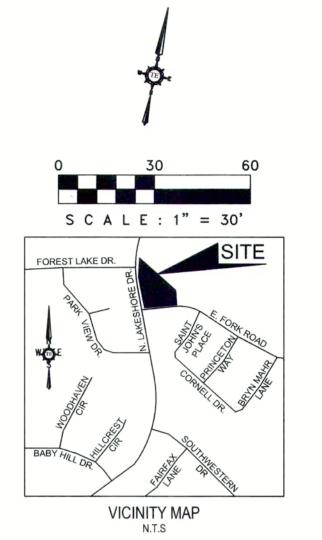
CASE# SP2017-14

## ALL TREES TO BE LOCATED A MINIMUM OF 5' FROM PUBLIC UTILITIES. ALL SHRUBS ADJACENT FROM HEAD IN PARKING SHALL BE PLANTED 4' FROM BACK OF CURB

## IPPICATION IS REQUIRED PER THE UDC.

EXISTING TREES

		LODC				ΔΙς	NCI	F
ON	ΒY	Courses				ENG		
	KP KP KP	ANDSCHAFT TROUGHT	w: Planni	triangle-e		469.359.6709 1333 McDer	I E: kpatel@triangle mott Drive, Suite 200, Construction N	-engr.com Allen, TX 75013
	KP	BAN GALLER	DESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
	KP	TTE OF TET	KP	DS	11/16/18	SEE SCALE BAR	028-16	1
		DATE			TX PE FI	RM #11525	5	v

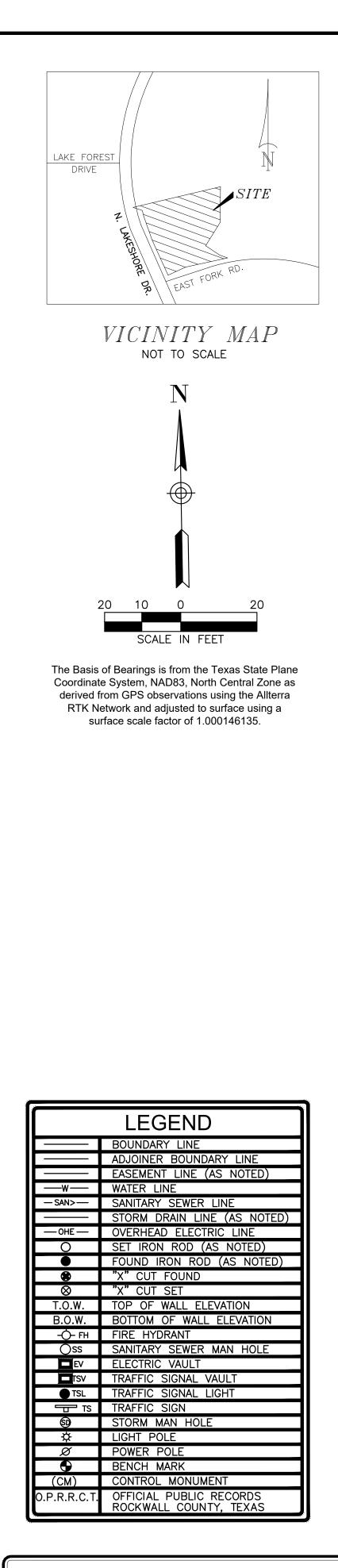


## LANDSCAPE NOTES

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- 4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- 5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- 7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

## WATER METER & SANITARY SEWER SCHEDULE ID TYPE SIZE NO. SAN. SEW.

D	DOM.	1"	1	6"
	IRR.	1"	1	N/A



## BENCHMARK NOTES

The Benchmarks and elevations shown are based on the North American Vertical Datum 1988 (NAVD88) by using GPS observations in conjunction with the AllTerra RTK Network.

Benchmark No. 1

Square with an "X" cut in the top of curb, east side of Lakeshore Drive, approximately 310'+/- north of the north line of East Fork Road Elevation: 513.61

## FLOOD NOTES

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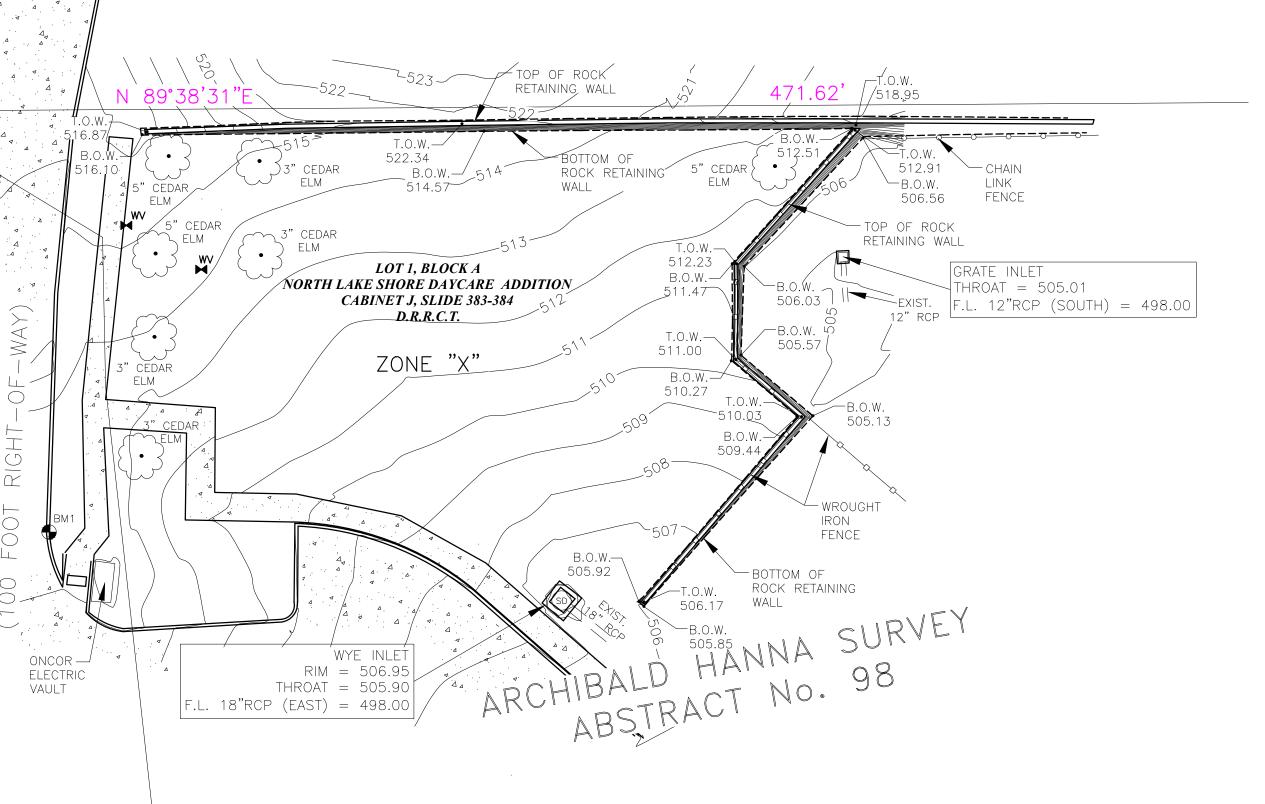
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No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0030L, dated September 26 7, 2008. The subject property is located in the area designated as Zone "X", (areas determinred to be outside the 0.2% annual chance floodplain).



## GENERAL NOTES

1. All underground utilities shown hereon were taken from existing plans, none of the underground utilities shown hereon have been field verified by the surveyor.

2. This survey was prepared without the benefit of a Title Committment and the Surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land.

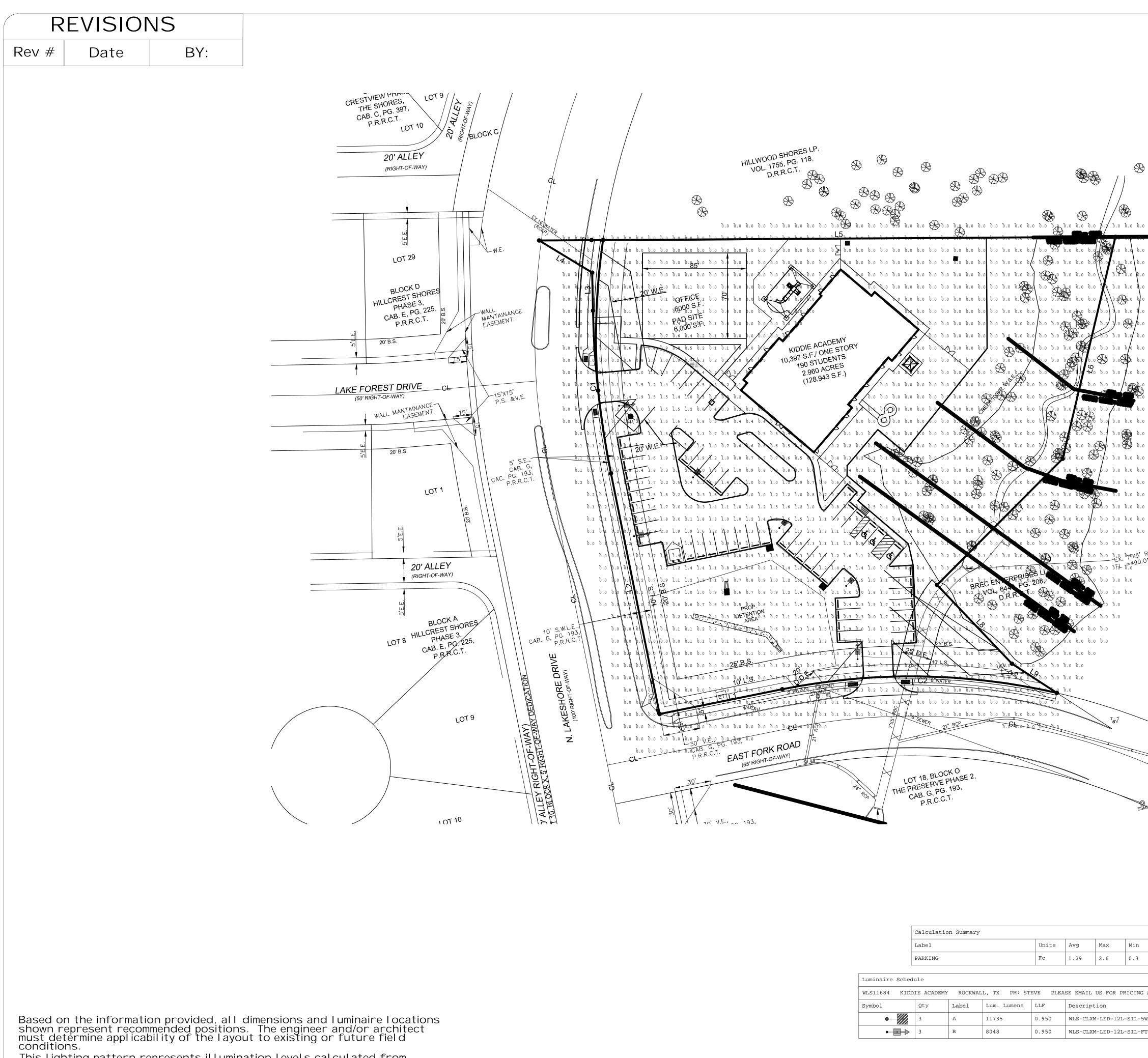
				C	ITY OF F			ALL COUNTY,	
О.	DATE	DESCRIPTION	BY			$\mathbb{R}/\mathbb{R}$		<b>ERS</b>	
					4 4 9 9 9			YING LLC	
					14200	Midway Road, S W: TraverseLan	Suite 130, Dallas idSurveying.con	s, TX 75224   T: 469.7 n   Texas Firm No. 101	84.9321 194631
					Sur	veying   C	Construction	N Staking   Platt	ing
				DRAWN	CHECK	DATE	SCALE	PROJECT NO.	SHEET NO.
				JDR	MAN	5-17-2021	1" = 40'	TR-41-2021	4

TREE SURVEY

PART OF LOT 1, BLOCK A

NORTH LAKE SHORE DAYCARE ADDITION

ARCHIBALD HANNA SURVEY, ABSTRACT NO. 98



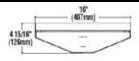
This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with III uminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

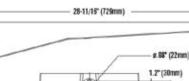
<b>MLS LIGHTING</b> <b>1919 WINDSOR PLACE</b> <b>MLS COMPANY</b> <b>NWWWI Slighting.com</b> <b>30-633-8711</b> PM:STEVE BY: J.P. SHEET 1 OF 1
KIDDIE ACADEMY ROCKWALL, TX       N         WLS-11684       DATE -2/13/19       scale: 1"=40'       800-

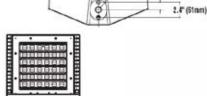
<b>GHTING</b> 1919 WINDSOR PLACE <b>MLS CONDAIL</b>	800-633-8711 PM:STEVE BY: J.P. SHEET 1 OF 1
KIDDIE ACADEMY ROCKWALL, TX	WLS-11684 DATE -2/13/19 scale: 1"=40"



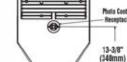
DIMENSIONS













Top View

Made in the U.S.A. of the U.S. and imported parts. Meets Buy American requirments for ARRA.

# S LIGHTING Systems

1919 Windsor Place Fort Worth, TX 76110 800.622.8711

Photo Cont

Receptacle

www.wlslighting.com

# CLXM SERIES LED AREA

## SPECIFICATIONS

#### **Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a maximum light transmittance of 93%. Zero upliaht.
- Available in 5000K, 4000K, 3000K, 2700K and Amber (+/- 275K) color temperatures.
- Minimum CRI of 70.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance.

#### Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor: >.90
- · Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- · Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

#### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles without need for pole adaptors.
- · Luminaire is proudly made in the U.S. of U.S. and imported parts.
- · IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications.
- Fixtures are finished with WLS's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard WLS finishes available.
- Shipping weight: 30 lbs in carton.

#### Controls

- Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules.

#### Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides guick and easy on-site wiring.
- Utilizes WLS's traditional 3" drill pattern for easy fastening of WLS products.

#### Warrantv

• WLS LED Fixtures carry a 5-year warranty.

## Listings

- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- · American Recovery and Reinvestment Act Funding Compliant.
- Suitable For wet Locations.
- IP66 rated Luminaire IP66 rated optical chamber
- 3G rated for ANSI C136.31 high vibration applications



Project Name:	
Date:	
Location:	
Notes:	

#### 01 REV. 01/19

Specifications subject to change without notice.

Type:

# CLXM SERIES LED AREA

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE.									
SERIES	LIGHT SOURCE	LUMENS PACKAGE	LIGHT OUTPUT	DISTIBUTION	ORIENTATION <sup>1</sup>	VOLTAGE	DRIVER	COLOR TEMPERATURE	
CLXM	LED	9L 9,000 lms 12L 12,000 lms 18L 18,000 lms 24L 24,000 lms 30L 30,000 lms 36L 36,000 lms 42L 42,000 lms	SIL Silicone	2 Type 2 3 Type 3 5W Type 5 Wide FT Type Forward Throw FTA Forward Throw Automotive	(blank) - standard L Optics rotated left 90 R Optics rotated right 90	UNV Universal Voltage (120-277v) HV High Voltage (347-480v)	<b>DIM</b> 0-10v Dimming (0-10%)	27 2,700 CCT <sup>2</sup> 30 3,000 CCT <sup>2</sup> 40 4,000 CCT 50 5,000 CCT AMB Amber <sup>2,3</sup>	
ORDER	•								
WLS-CLXM	LED		SIL				DIM		
COLOR RENDERIN		CONTROLS		FINISH	OPTIONS				
<b>70CRI</b> 70CRI		0-10v Dimming (from externa Integral Motion & Daylight Ser	nsor <sup>4,5</sup> BLK Bl GPT G MSV M WHT V	ack B raphite P letallic Silver	Blank) None utton Type Photocells <sup>7</sup> Cl120 120V PC1208-277 208-277V PCI347 347V CR7P 7 Pin Photoelectric Co	ontrol Receptacle <sup>6</sup>			

IL Integral Louver HSS<sup>1</sup>

Example: WLS-CLXM-LED-30L-SIL-5W-UNV-DIM-40-70CRI-EXT-BRZ-IL

## **FOOTNOTES:**

SVG Satin Verde Green

CC7 Custom Color

1 Not available on "Type 5W" distribution.

Consult factory for availability.
 Only available in 9L and 12L lumen packages.
 Not available in HV.

5 IMS is field adjustable, via a hand held Remote Configurator Toool, which must be ordered separatly.

6 Control device must be oredered separately.7 Factory installed CR7P option required.

LUMINAIRE EPA CHART - CLXM								
<ul> <li>Single</li> </ul>	0.6							
■ ■ D180°	1.1							
D90°	0.9							
<b>1</b> 90°	1.9							
🙏 TN120°	1.9							
<b>Q90°</b>	2.1							

ELECTRICAL	ELECTRICAL DATA									
Lumens	Watts	120V	208V	240V	277V	347V	480V			
9L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A			
12L	93.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A			
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A			
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A			
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A			
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A			
42L	393.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A			



1919 Windsor Place Fort Worth, TX 76110 800.622.8711 www.wlslighting.com Project Name: \_\_\_\_\_

Date: Location:

Notes: \_\_\_\_

01 REV. 01/19 Specifications subject to change without notice.